# ANGIE'S POOL & SPA, INC.

## ANGIE'S POOL & SPA STORAGE YARD

LOCATED AT:

751 EAST COMMERCE DRIVE, FRANKLIN, IN 46131

### SHEET INDEX


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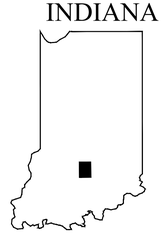
PROJECT LOCATION

SITE MAP

JOHNSON COUNTY
INDIANA



ANGIE'S POOL & SPA, INC.

ANGIE'S POOL AND SPA, INC.
3130 MERIDIAN PARKE DRIVE,
SUITE A
GREENWOOD, IN 46142

Indiana811
Know what's below. Call before you dig.

| REV. NO. | DATE | DESCRIPTION | BY |
|---|---|---|---|
| - | - | - | - |

PROJECT NAME
ANGIE'S POOL & SPA, INC.
ANGIE'S POOL & SPA STORAGE YARD


Independent Land Surveying
414 South Main Street
Brownstown, Indiana 47220
Phone: 812-358-2882
Fax: 812-358-2605
3200 Sycamore CT. STE 2A
Columbus, Indiana 47203
Phone: 812-372-0996
Fax: 812-602-0484
www.ilsurveying.com

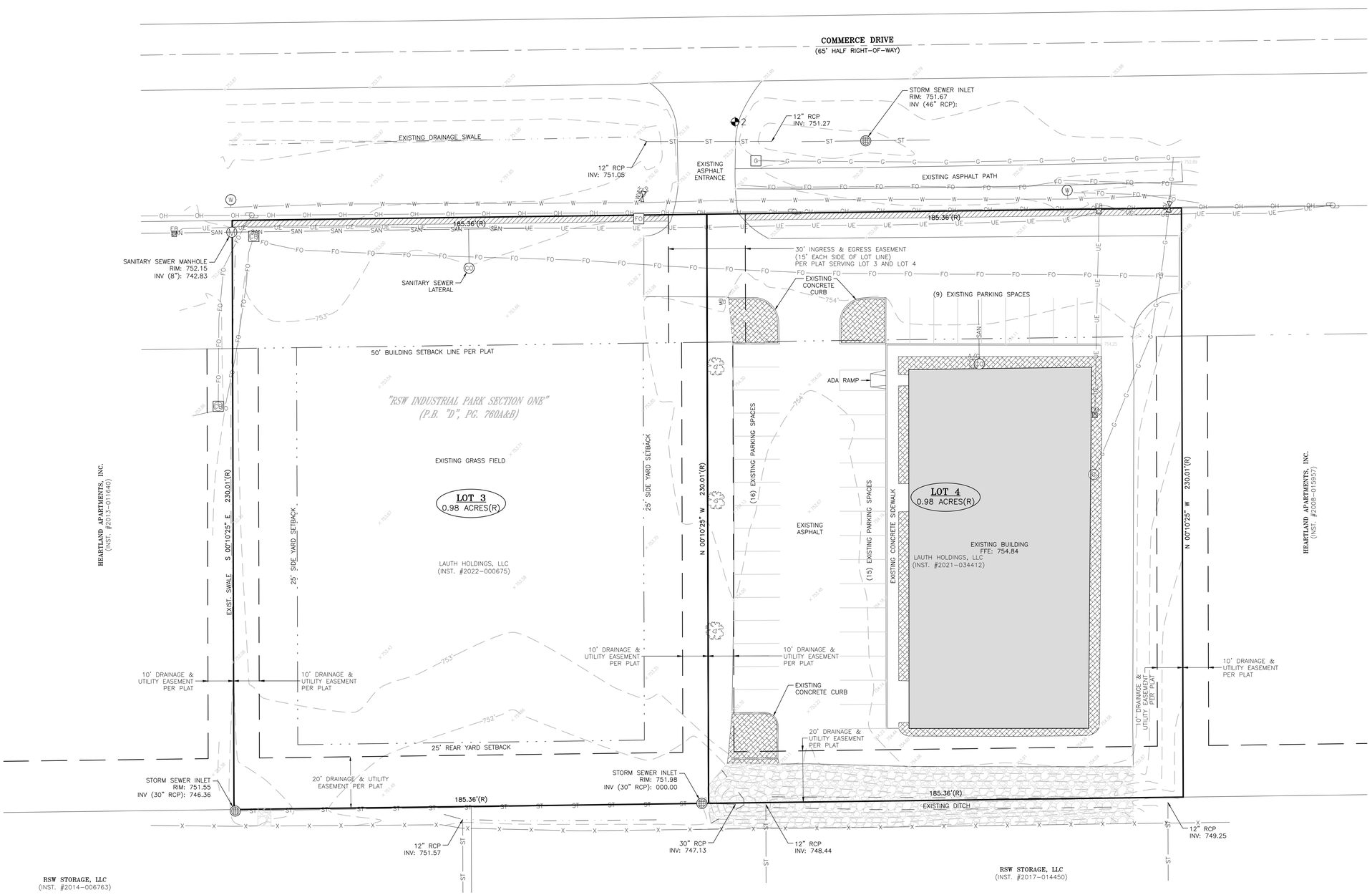

SHEET TITLE: TITLE SHEET

DRAWN BY: DEK
SCALE: N.T.S.
DATE: 07-18-2022
JOB NUMBER: 22018

JAMES C. LEINART
REGISTERED
NO. 10707550
STATE OF INDIANA
PROFESSIONAL ENGINEER

SHEET
C000

22018 Design.dwg




NORTH

SCALE: 1" = 20'

