

OWNER:

FRANKLIN ANIMAL CLINIC

2990 NORTH MORTON STREET  
FRANKLIN, INDIANA

DEVELOPER:

ALDERSON COMMERCIAL  
GROUP

425 W SOUTH ST. SUITE 100,  
INDIANAPOLIS, IN 46225

ENGINEER/LANDSCAPE ARCHITECT:

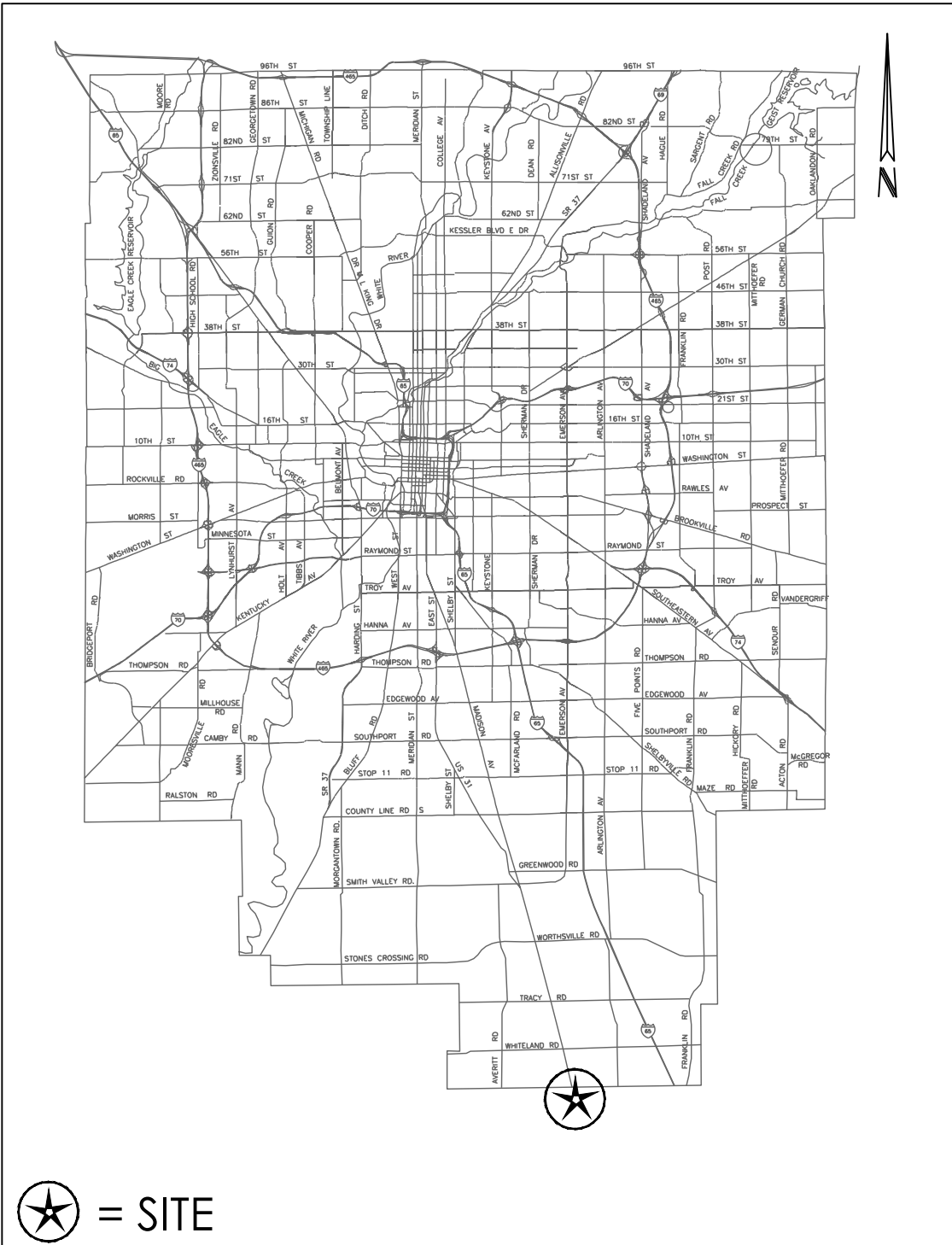


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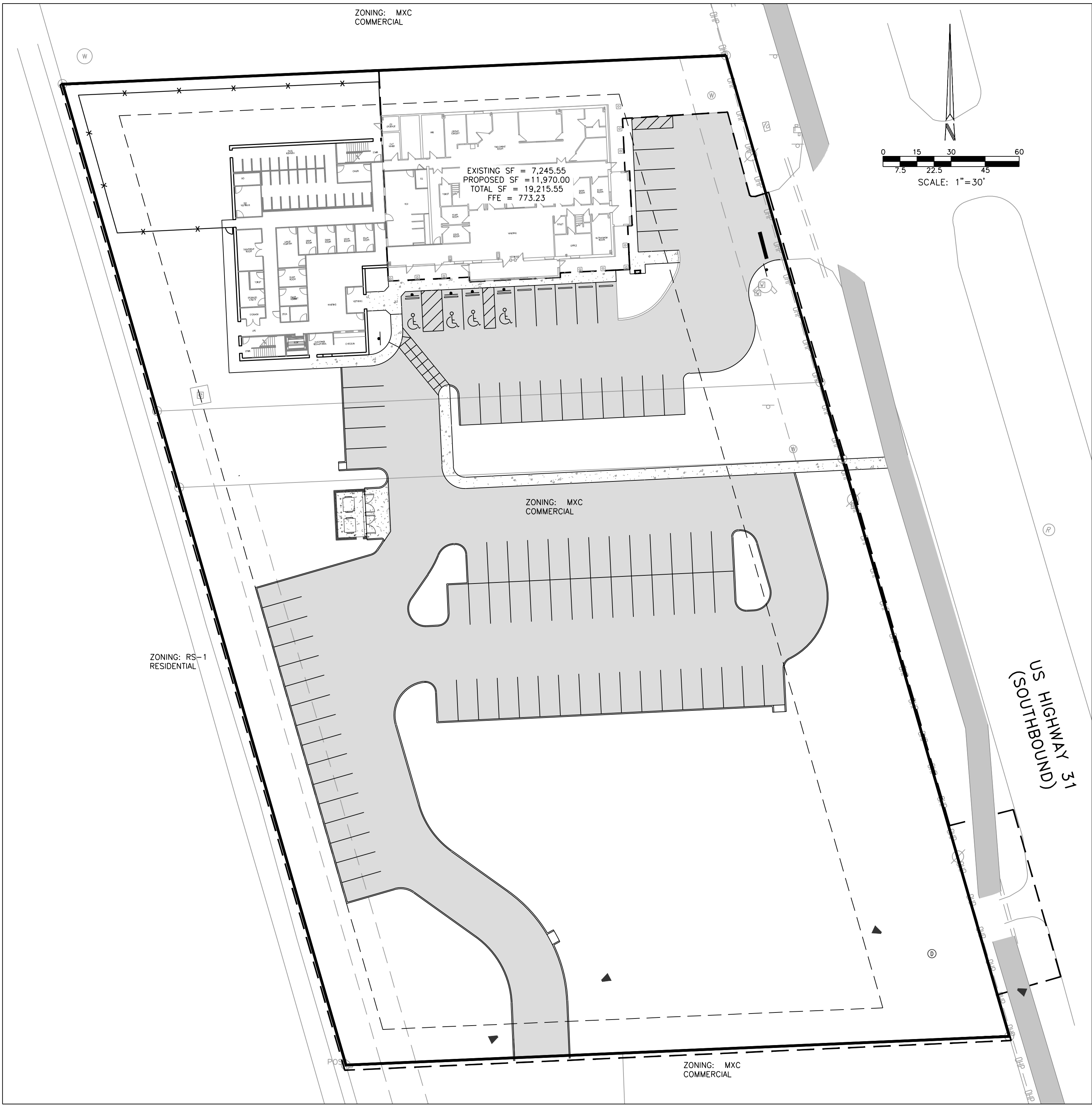
LOCATION MAP:



VICINITY MAP:



# CONSTRUCTION PLANS FOR FRANKLIN ANIMAL CLINIC



PROJECT DATA:

PROJECT ADDRESS 2990 N. MORTON STREET  
FRANKLIN, INDIANA 46131  
PROJECT AREA 2.96 AC  
BUILDING AREA 0.30± AC  
SEE SITE PLAN FOR ZONING AND PARKING INFORMATION

SHEET INDEX:

SHEET	DESCRIPTION
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C402	STORMWATER POLLUTION PREVENTION DETAILS
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C702	STORM SEWER DETAILS
C703	STORM SEWER DETAILS
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1	PHOTOMETRIC
2	PHOTOMETRIC
S1	ALTA SURVEY
S2	ALTA SURVEY
S3	ALTA SURVEY

AGENCY & UTILITY INFO:

AGENCY/UTILITY	PHONE NUMBER
FRANKLIN DEPARTMENT OF CODE ENFORCEMENT	317-736-3631
FRANKLIN DEPARTMENT OF PUBLIC WORKS	317-736-3640
FRANKLIN FIRE DEPARTMENT	317-327-6041
FRANKLIN PLANNING AND ENGINEERING	877-736-3631
JOHNSON COUNTY SWCD	317-736-9540
DUKE ENERGY - BRIAN BANTLEY	317-502-2102
VECTREN (GAS)	800-227-1376
INDIANA AMERICAN WATER	800-492-8373

**CAUTION**  
LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CRIFE TEAM:

PROJECT MANAGER	STEV PIERRE, PE	317-706-6309
PROJECT ENGINEER	JOE BYRNE, PE	317-706-6319
DESIGN SPECIALIST	CALEB CHANCE	317-706-6325
DESIGN ASSOCIATE	SHANNON SHAW	317-706-6312
QUALITY ASSURANCE	GARY MURRAY, PE, LEED AP	317-706-6310

Revisions

Rev	Date	Description
1	07-01-2022	Design Revision
2		
3		
4		
5		
6		
7		
8		
9		
10		

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CIVIL COVER SHEET

FRANKLIN ANIMAL CLINIC

ALDERSON COMMERCIAL GROUP

2990 North Morton Street  
Franklin, Indiana

CERTIFIED BY:

GARY E. MURRAY  
REGISTERED  
PE 9300348  
STATE OF  
INDIANA  
PROFESSIONAL ENGINEER

Date 07-01-2022

811  
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C. CHANCE

Checked By:

S. PIERRE, PE

Quality Assurance:

G. MURRAY, PE, LEED AP

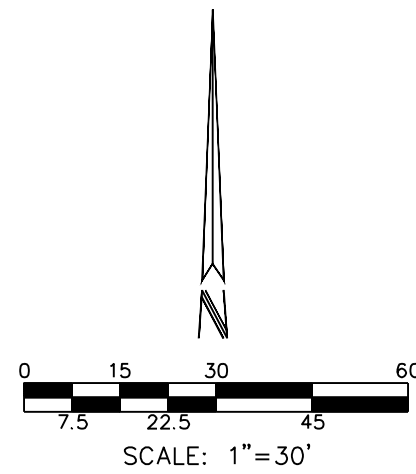
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Sheet C001


Date 07-01-2022

Project Number: 210092-20000






**DEMOLITION PLAN LEGEND**

<p>SAWCUT AND REMOVE ASPHALT FROM SITE</p>		<p>SAWCUT AND REMOVE CONCRETE FROM SITE</p>
<p>— — — — — CONSTRUCTION LIMITS</p>		

**DEMOLITION PLAN NOTES**

1. UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK ASSOCIATED WITH THE ABANDONMENT, REMOVAL, RELOCATION, AND INSTALLATION OF UTILITIES WITH EVERY UTILITY COMPANY AND OBTAIN THEIR APPROVAL PRIOR TO PERFORMING ANY UTILITY WORK.
3. ALL DEMOLISHED MATERIAL TO BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED, AND SHALL BE LEGALLY DISPOSED OF OFF-SITE.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PER SHEET C401-C403 PRIOR TO COMMENCING DEMOLITION.
5. MAINTAIN PROPER DRAINAGE IN DEMOLITION AREAS.
6. SAWCUT CONCRETE AND ASPHALT SURFACES FOR REMOVAL AS NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ALL BUILDINGS AND/OR SITE ENTITIES THAT ARE TO REMAIN.
8. THE CONCRETE TO BE SAWCUT SHALL BE SAWCUT TO THE NEAREST CONCRETE JOINT BEYOND THE LIMITS ILLUSTRATED. NOTIFY ENGINEER IF JOINT IS OVER ONE (1) FOOT FROM LINE SHOWN.
9. REMOVAL OR RELOCATION OF ALL LANDSCAPING MUST BE COORDINATED WITH OWNER.
10. OVERHEAD AND/OR UNDERGROUND ELECTRIC AND TELEPHONE CABLES THAT ARE SHOWN TO BE ABANDONED IN PLACE MAY BE CUT AS NECESSARY TO FACILITATE NEW CONSTRUCTION. CONTRACTOR SHALL ENSURE THAT LINES ARE NOT ACTIVE PRIOR TO CUTTING AND OBTAIN UTILITY COMPANY APPROVAL PRIOR TO PERFORMING ANY DEMOLITION.
11. WATER LINES SHALL NOT BE ABANDONED OR DEMOLISHED UNTIL PROPOSED WATER MAINS HAVE BEEN INSTALLED TO A POINT SUCH THAT ONLY MINIMAL DISRUPTION IN WATER SERVICE TO THE EXISTING OCCUPIED BUILDINGS WILL OCCUR. CONTRACTOR TO COORDINATE ANY SERVICE SHUT DOWN WITH THE BUILDING OWNER AT LEAST 72 HOURS PRIOR TO SCHEDULING SHUT DOWN.
12. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
13. CONTRACTOR TO ESTABLISH NEW LOCAL SURVEY CONTROL SYSTEM (VERTICAL AND HORIZONTAL) PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. MANY TEMPORARY BENCHMARKS UTILIZED IN THE PREPARATION OF THE TOPOGRAPHIC SURVEY FOR THE DESIGN WILL BE RELOCATED AS PART OF CONSTRUCTION.

KEYNOTE LEGEND	
1	SAWCUT AND REMOVE CONCRETE CURB
2	CURB TO REMAIN
3	SAWCUT AND REMOVE ASPHALT AND GRANULAR SUBBASE
4	MILL ASPHALT $\frac{1}{2}$ INCHES 
5	REMOVE GRAVEL DRIVEWAY
6	UTILITY TO REMAIN AND BE PROTECTED
7	REMOVE CONCRETE PAVEMENT
8	REMOVE LIGHT POLE, WIRING, AND BASE COMPLETELY. DISPOSE.
9	REMOVE TREES (SEE LANDSCAPE PLAN FOR TREES TO REMAIN)
10	REMOVE CONCRETE SIDEWALK BACK TO NEAREST JOINT FROM LIMITS SHOWN ON PLANS
11	REMOVE FENCE IN ITS ENTIRETY
12	FOLLOWING COMPLETION OF PROJECT, REMOVE DRIVE AND CULVERT COMPLETELY. RE-ESTABLISH SWALE FLOW LINE FOLLOWING REMOVAL.
13	EXISTING BUILDING TO REMAIN (COORDINATE WITH ARCHITECTURAL PLANS)
14	TREES TO REMAIN

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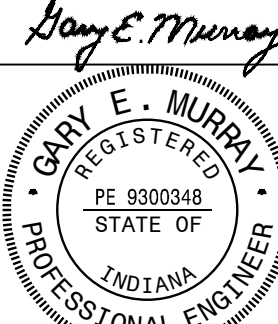
## EXISTING CONDITIONS AND DEMOLITION PLAN

FRANKLIN ANIMAL CLINIC

ALDERSON COMMERCIAL GROUP

0 North Morton Street  
Franklin, Indiana

CERTIFIED BY:



Date 07-01-2022



811 1-800-382-5

Drawn By:

**C. CHANCE**  
Checked By:

**S. PIERRE, PE**

**G. MURRAY, PE, LEED AP**

Scale: 1" = XX'

Sheet C101

C101

Date 07-01-2022

Project Number  
210092-20000

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12" RCP CULVERT FOR  
- SWALE OUTLET CONTROL  
IE = 769.90

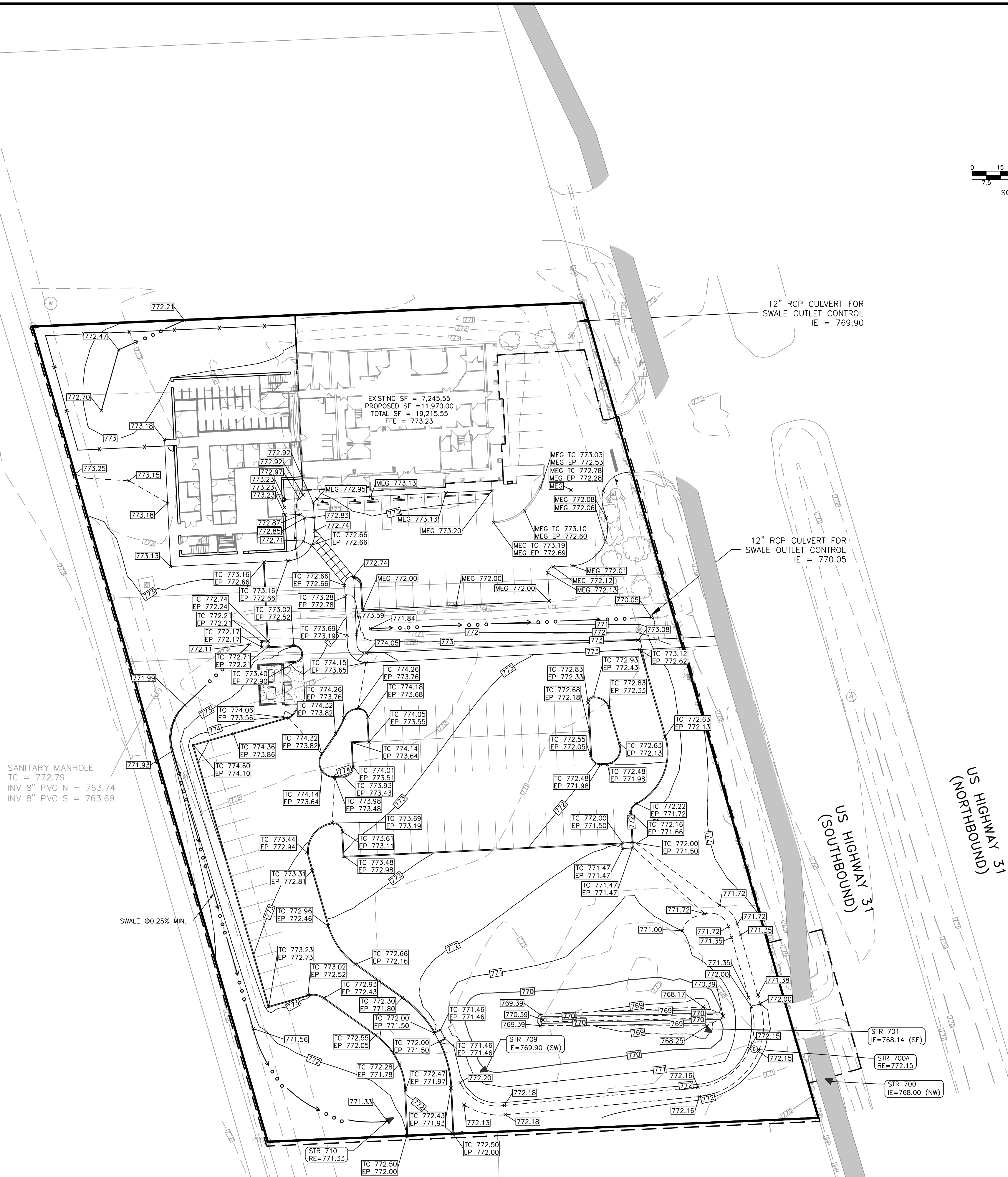
2" RCP CULVERT FOR  
TALLE OUTLET CONTROL  
IE = 770.05







C:\2021\210092\20000\Cost\Engr\CD\3\ C301\_Grading Plan.dwg July 1, 2022 11:01 AM CALEB CHANCE © Paul J. Cripe, Inc.



**GRADING PLAN LEGEND**

PROPOSED 1' CONTOUR

PROPOSED 5' CONTOUR

PROPOSED SWALE

PROPOSED SWALE WITH SUB-SURFACE DRAIN

GRADE BREAK LINE

FLOOD ROUTE PATH

DRAINAGE FLOW ARROW

PROPOSED GRADE

MATCH EXISTING GRADE

PROPOSED TOP OF CURB

PROPOSED EDGE OF PAVEMENT

PROPOSED TOP OF WALL

PROPOSED BOTTOM OF WALL

FINISHED FLOOR ELEVATION

RIM ELEVATION

**GRADING PLAN NOTES**

1. UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. TOPOGRAPHIC AND PLANIMETRIC INFORMATION FROM PHOTOGRAPHIC COMPILATION HAS BEEN PROVIDED BY OTHERS. THE ACCURACY HAS NOT BEEN CONFIRMED BY CRPE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD.

3. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.

4. RIM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.

5. BUILDING PAD AREAS AND PAVED AREAS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS SHALL BE STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.

6. ANY EXCESS SOIL MATERIAL SHALL BE EXPORTED FROM THE SITE AFTER CONSTRUCTION IS COMPLETED.

7. TOPSOIL SHALL BE PLACED IN LAWN, LANDSCAPE, MOUNDING AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF MASS EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR TO SIX (4 TO 6) INCHES IN AREAS LISTED ABOVE. TOPSOIL SHALL NOT BE UTILIZED AS STRUCTURAL FILL IN PAVED AREAS.