0 10 20

## LEGEND

- PROPERTY LINES
- 1' NO ACCESS STRIP PER PLAT
- EASEMENT
- XXX' EXISTING CONTOURS
- OH OVERHEAD UTILITIES
- UE UNDERGROUND ELECTRIC
- FO FIBER OTPITC
- ST STORM SEWER
- SAN SANITARY SEWER
- G GAS
- W WATER
- X FENCE
- TOE OF SLOPE OR CENTERLINE OF DITCH/SWALE
- SPOT ELEVATION
- CONTROL POINT
- EXISTING MAILBOX
- EXISTING DECIDUOUS TREE
- EXISTING UTILITY POLE
- EXISTING AIR CONDITIONING UNIT
- EXISTING ELECTRIC TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING COMMUNICATION BOX
- EXISTING FIBER OPTIC PEDESTAL
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING GAS METER
- EXISTING GAS MARKER
- EXISTING MANHOLE
- EXISTING CLEANOUT
- EXISTING STORM INLET
- EXISTING LANDSCAPING (TREES, SHRUBS, MULCH)
- EXISTING RIP RAP

| CONTROL POINTS | | | | |
|---|---|---|---|---|
| NUMBER | NORTHING | EASTING | ELEVATION | DESCRIPTION |
| 1 | 218004.83 | 1551378.53 | 753.95 | SET MAG NAIL |
| 2 | 218004.57 | 1551546.24 | – | SET MAG NAIL |
| 142 | 218112.07 | 1551553.32 | – | SET ILS REBAR |
| 143 | 217838.32 | 1551275.50 | – | SET ILS REBAR |

SURVEYORS NOTE:

THE BOUNDARY OF SUBJECT LAND IS SHOWN PER THE RECORD DEED AND MONUMENTS RECOVERED DURING THE FIELD WORK FOR THE TOPOGRAPHIC SURVEY. A RETRACEMENT SURVEY OF SUBJECT LAND WAS NOT PERFORMED OR IS TO BE IMPLIED.

## UNDERGROUND UTILITIES:

THE EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON THE DRAWING WERE OBTAINED FROM SURFACE MARKINGS BY OTHERS, BY VISIBLE SURFACE INDICATIONS, AND BY PLANS AND DRAWINGS OBTAINED FROM OTHERS. INDEPENDENT LAND SURVEYING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY OF THE SURFACE MARKINGS MADE BY OTHERS. THIS INFORMATION IS BELIEVED TO BE CORRECT BUT IS NOT GUARANTEED. LOCATION OF ALL UTILITIES SHOULD BE FIELD VERIFIED BEFORE ANY NEW CONSTRUCTION BEGINS. DEPTHS OF UNDERGROUND UTILITIES WERE NOT MARKED AND ARE UNKNOWN UNLESS NOTED OTHERWISE.

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Columbus, Indiana 47203
Phone: 812-372-0996
Fax: 812-602-0484
www.ilsurveying.com