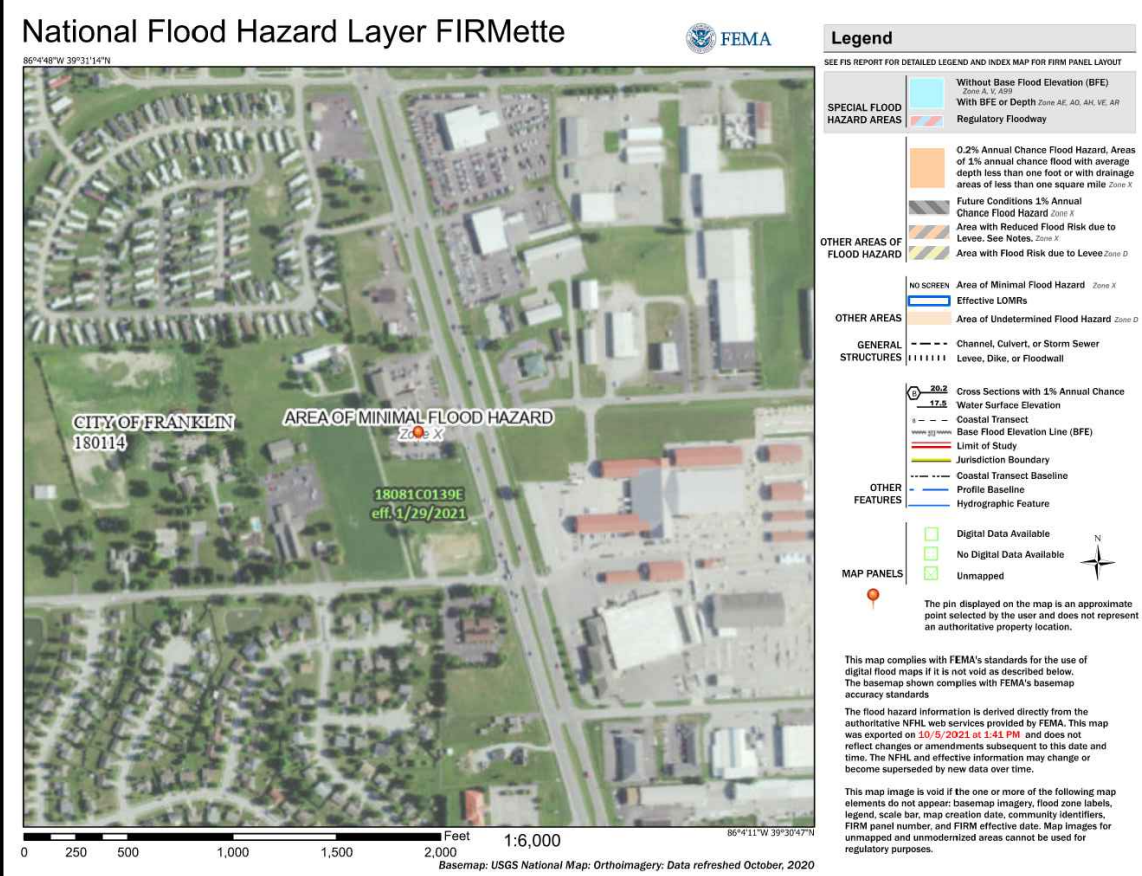
8. CONTRACTOR SHALL PRESERVE EXISTING TREES WHEREVER POSSIBLE. CLEARING LIMITS SHALL CONSIST OF ALL TREES WITHIN PAVED AREAS, UTILITY INSTALLATION LIMITS, AND CUT/FILL AREAS.

9. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED FOR THIS PROJECT. CONTRACTOR TO PERFORM A SITE VISIT PRIOR TO PROJECT BID. THE ENGINEER HAS BASED RECOMMENDATIONS UPON NRCS MAPS AND GENERAL KNOWLEDGE OF SOILS CONDITIONS IN THE AREA.

10. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

**FLOODPLAIN NOTES**

1. THE SITE IS LOCATED WITHIN THE FLOOD HAZARD ZONE "X" PER THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 18081C0139E, REVISED JANUARY 29, 2021.



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GRADING PLAN  
FRANKLIN ANIMAL CLINIC  
ALDERSON COMMERCIAL GROUP  
2990 North Morton Street  
Franklin, Indiana

CERTIFIED BY:  
  
GARY E. MURRAY  
REGISTERED  
PE 9300348  
STATE OF  
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PROFESSIONAL ENGINEER

Date 07-01-2022

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Sheet  
C301

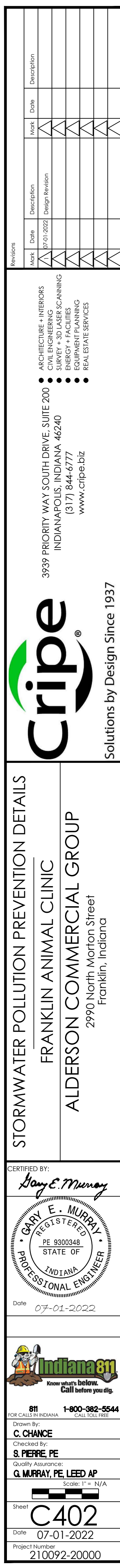
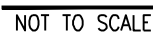
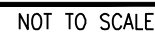
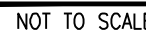
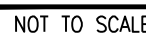
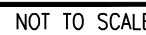
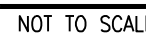
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Project Number  
210092-20000





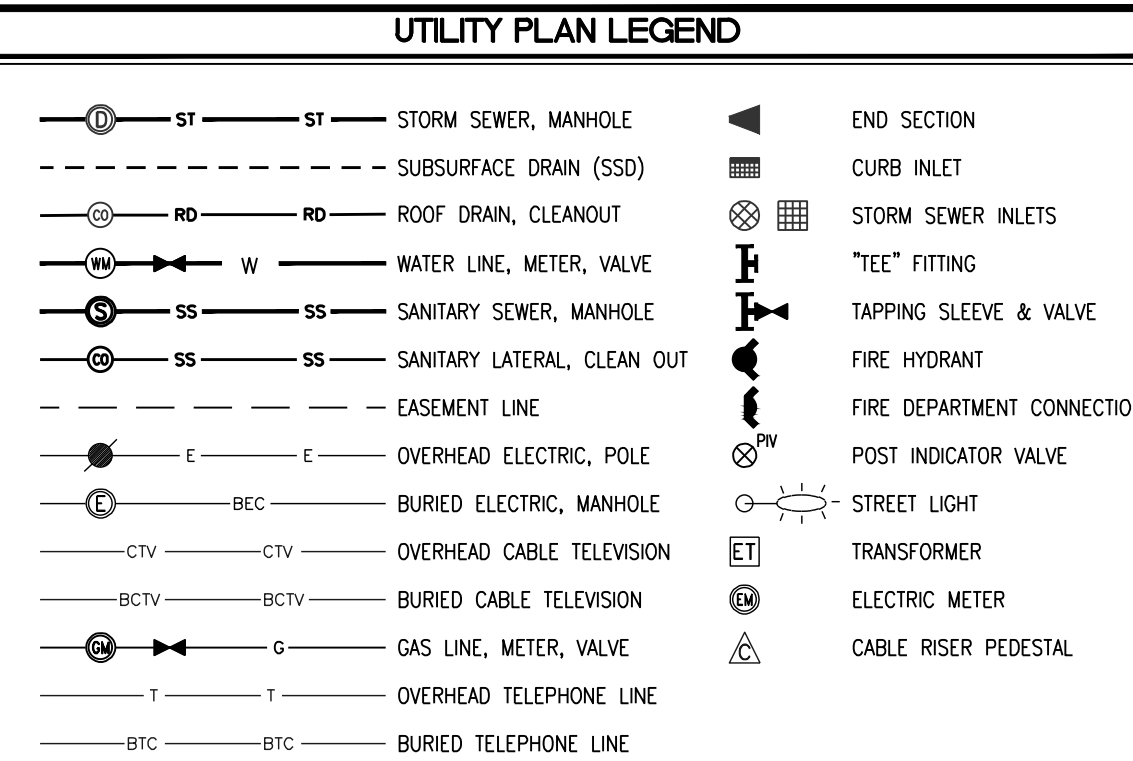
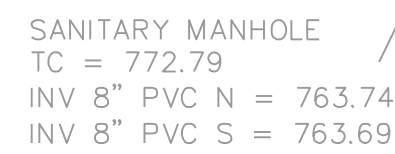