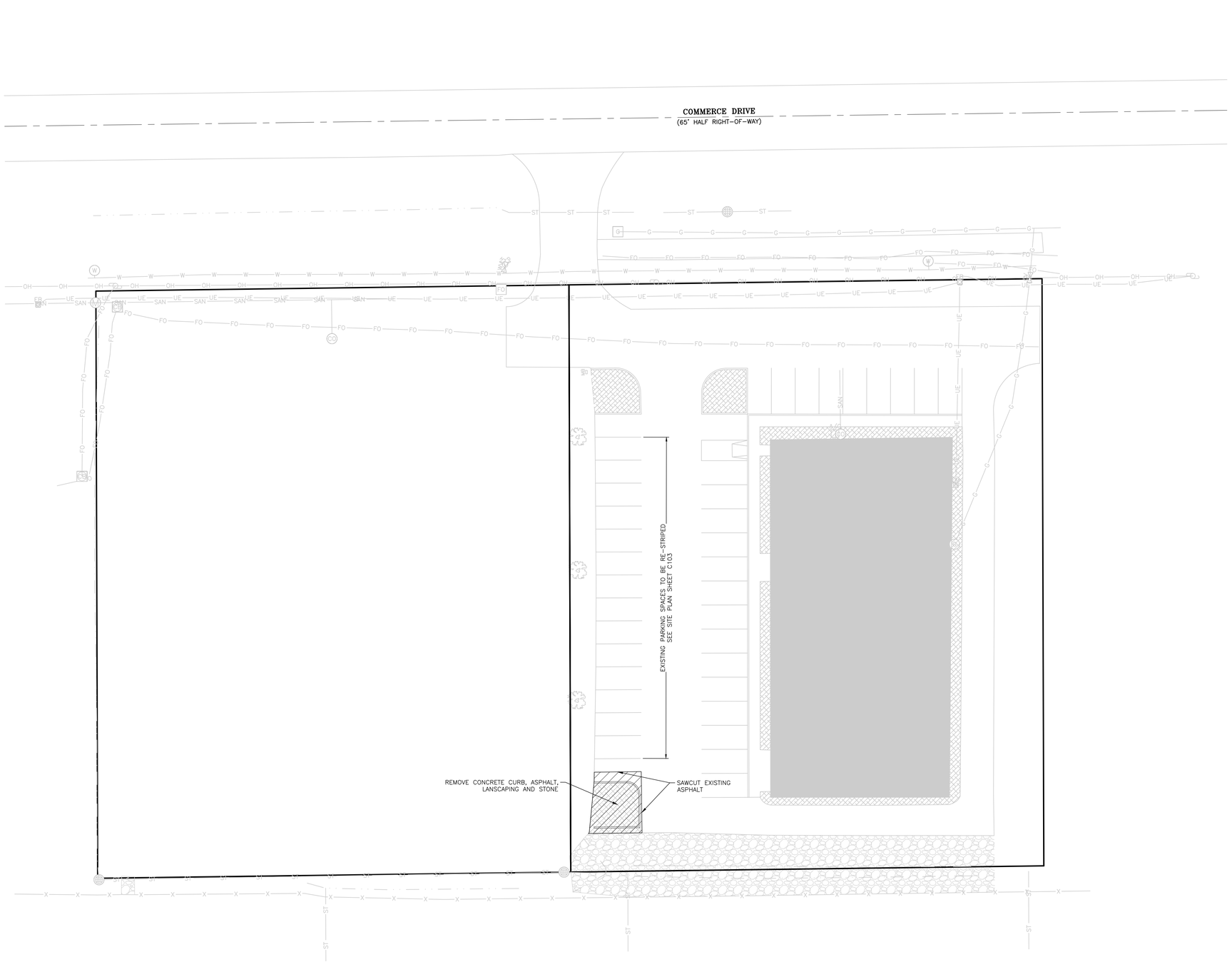
SHEET TITLE: EXISTING TOPO

DRAWN BY: DEK
SCALE: 1" = 20'
DATE: 07-18-2022
JOB NUMBER: 22018

JAMES C. LENART REGISTERED NO. 10707550 STATE OF INDIANA PROFESSIONAL ENGINEER

SHEET C101

22018 Design.dwg




NORTH

SCALE: 1" = 20'

0 10 20

## LEGEND

AREA OF REMOVAL

NOTE:

ALL ITEMS AND THEIR APPURTENANCES WITHIN THE AREAS OF REMOVAL SHALL BE REMOVED OR RELOCATED AS NEEDED TO COMPLETE THE PROJECT WHETHER OR NOT THEY ARE SPECIFICALLY CALLED OUT ON THIS SHEET.

## UNDERGROUND UTILITIES:

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Columbus, Indiana 47203
Phone: 812-372-0996
Fax: 812-602-0484
www.ilsurveying.com

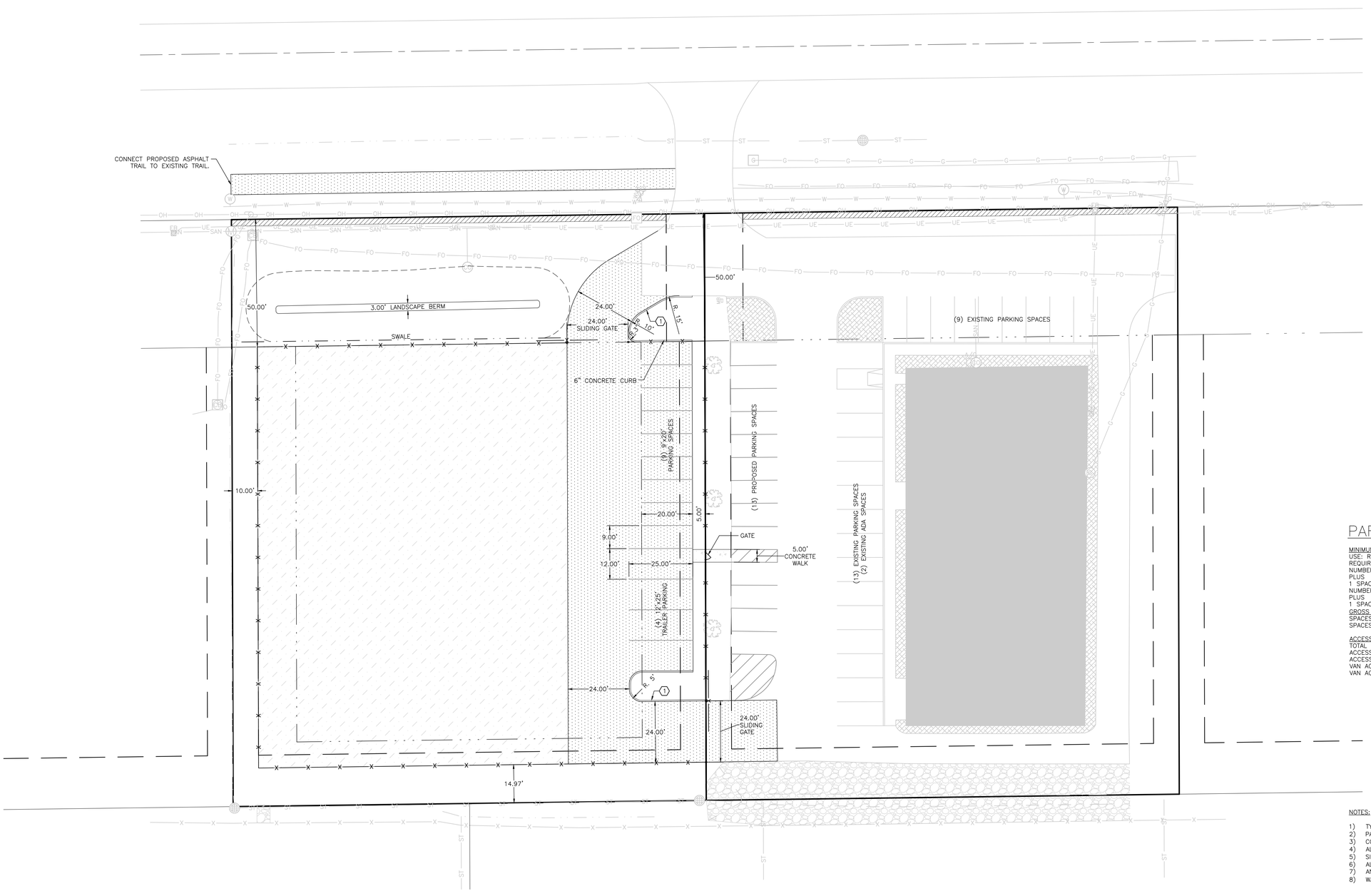
SHEET TITLE: DEMOLITION PLAN

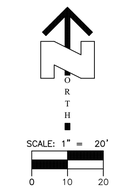
DRAWN BY: DEK
SCALE: 1" = 20'
DATE: 07-18-2022
JOB NUMBER: 22018

JAMES C. LENART
REGISTERED
NO. 10707550
STATE OF INDIANA
PROFESSIONAL ENGINEER

SHEET C102

22018 Design.dwg




## LEGEND

- PROPERTY LINES
- 1' NO ACCESS STRIP PER PLAT
- EASEMENT
- PROPOSED FENCE
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED CRUSHED STONE
- (1) PROPOSED 6" STAND UP CURB

## PARKING SPACES

MINIMUM NUMBER OF REQUIRED SPACES:
USE: RETAIL STORE
REQUIREMENTS: 1 SPACE FOR EVERY EMPLOYEE ON THE LARGEST SHIFT
NUMBER OF EMPLOYEES: 12
PLUS
1 SPACE FOR EVERY BUSINESS VEHICLE STORED ON-SITE
NUMBER OF VEHICLES: 10 TRUCKS
PLUS
1 SPACE FOR EACH 300 SQ. FT. OF GROSS FLOOR AREA RETAIL SPACE
GROSS FLOOR AREA RETAIL SPACE: 3223 SQUARE FEET (EXISTING BUILDING)
SPACES REQUIRED: 33
SPACES PROVIDED: 50

ACCESSIBLE PARKING:
TOTAL SPACES PROVIDED: 50
ACCESSIBLE SPACES REQUIRED: 2
ACCESSIBLE SPACES PROVIDED: 2
VAN ACCESSIBLE SPACES REQUIRED: 1
VAN ACCESSIBLE SPACES PROVIDED: 2

NOTES:

1) TYPICAL PARKING SPACES ARE 9'x20'.
2) PAINT STRIPES ARE TO BE 3 TO 4 INCHES IN WIDTH.
3) CONTRACTOR TO VERIFY LOCATION OF EXISTING & PROPOSED UTILITIES PRIOR TO CONSTRUCTION.
4) ALL WORK PERFORMED ON THIS SITE IS TO CONFORM TO LOCAL AND STATE REQUIREMENTS.
5) SIDEWALKS AND ADA SPACES TO BE CONSTRUCTED TO MEET ADA REQUIREMENTS.
6) ALL DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT.
7) ANY OUTDOOR LIGHTING WILL HAVE 90 DEGREE CUTOFF.
8) WATER METER AND WATER LINE SIZES PROVIDED BY OTHERS.

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Columbus, Indiana 47203
Phone: 812-372-0996
Fax: 812-602-0484
www.ilsurveying.com