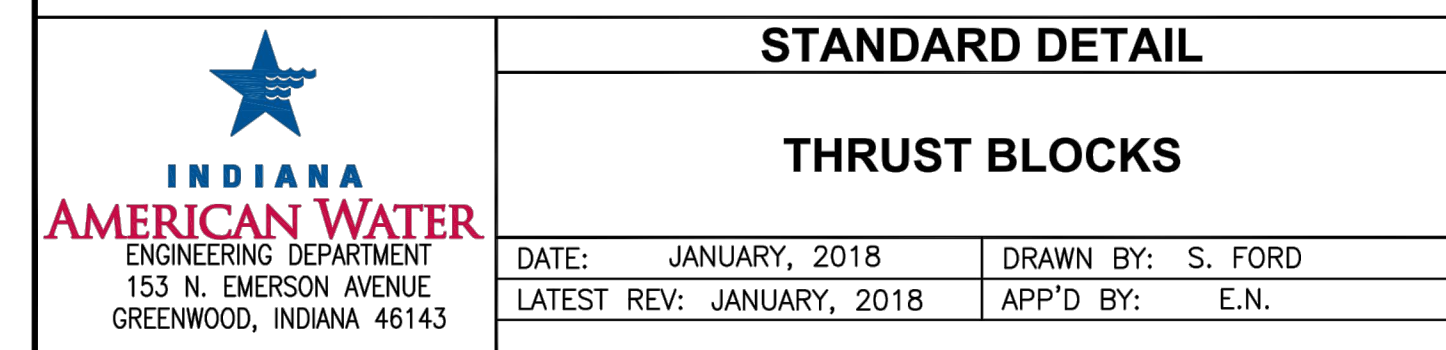
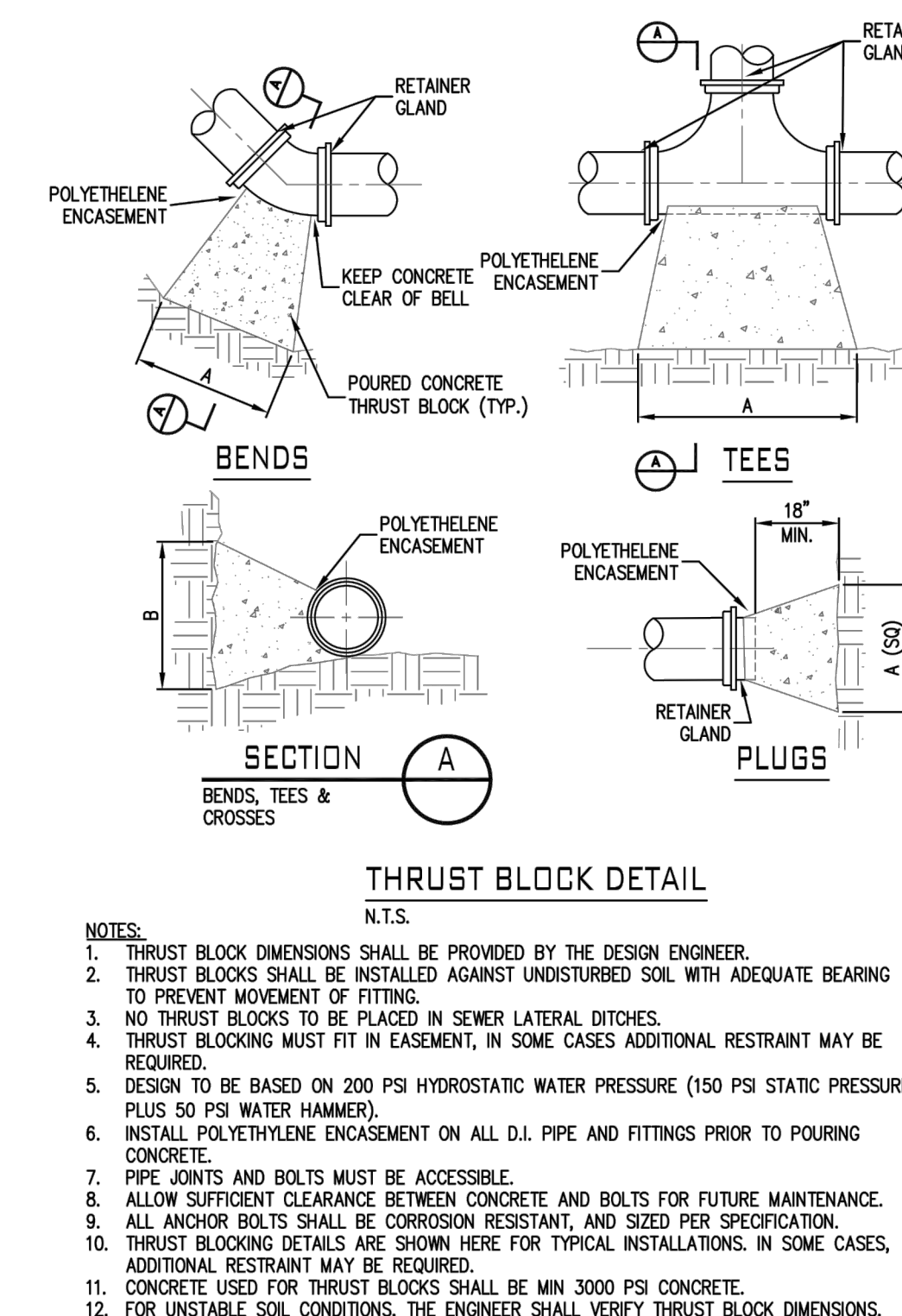
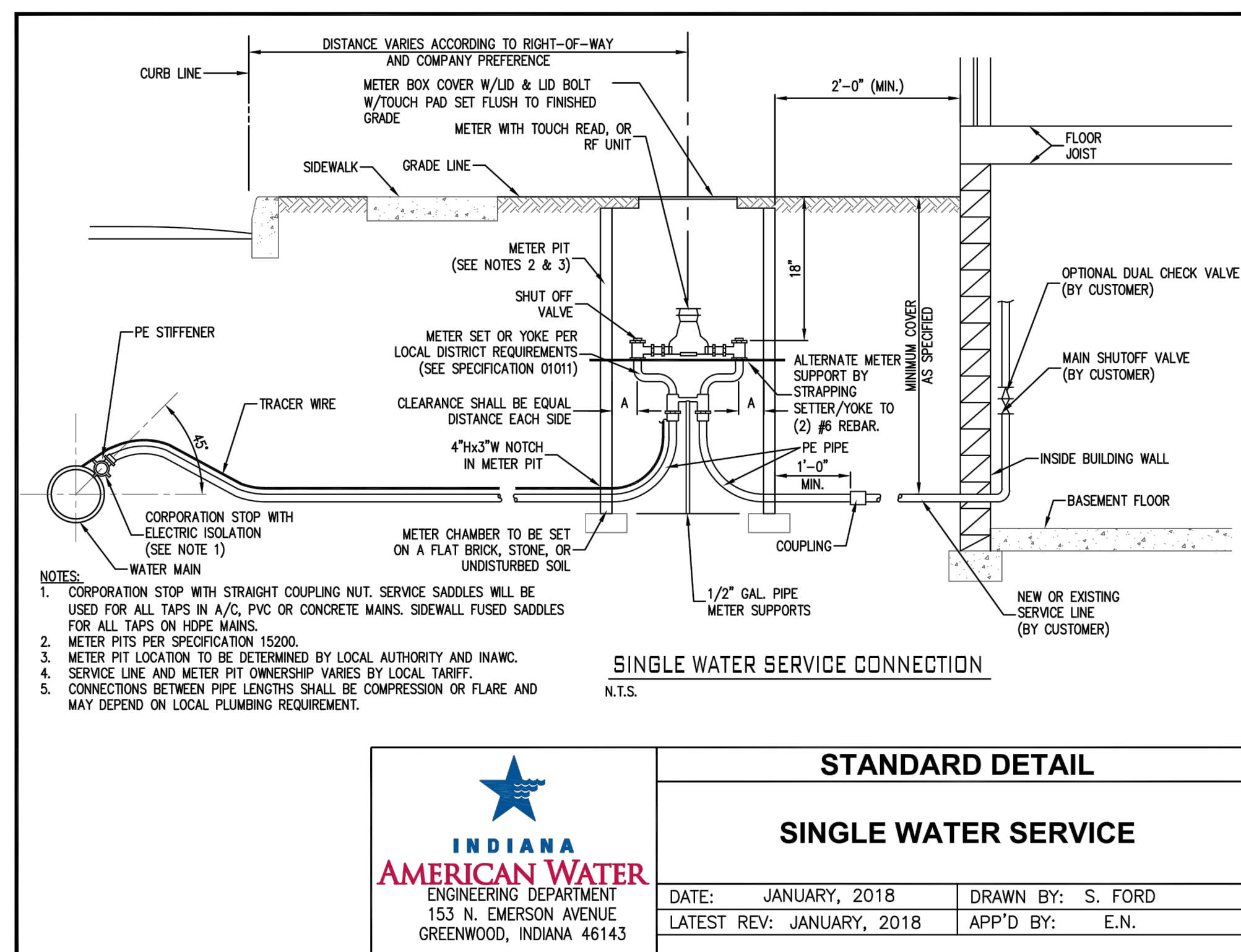
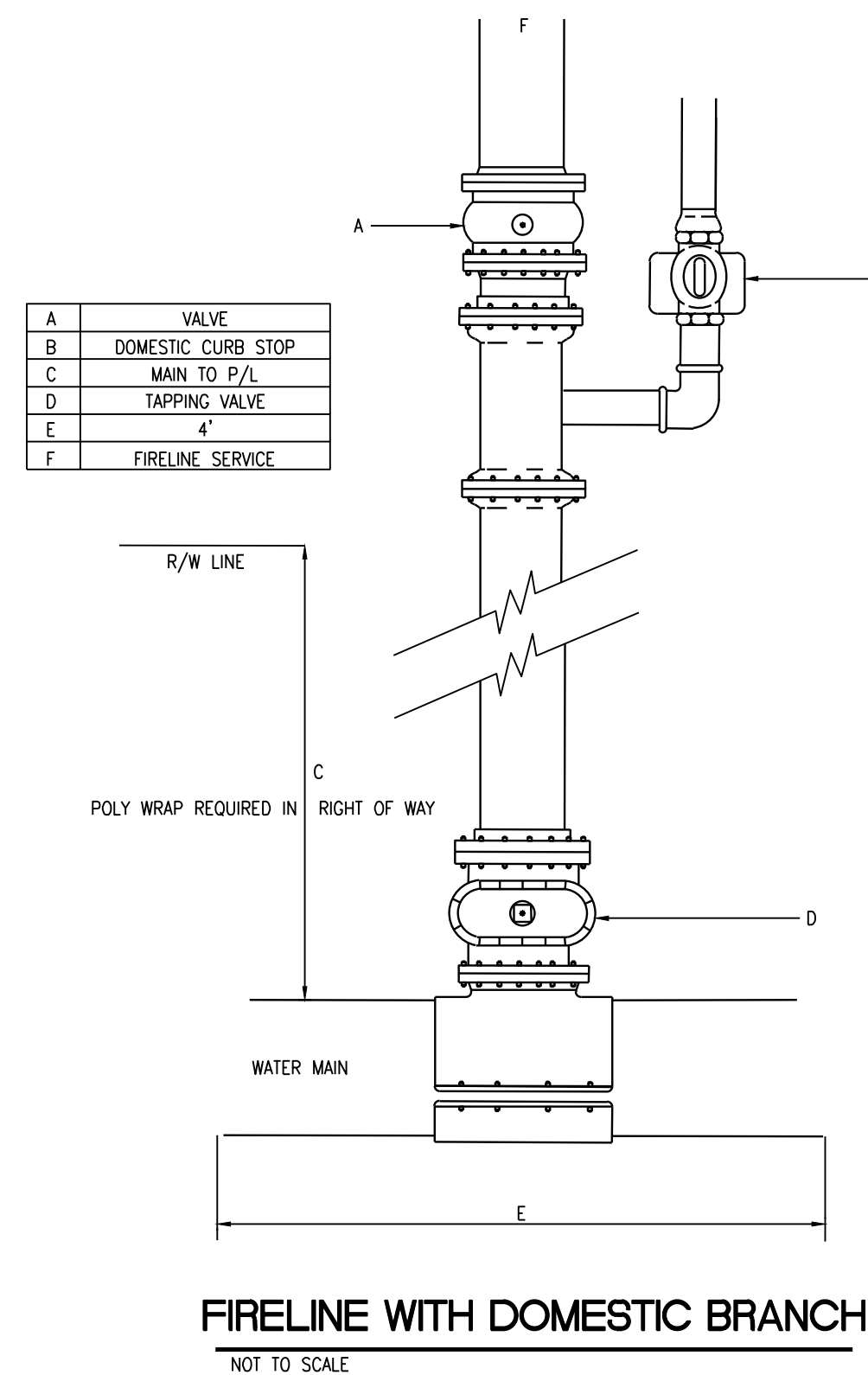




- ### UTILITY PLAN NOTES:
1. SEE DISCREPANCY PLUMBING PLANS FOR PLUMBING DETAILS TO AREAS FIVE (5) FEET OUTSIDE AND INSIDE OF THE PROPOSED STRUCTURE.
  2. SITE CONTRACTOR TO VERIFY ALL BUILDING LATERALS WITH PLUMBING DRAWINGS PRIOR TO CONSTRUCTION.
  3. SITE UTILITY CONTRACTOR TO VERIFY BUILDING CONNECTION LOCATIONS AND ELEVATIONS WITH MEP AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  4. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  5. RIM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
  6. WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH "TEN STATE STANDARDS" AND LOCAL CODES.
  7. WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
  8. PLASTIC WATER LINES SHALL BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
  9. ALL SUB-SURFACE DRAIN (SSD) SHALL BE 6" PERFORATED DUAL WALL HDPE UNLESS NOTED OTHERWISE.
  10. REFER TO SHEET C502 FOR ALL UTILITY DETAILS.
  11. REFER TO SHEET C902 FOR SANITARY SEWER DETAILS.
  12. REFER TO SHEETS C702 & C703 FOR STORM SEWER DETAILS.
  13. REFER TO SHEET C502 FOR ALL OTHER UTILITY DETAILS.
  14. SEE STRUCTURE DATA TABLE DETAIL ON SHEET C702 FOR STRUCTURE TYPE AND SIZE.
  15. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

- | KEYNOTE LEGEND |  |
|----------------|--|
| 1              | INSTALL 6" TAPPING SLEEVE ON EXISTING WATER MAIN   |
| 2              | 2" DOMESTIC WATER SERVICE LINE (C900 PVC)  |
| 3              | 6" C900 PVC FIRE PROTECTION LINE   |
| 4              | 4" DOMESTIC WATER SERVICE (C900 PVC)   |
| 5              | 6" GATE VALVE  |
| 6              | FIRE DEPARTMENT CONNECTION (REFER TO PLUMBING PLANS FOR DETAIL AND SPECIFICATIONS)   |
| 7              | POST INDICATOR VALVE W/BOX WIRED TO THE FIRE PROTECTION ALARM SYSTEM (SEE ELECTRICAL PLANS AND THE FIRE PROTECTION PLANS FOR SPECIFICATIONS) |
| 8              | 6" SUBSURFACE DRAIN @ 0.25% AND CAP END  |
| 9              | POWER POLE TO REMAIN   |
| 10             | PIPE OUTLET TO BE REDIRECTED BY FUTURE INDOOT PROJECT  |
| 11             | 2" GATE VALVE  |
| 12             | LONG SIDE VAULT. SEE DETAIL ON C502  |
| 13             | UTILITY TO REMAIN  |
| 14             | CONNECT TO EXISTING SANITARY   |
| 15             | UNDERDRAIN OUTLET PROTECTOR  |
| 16             | END SECTION DEBRIS GUARD   |

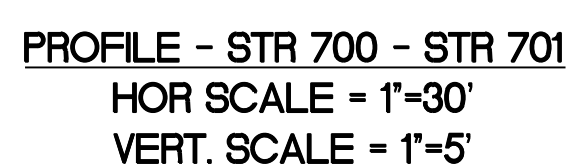
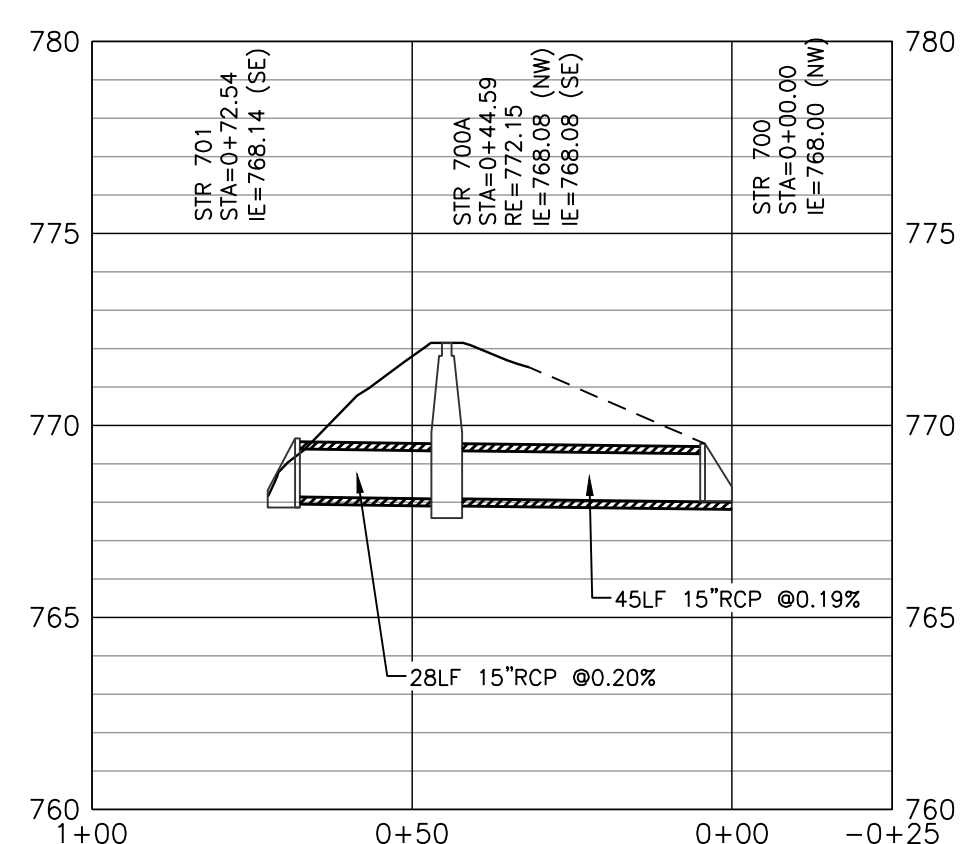
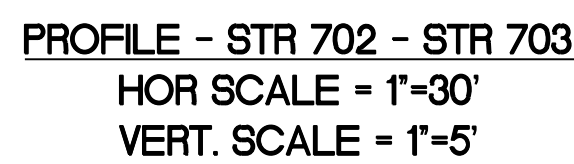
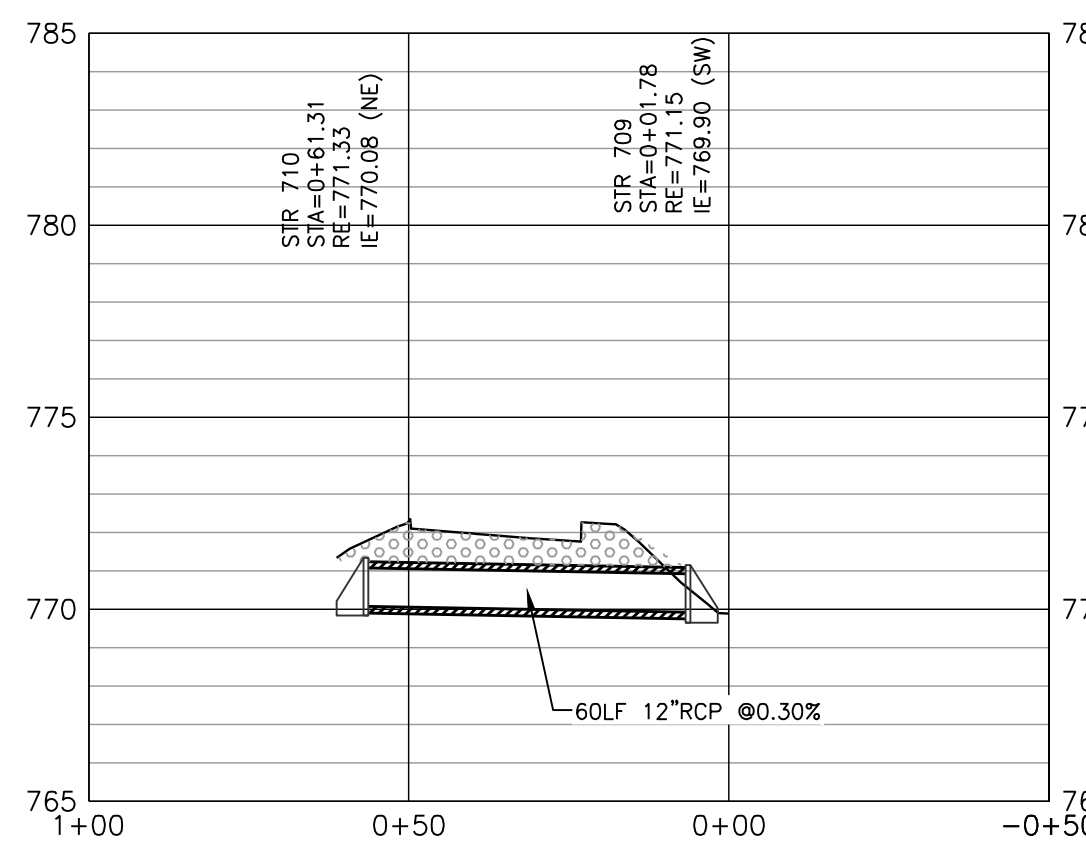
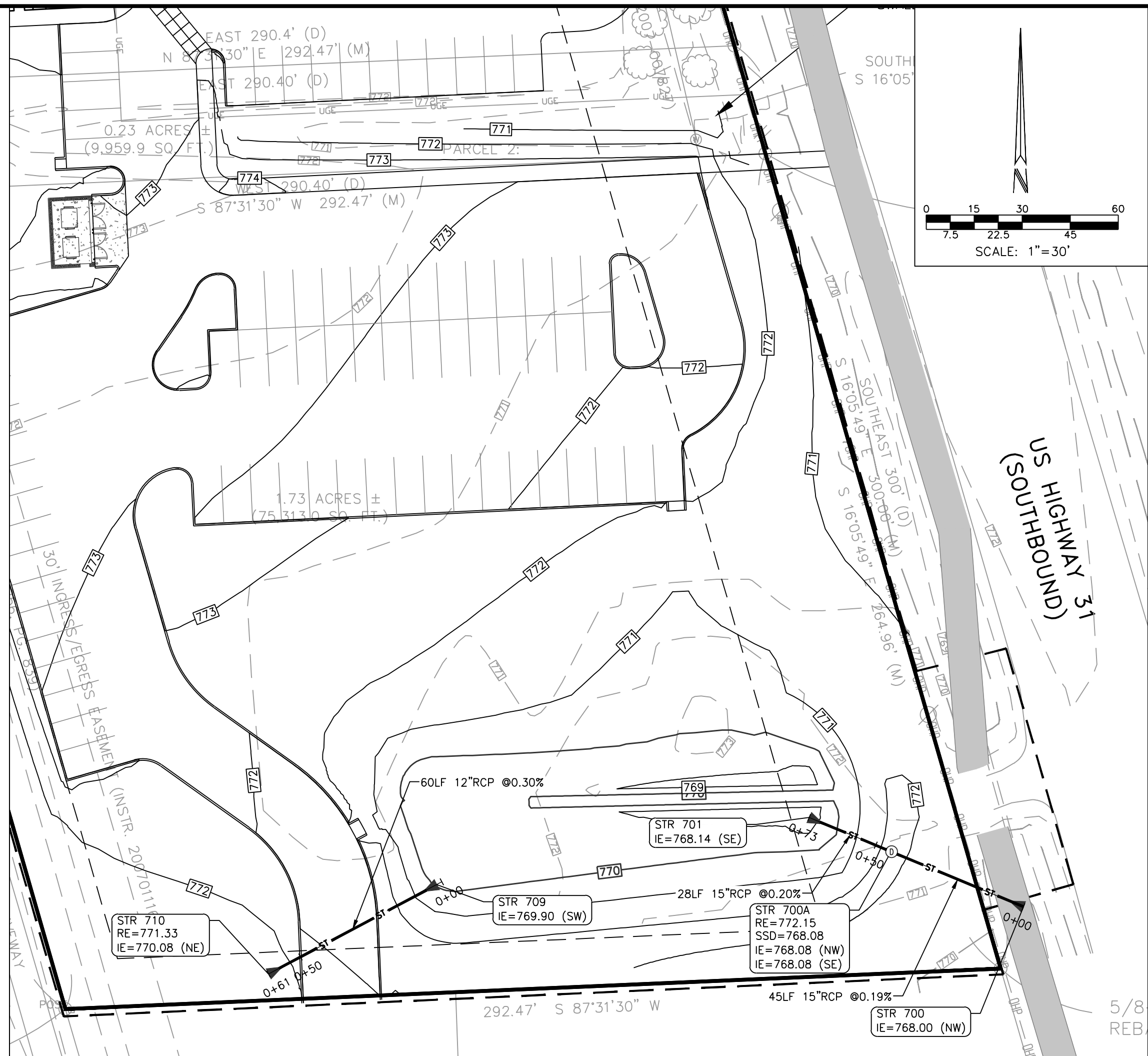