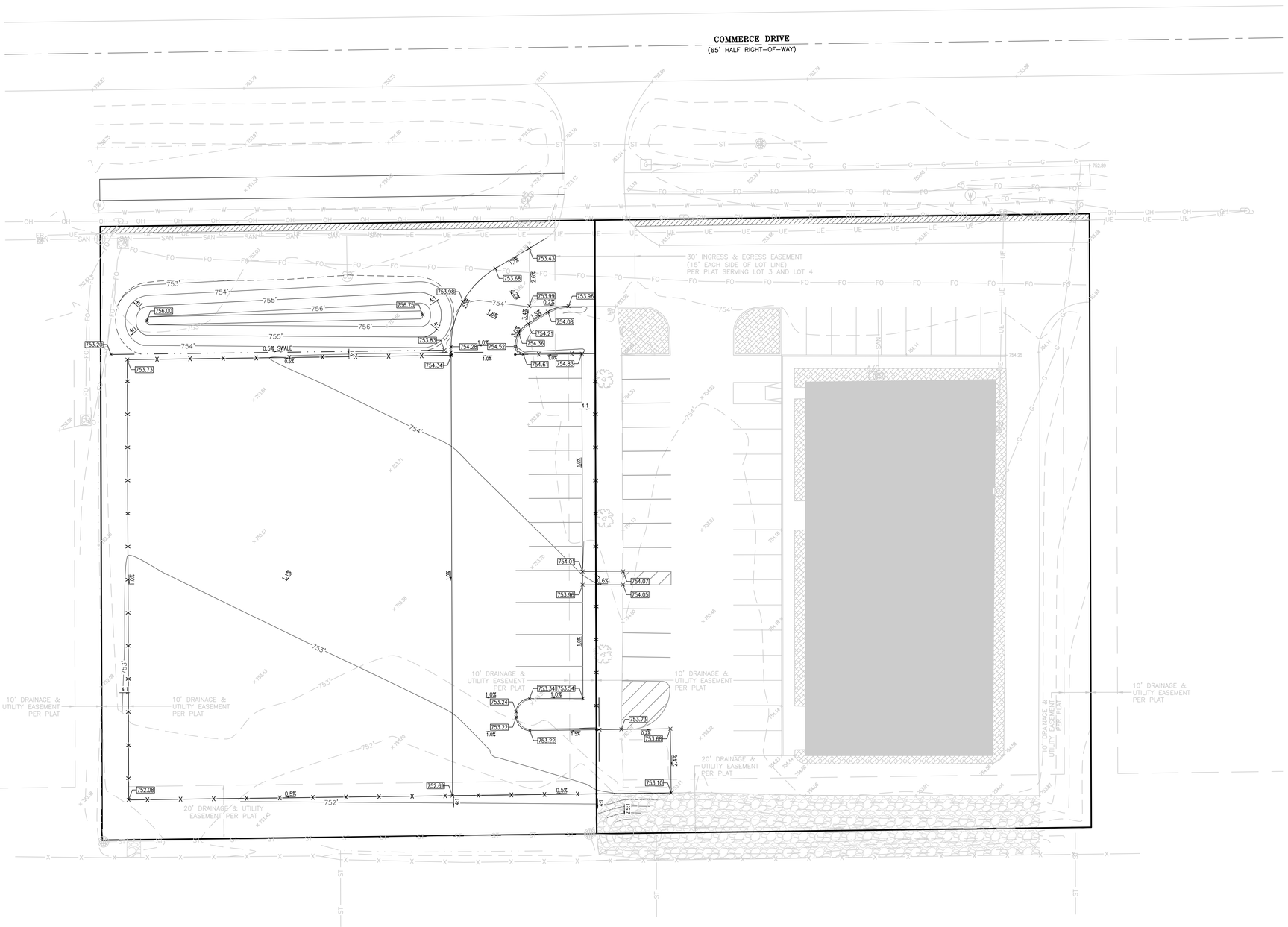

SHEET TITLE: CONCEPTUAL SITE PLAN

DRAWN BY: DEK
SCALE: 1" = 20'
DATE: 07-18-2022
JOB NUMBER: 22018

JAMES C. LEWART
REGISTERED NO. 10707550
STATE OF INDIANA
PROFESSIONAL ENGINEER

SHEET C103

22018 Design.dwg




NORTH

SCALE: 1" = 20'

0 10 20

## LEGEND

- PROPERTY LINES
- XXX' EXISTING CONTOURS
- EXISTING SPOT ELEVATIONS
- XXX' PROPOSED CONTOURS
- ×XXX.XX PROPOSED FINISHED GRADE ELEVATIONS

NOTES:

1) NO GEOTECHINCAL ENGINEERING WAS INCLUDED IN INDEPENDENT LAND SURVEYING'S SCOPE OF WORK. NO GEOTECHNICAL RECOMMENDATIONS ARE TO BE IMPLIED BY THE INCLUDED DETAILS AND SPECIFICATIONS AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. INDEPENDENT LAND SURVEYING RECOMMENDS THE OWNER CONSULT A GEOTECHNICAL ENGINEER FOR FINAL DESIGN RECOMMENDATIONS, INCLUDING, BUT NOT LIMITED TO EARTHWORK SPECIFICATIONS AND PAVEMENT DESIGN, BASED ON EXISTING SITE CONDITIONS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHINCAL ENGINEER'S RECOMMENDATIONS.

2) CONTRACTOR TO GRADE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS WHEN SITE WORK IS COMPLETE.

3) ALL WORK PERFORMED ON THIS SITE IS TO CONFORM TO LOCAL AND STATE REQUIREMENTS.

4) CONTRACTOR SHALL PROVIDE GRANULAR BACKFILL WHEN EXCAVATING WITHIN 5 FEET OF PAVEMENTS.

5) OWNER/CONTRACTOR TO KEEP INLETS CLEAN TO INSURE PROPER DRAINAGE.

6) FILL SHALL BE PROTECTED AGAINST EROSION AND SCOUR DURING FLOODING BY VEGETATIVE COVER, RIP RAP OR BULKHEADING. SLOPES NOT TO EXCEED 3:1 WHERE VEGETATIVE COVER IS USED.

| REV. NO. | DATE | DESCRIPTION | BY |
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www.ilsurveying.com

SHEET TITLE: GRADING PLAN

DRAWN BY: DEK
SCALE: 1" = 20'
DATE: 07-18-2022
JOB NUMBER: 22018

JAMES C. LEINART
REGISTERED NO. 10707550
STATE OF INDIANA
PROFESSIONAL ENGINEER

SHEET C104

22018 Design.dwg

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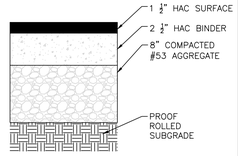
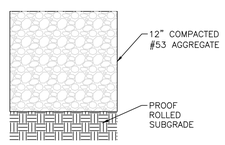


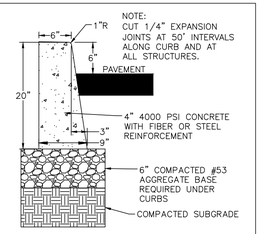

ASPHALT DETAIL

N.T.S.



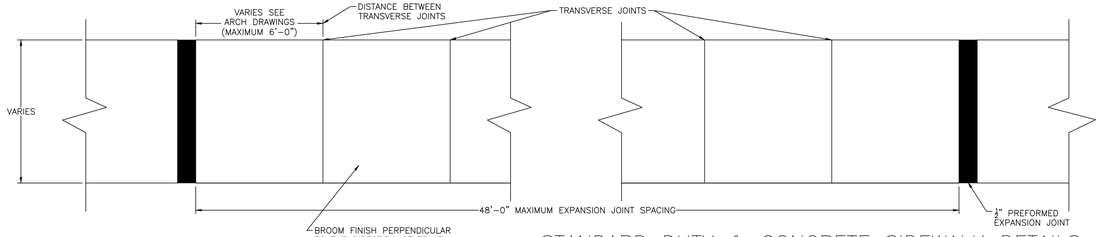

STONE DETAIL

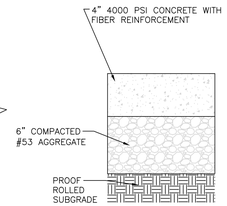
N.T.S.

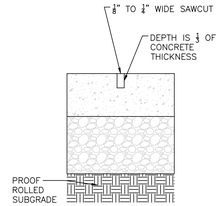



6" STANDUP CURB

N.T.S.