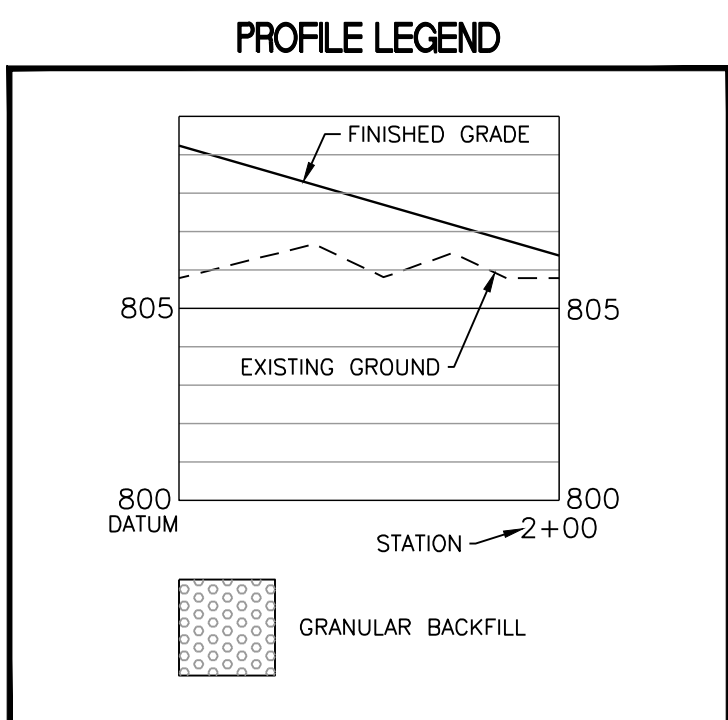








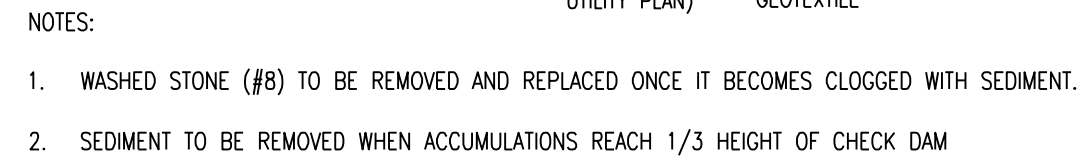
- ## STORM SEWER PLAN AND PROFILE GENERAL NOTES
1. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
  11. IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
  3. ALL STRUCTURES SHALL HAVE CASTINGS, JOINTS, LIFTS, RINGS, STEPS AND PIPE CONNECTIONS WELL GROUTED, TROWELED SMOOTH AND BRUSH FINISHED.
  4. ALL STRUCTURES (IE: MANHOLES, INLETS) SHALL HAVE POURED FLOW LINES AND BENCH WALLS. THE FLOW LINES AND BENCH WALLS SHALL BE TROWELED SMOOTH AND BRUSH FINISHED.
  5. FIELD ADJUSTMENTS OF TOP OF CURB (TC) OF STRUCTURES MAY BE REQUIRED TO MEET FIELD CONDITIONS. ADJUSTMENTS EXCEEDING FIVE TENTHS (0.5) OF A FOOT MUST BE APPROVED BY THE ENGINEER TO DETERMINE THE INTEGRITY OF THE STRUCTURE, AT NO COST TO THE OWNER.
  6. STORM STRUCTURES WITH INLET CASTINGS SHALL BE SET TO MAINTAIN A POSITIVE DRAINAGE FLOW INTO THE STRUCTURE.
  7. STORM PIPE INVERTS AT OUTLET STRUCTURES (IE: END SECTIONS), AND PIPE LENGTHS MAY REQUIRE FIELD ADJUSTMENTS TO MEET ACTUAL FIELD CONDITIONS.
  8. FULL DEPTH GRANULAR BACKFILL SHALL BE REQUIRED UNDER AND WITHIN (5) FEET OF ALL PAVED AREAS, INCLUDING CURBS, EDGE OF PAVEMENT, AND SIDEWALKS.
  9. PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE END SECTIONS.
  10. RIM ELEVATIONS (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER A STRUCTURE.
  11. INVERT ELEVATION OF SUB-SURFACE DRAIN (SSD) AT STRUCTURE TO BE THREE (3) FEET BELOW RIM ELEVATION.
  12. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDDESIGN MAY OCCUR.
  13. NO BLASTING SHALL BE PERFORMED ON THIS SITE.
  14. NO SEISMIC VIBRATING OPERATIONS WILL OCCUR ON THIS SITE.
  15. STRUCTURES DEEPER THAN 4' MUST BE ACCESSIBLE WITH STEPS.
  16. DEBRIS GUARD TO BE INSTALLED ON ALL OPEN ENDED INLETS.
  17. ALL STORM SEWER, INCLUDING SSD, SHALL BE CLEANED AND TELEVIEWED AFTER ALL UNDERGROUND UTILITIES ARE INSTALLED.



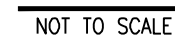








NOT TO SCALE



NOT TO SCALE

[illegible]

- ARCHITECTURE + INTERIORS
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- SURVEY + 3D LASER SCANNING
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STORM SEWER DETAILS

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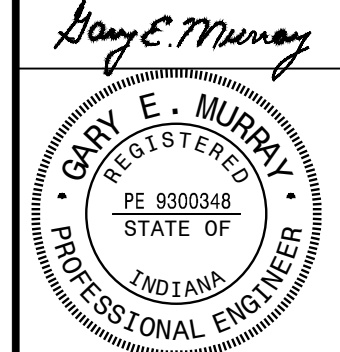
FRANKLIN ANIMAL CLINIC

---

ALDERSON COMMERCIAL GROUP

2990 North Morton Street  
Franklin, Indiana

CERTIFIED BY:



Date 07-01-2022



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FOR CALLS IN INDIANA CALL TOLL FREE

Drawn By:

**C. CHANCE**  
Chemical Analyst

Checked By:  
**S. PIERRE, PE**

Quality Assurance:

**G. MURRAY, PE, LEED AP**

Scale: 1" =



Shoot

Sheet C703

Date 07.01.2000

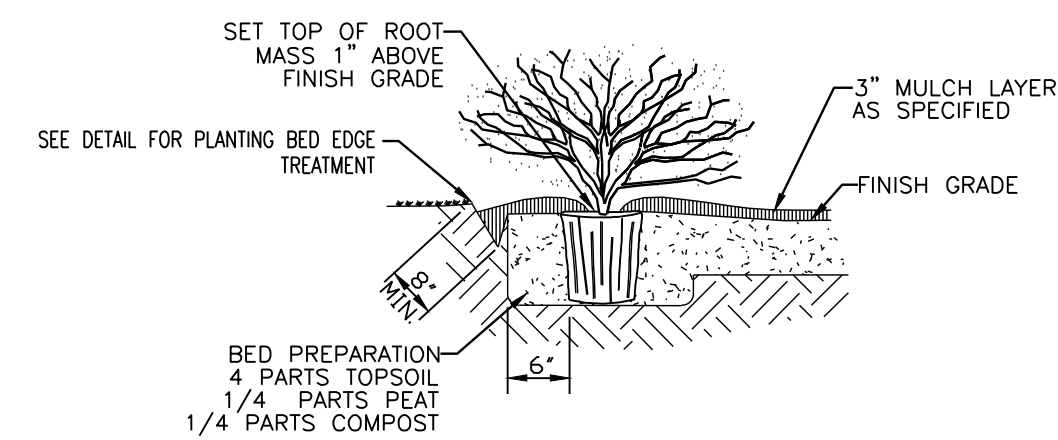
Date 07-01-2022

Project Number  
210092-2000

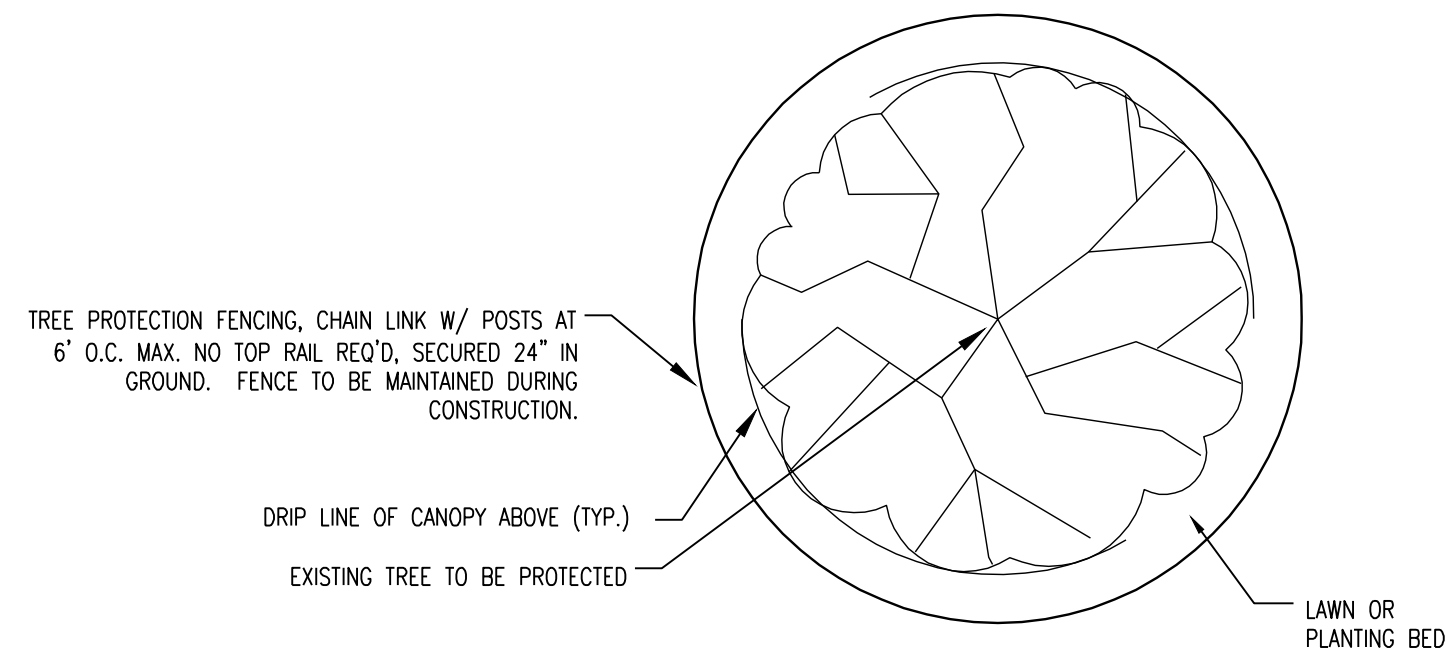




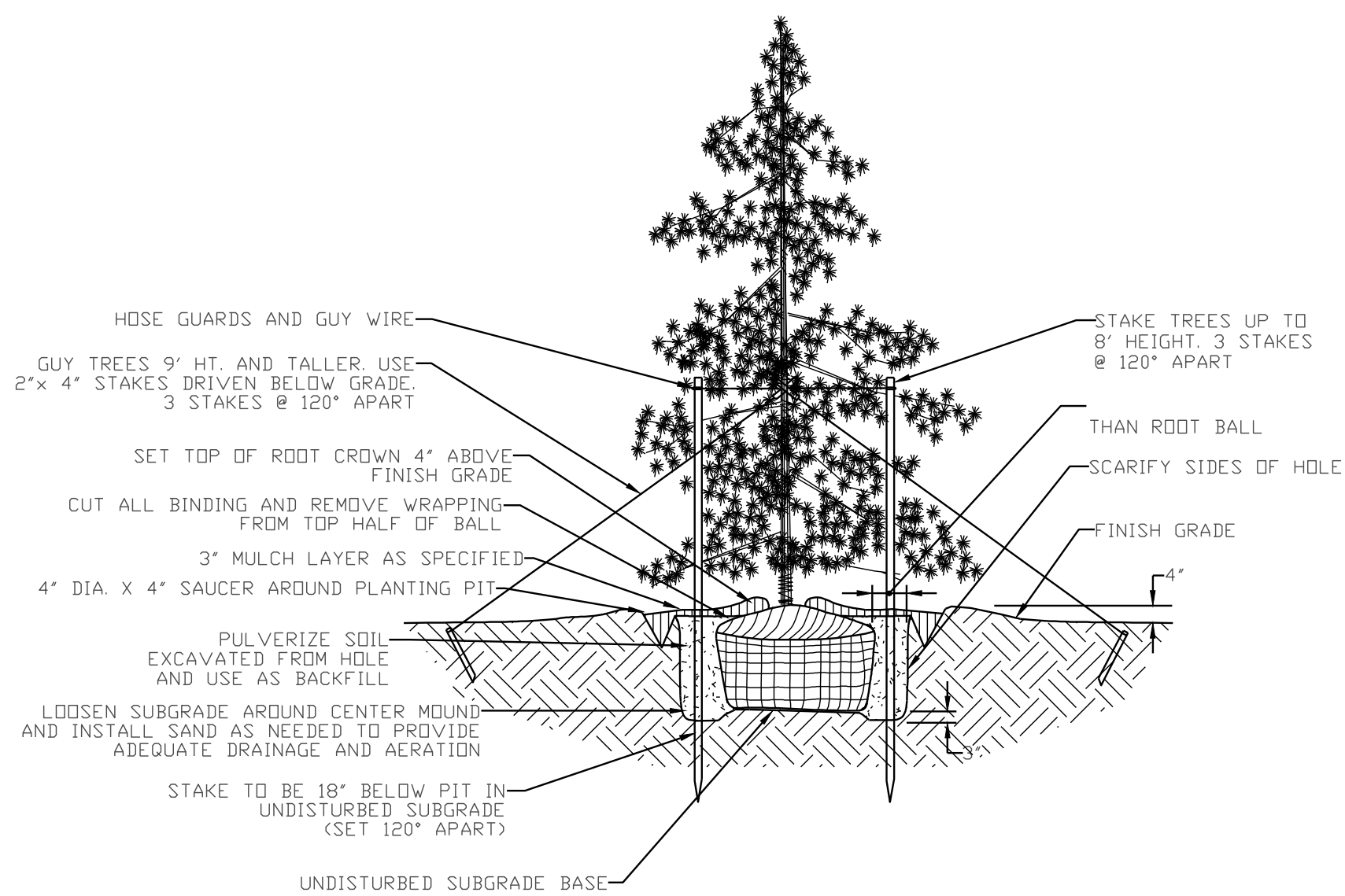




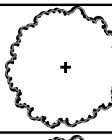
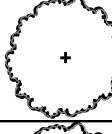
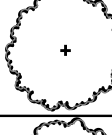

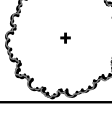

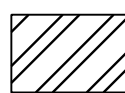
SHRUB AND SMALL TREE PLANTING DETAIL  
SCALE: N.T.S.