STANDARD DUTY & CONCRETE SIDEWALK DETAILS

N.T.S.

| REV. NO. | DATE | DESCRIPTION | BY |
|---|---|---|---|
| - | - | - | - |

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Fax: 812-602-0484
www.ilsurveying.com

SHEET TITLE: CONSTRUCTION DETAILS

DRAWN BY: DEK
SCALE: N.T.S.
DATE: 07-18-2022
JOB NUMBER: 22018

JAMES C. LEINART
REGISTERED
NO. 10707550
STATE OF INDIANA
PROFESSIONAL ENGINEER

SHEET
C105

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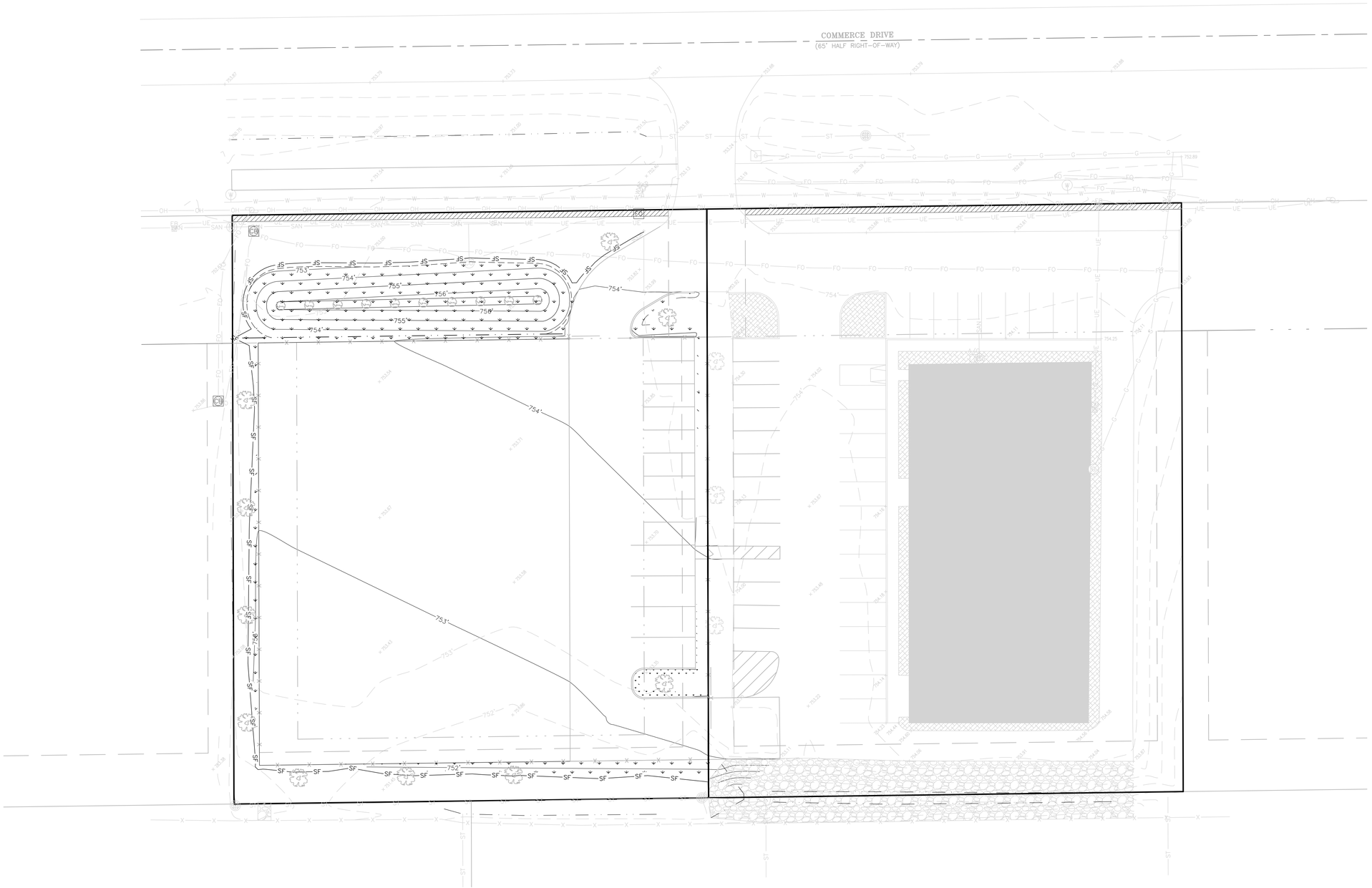


NORTH

SCALE: 1" = 20'

0 10 20

## LEGEND

- PROPERTY LINES
- SF — PROPOSED SILT FENCE
- PERMANENT SEEDING AREA

NOTES:

1) THE DISTURBED AREA OF THIS SITE IS LESS THAT ONE ACRE, SO A CONSTRUCTION STORMWATER GENERAL PERMIT WILL NOT BE REQUIRED. HOWEVER, EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED.

2) STANDARDS AND SPECIFICATIONS FOR THE PRACTICES USED TO MEET MINIMUM REQUIREMENTS FOR EROSION AND SEDIMENTATION CONTROL ARE FOUND IN THE INDIANA STORM WATER QUALITY MANUAL. DETAIL DRAWINGS AND OTHER DESIGN REQUIREMENTS ACCOMPANY THE STANDARDS.

3) SILT FENCE WILL NEED TO BE INSTALLED TO PREVENT EROSION FROM LEAVING THE SITE. INSTALL SILT FENCE PER MANUFACTURER'S INSTRUCTIONS IN LOCATIONS SHOWN.

4) PROTECT INLETS FROM SILT UNTIL VEGETATION IS ESTABLISHED.

5) ALL DISTURBED AREAS OUTSIDE OF PAVEMENT WILL REQUIRE MULCHED SEEDING.

| REV. NO. | DATE | DESCRIPTION | BY |
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SHEET TITLE: EROSION CONTROL & SEEDING PLAN

DRAWN BY: XX
SCALE: 1" = 20'
DATE: 07-18-2022
JOB NUMBER: 22018

JAMES C. LENART
REGISTERED NO. 10707550
STATE OF INDIANA
PROFESSIONAL ENGINEER

SHEET
C106

22018 E Design.dwg

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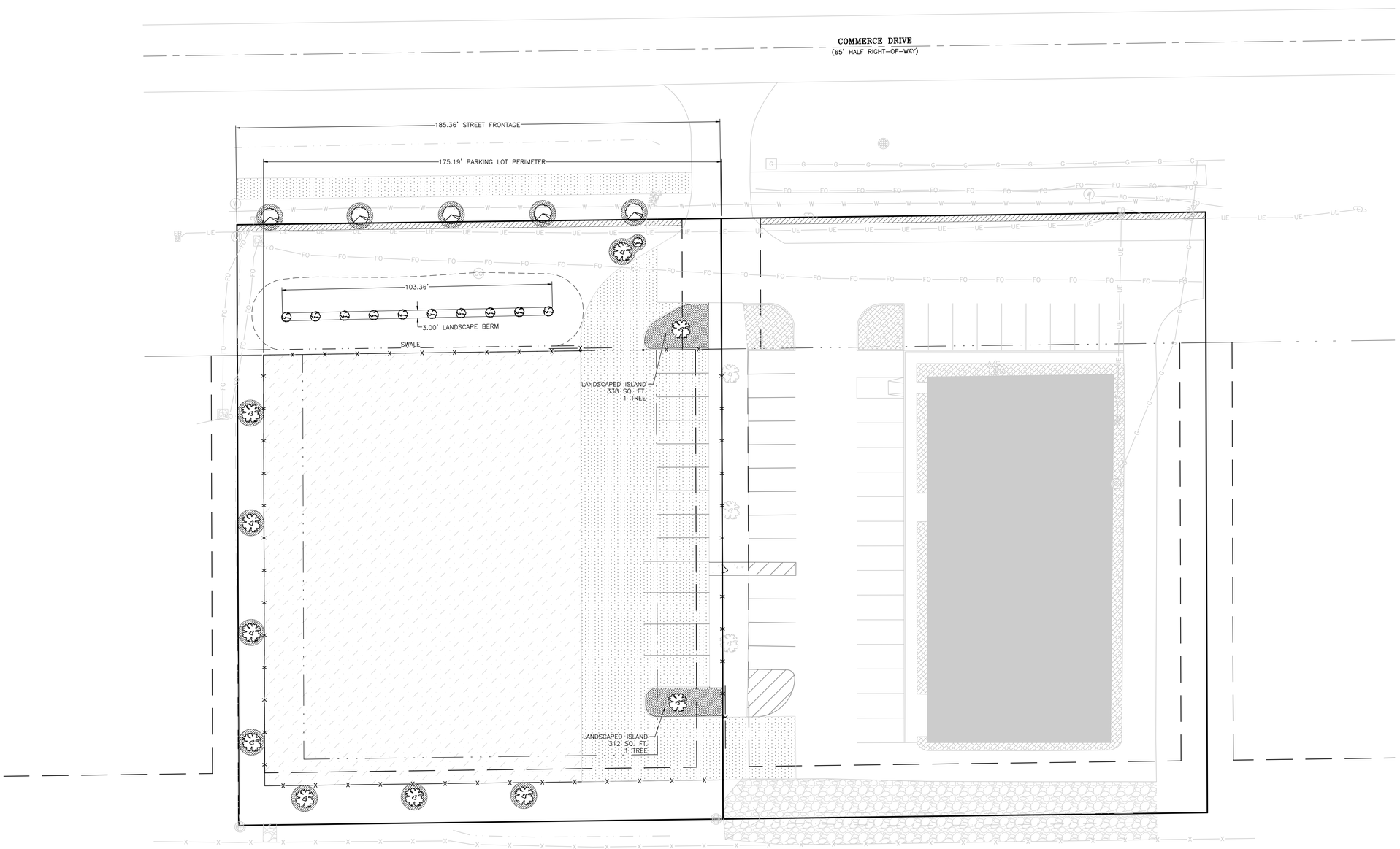


NORTH

SCALE: 1" = 20'

0 10 20

## LANDSCAPING MATERIAL STANDARDS

THE FOLLOWING STANDARDS SHALL APPLY TO ALL PLANT MATERIAL USED TO SATISFY THE CITY OF FRANKLIN'S LANDSCAPING REQUIREMENTS:

1. TREES AND SHRUBS SHALL MEET THE MINIMUM REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1, LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. TREES ROOTS ARE PREFERRED TO BE BALLED AND BURLAPPED. THE PLANTING MINIMUM FOR TREES IS ONE GROWING SEASON IN A FIVE-GALLON CONTAINER. SHRUBS SHALL BE WELL-ROOTED IN A THREE-GALLON CONTAINER OR GREATER.

2. DECIDUOUS TREES AT THE TIME OF PLANTING SHALL BE A MINIMUM OF 2.5 INCHES IN DIAMETER MEASURED 6 INCHES FROM THE GROUND. EVERGREEN TREES SHALL BE A MINIMUM OF FIVE FEET TALL AT THE TIME OF PLANTING.

3. SHRUBS SHALL BE A MINIMUM OF 18 INCHES TALL AT THE TIME OF PLANTING.

4. PLANTS USED TO MEET CODE REQUIREMENTS THAT ARE LOST, DAMAGED, OR DIE SHALL BE PERMANENTLY MAINTAINED AND REPLACED WITH A SIMILAR SPECIES AT THE LANDOWNER'S EXPENSE.

## REQUIRED LANDSCAPING AREAS:

SITE INTERIOR (COMMERCIAL) – 1 TREE PER 1500 SQ. FT. OF YARD AREA
75% MAX. LOT COVERAGE (ZONED: IBD)
LOT 3 = 42,689 SQ. FT. (0.98 ACRES) X 0.25 = 10,672 SQ. FT. MINIMUM YARD AREA REQUIRED.
10,672 SQ. FT./1500 SQ. FT. = 7 TREES

PARKING LOT PERIMETER (COMMERCE DRIVE R/W)
1 TREE PER 80 LINEAR FEET OF LANDSCAPED AREA AND 1 SHRUB FOR EVERY ONE TREE.
AND/OR A 3' HIGH LANDSCAPED BERM WITH 1 SHRUB FOR EVERY 10 LINEAR FEET OF BERM.
175.19' PARKING LOT PERIMETER – 103.36' LANDSCAPED BERM (10 SHRUBS) = 71.83'
71.83'/80 = 1 TREE AND 1 SHRUB

PARKING LOT INTERIOR
LANDSCAPE ISLANDS W/ 5% OF PAVED SURFACE (ASPHALT).
8763 SQ. FT. PAVED SURFACE X 0.05 = 438 SQ. FT.
651 SQ. FT. LANDSCAPE ISLANDS PROVIDED (300 SQ. FT. MIN./ISLAND X 2)
1 TREE PER 300 SQ. FT. REQUIRED LANDSCAPED AREA.
600 SQ. FT./300 = 2 TREES

BUFFER YARD
NONE REQUIRED.

STREET TREES – 1 TREE PER 35' OF STREET FRONTAGE
185.36'/35 = 5 TREES

| PLANT TYPE | SIZE AT PLANTING |
|---|---|
| STREET TREE<br>RED SUNSET MAPLE – ACER RUBRUM "RED SUNSET"<br>SKYLINE HONEYLOCUST – GLEDITZIA TRIACANTHOS INERM IS "SKYLINE" | 2.5" DIA. @ 6" ABOVE ROOT BALL |
| LARGE TREE<br>EASTERN REDBUD – CERCIS CANADENSIS<br>RED SUNSET MAPLE – ACER RUBRUM "RED SUNSET"<br>SKYLINE HONEYLOCUST – GLEDITZIA TRIACANTHOS INERM IS "SKYLINE"<br>AUTUMN GOLD GINKO – GINKO BILOBA "AUTUMN GOLD" | 2.5" DIA. @ 6" ABOVE ROOT BALL |
| SHRUB<br>BERBERIS THUNBERGII – CRIMSON BARBERRY<br>BERBERIS THUNBERGII – JAPANESE BARBERRY<br>BERBERIS THUNBERGII – CRIMSON PYGMY BARBERRY<br>TAXUS BACCATA 'REPANDENS' – DWARF ENGLISH YEW<br>BOXUS MYCROPHYLLA – LITTLELEAF OR KOREAN BOXWOOD | 18" TALL |

NOTES:

1. IRRIGATION SYSTEM TO BE BY OTHERS & NOT INCLUDED IN THIS PROJECT.
2. NEW LANDSCAPING TO BE SURROUNDED BY MULCHED LANSCAPING.
3. PROVIDE LANDSCAPING FABRIC & STEEL EDGING AROUND ALL PLANTING AREAS.
4. ALL AREAS NOT COVERED WITH STONE OR HARDSCAPE TO BE SEEDED.

## LEGEND

PROPOSED SHRUB

PROPOSED TREE

MULCH AROUND ALL TREES AND SHRUBS

## UNDERGROUND UTILITIES:

THE EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON THE DRAWING WERE OBTAINED FROM SURFACE MARKINGS BY OTHERS, BY VISIBLE SURFACE INDICATIONS, AND BY PLANS AND DRAWINGS OBTAINED FROM OTHERS. INDEPENDENT LAND SURVEYING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY OF THE SURFACE MARKINGS MADE BY OTHERS. THIS INFORMATION IS BELIEVED TO BE CORRECT BUT IS NOT GUARANTEED. LOCATION OF ALL UTILITIES SHOULD BE FIELD VERIFIED BEFORE ANY NEW CONSTRUCTION BEGINS. DEPTHS OF UNDERGROUND UTILITIES WERE NOT MARKED AND ARE UNKNOWN UNLESS NOTED OTHERWISE.

Indiana 811 Know what's below. Call before you dig.

| REV. NO. | DATE | DESCRIPTION | BY |
|---|---|---|---|
| - | - | - | - |

PROJECT NAME

ANGIE'S POOL & SPA, INC.
ANGIE'S POOL & SPA STORAGE YARD

Independent Land Surveying
414 South Main Street
Brownstown, Indiana 47220
Phone: 812-358-2882
Fax: 812-358-2605
3200 Sycamore CT, STE. 2A
Columbus, Indiana 47203
Phone: 812-372-0996
Fax: 812-602-0484
www.ilsurveying.com

SHEET TITLE: LANDSCAPING PLAN

DRAWN BY: DEK
SCALE: 1" = 20'
DATE: 07-18-2022
JOB NUMBER: 22018

JAMES C. LEWART
REGISTERED NO. 10707550
STATE OF INDIANA
PROFESSIONAL ENGINEER

SHEET C107

22018 Design.dwg