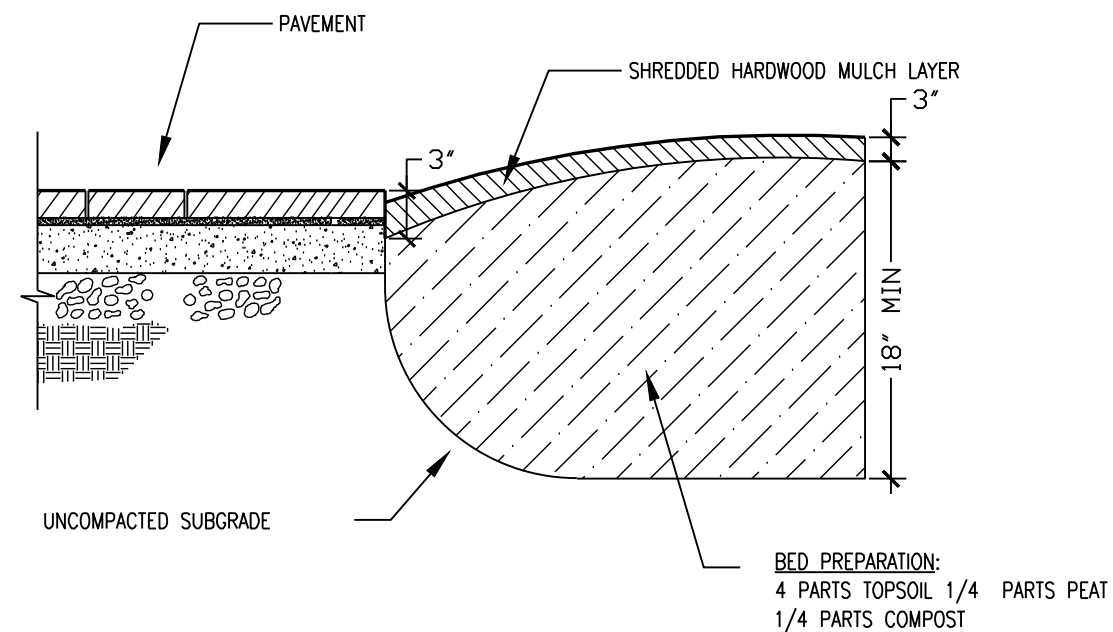


TREE PROTECTION DETAIL  
 NO SCALE

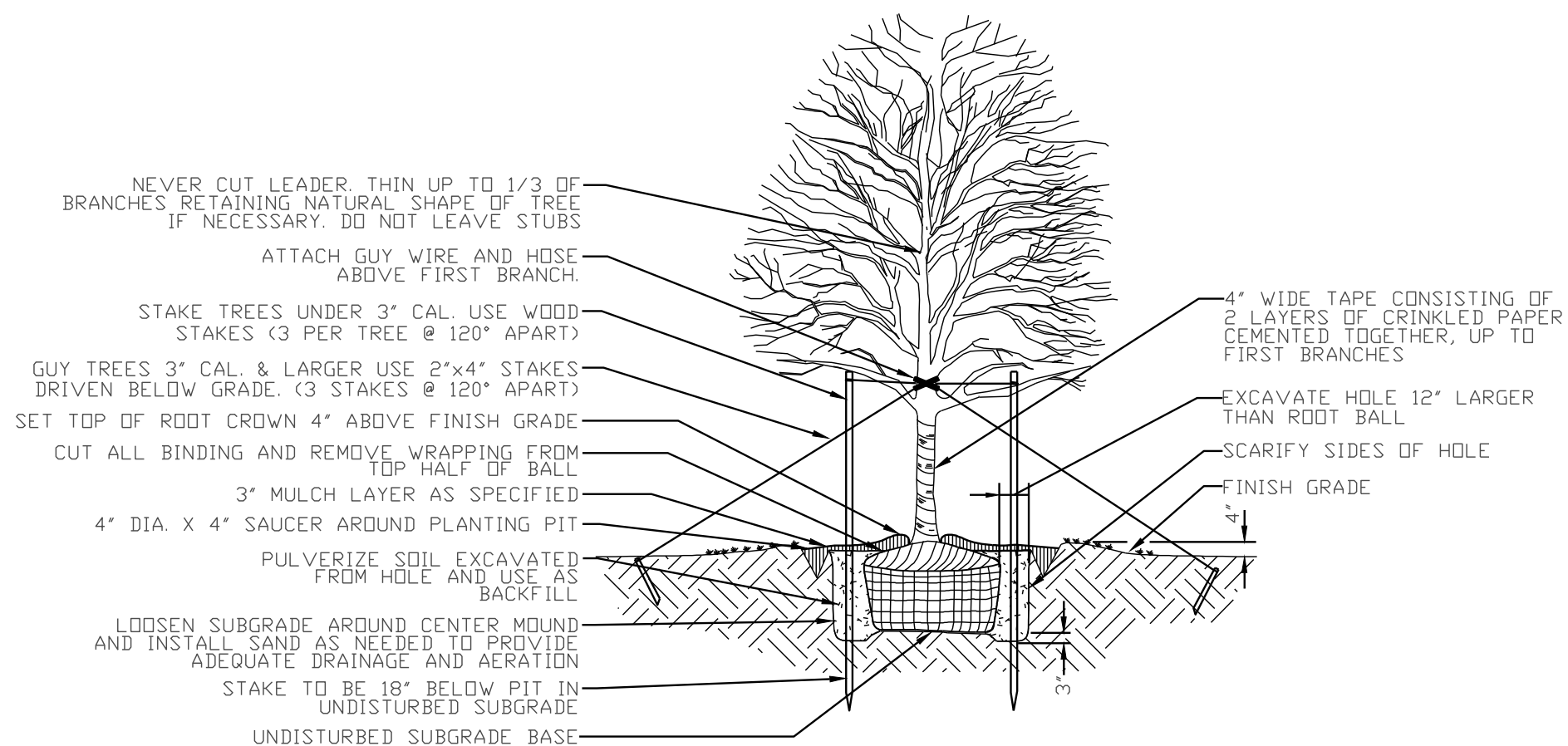


EVERGREEN TREE PLANTING DETAIL  
NO SCALE

PLANTING SCHEDULE							
LEGEND	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE COND	REMARKS SPACING	HEIGHT AT MATURITY SPREAD AT MATURITY
<b>TREES</b>							
	QB	05	Quercus bicolor	Swamp White Oak	2-1/2" B & B		50'-60" 50'-60"
	UH	08	Ulmus 'Homestead'	Homestead	2-1/2" B & B	Symmetrical	55' 35'
	GT	08	Gleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	2-1/2" B & B	Symmetrical	35'-45' 25'-35'
	LS	14	Liquidambar styraciflua 'Morgaine'	Morgaine Sweet Gum	2-1/2" B & B	Symmetrical	60'-80' 40'-60"
	PO	05	Platanus x ocerfolia	Sycamore	2-1/2" B & B	Symmetrical	75'-100' 75'-100"
<b>SHRUBS</b>							
	HP	25	Hydrangea paniculata 'Vanilla Strawberry'	Vanilla Strawberry	48"-60" No. 5 Cont.		6'-7' 4'-5'
<b>GRASSES AND PERENNIALS</b>							
	HD	40	Hemerocallis 'Double Pardon Me'	Double Pardon Me Daylily	No. 1 Cont. 8"	18" o.c.	18" 18"-24"

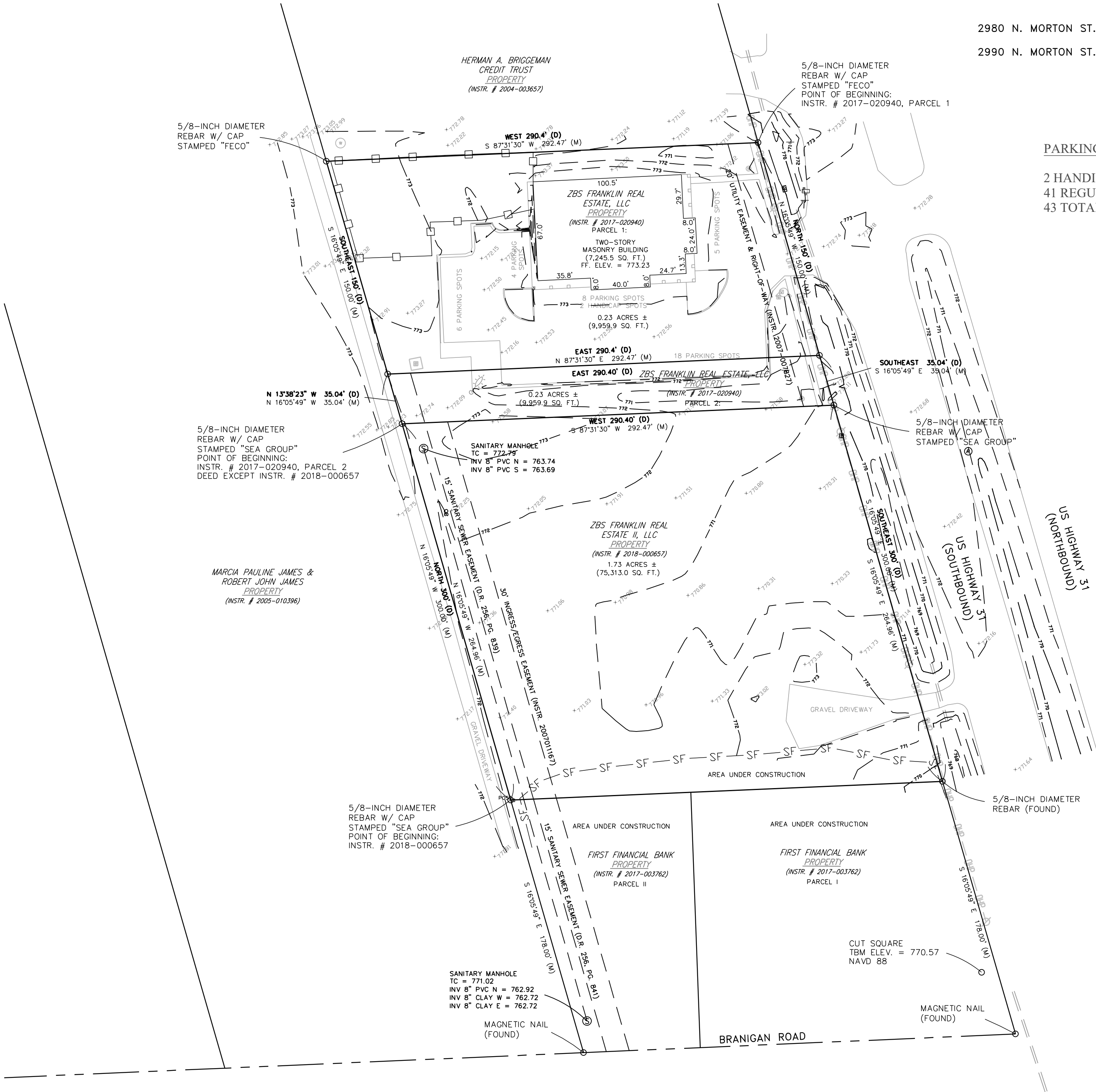


PLANTING BED PREPARATION  
NO SCALE



DECIDUOUS TREE PLANTING DETAIL  
NO SCALE





2980 N. MORTON ST., FRANKLIN, IN 46131  
&  
2990 N. MORTON ST., FRANKLIN, IN 46131

PARKING SPOTS:

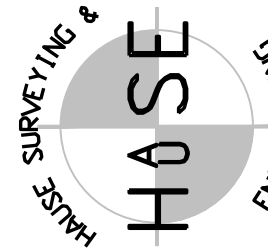
2 HANDICAP SPACES  
41 REGULAR SPACE  
43 TOTAL SPACES

LEGEND

- AS APPLICABLE
- 5/8-inch REBAR w/ CAP  
STAMPED "HAUSE PLS20600040"
  - MAGNETIC NAIL w/ WASHER  
STAMPED "HAUSE PLS20600040"
  - UTILITY POLE
  - TELEPHONE PEDESTAL
  - WATER METER
  - LIGHT POLE
  - AIR CONDITIONER
  - PRIVACY FENCE
  - 6 FOOT CHAIN FENCE W/ BARBWIRE
  - CLEAN OUT
  - GUY WIRE
  - ELECTRIC METER/BOX
  - GAS ENTRANCE
  - SANITARY MANHOLE
  - TREE
  - (D) DEED BEARING AND DISTANCE
  - (M) MEASURED BEARING AND DISTANCE
  - WATER VALVE
  - FIRE HYDRANT
  - STORM MANHOLE
  - BEEHIVE INLET
  - CURB INLET
  - BOLLARD
  - SATELLITE DISH
  - FENCE POST

0 25 50  
SCALE: 1" = 50'

105 N. MERIDIAN ST.  
LEBANON, IN 46052  
PHONE: (765) 482-5141  
INFO@HAUSESURVEYINGENGINEERING.COM



A SERVICE DISABLED VETERAN  
OWNED SMALL BUSINESS

DRAWN BY: DRH  
CHECKED BY: JEH  
DATE: 2/20/2018  
SCALE: 1" = 50'

No.	Date	Revisions

ALTA/NSPS LAND TITLE SURVEY

ZBS FRANKLIN REAL ESTATE, LLC  
PT. N 1/2, SEC. 3, T12N, R4E,  
CITY OF FRANKLIN, JOHNSON CO., IN

SHEET NO. 1  
OF 3 SHEETS  
PROJECT NO. 18A025

NOTES:

- 1.) All Improvements shown hereon are as they were located on February 13, 2018.
- 2.) This Document contains Three (3) Pages, all are required for this to be a Survey.

Copyright © Hause Surveying and Engineering, LLC. All rights reserved. No part of this drawing may be reproduced by photocopying, recording or by any other means, or stored, processed or transmitted in or by any computer or other systems without the prior written permission of the surveyor. Copies of this plan without a dated and blue signature are not valid.



I, the undersigned, hereby certify that this survey and the associated surveyor's report were executed under my supervision and to the best of my knowledge, information, and belief were performed in accordance with the current Indiana Minimum Survey Standards, 865 IAC 1-12, for the type of survey as indicated herein, on the following described real estate:

PARCEL 1: A part of the East Half fo the Northwest Quarter and a part of the West Half of the Northeast Quarter of Section 3, Township 12 North, Range 4 East, described as follows:

PARCEL 2: Part of the West Half of the Northeast Quarter and part of the East Half of the Northwest Quarter of Section 3, Township 12 North, Range 4 East:

Part of the West Half of the Northeast Quarter and part of the East Half of the Northwest Quarter of Section 3, Township 12 North, Range 4 East:

Part of the West Half of the Northeast Quarter and part of the East Half of the Northwest Quarter of Section 3, Township 12 North, Range 4 East:

I further certify that points were found or set at the locations on the subject real estate, as shown, and that this survey correctly shows the location of all visible easements of which the undersigned has been advised, and all visible encroachments, if any, across the established survey lines.

## A circular professional seal for Jonathan E. Hause, a Registered Professional Surveyor in the State of Indiana. The seal features the name "JONATHAN E. HAUSE" at the top, "REGISTERED" below it, the number "No. 20600040" in the center, and "STATE OF INDIANA" and "LAND SURVEYOR" at the bottom. The entire seal is enclosed in a circular border with a dashed outer line and a solid inner line.

In accordance with Title 865, Article 1, Rule 12, of the Indiana Administrative Code (formerly Title 864, Article 1.1, Chapter 13), establishing minimum standards for the practice of land surveying in Indiana, currently in effect, the following observations and opinions are submitted regarding the various uncertainties in the location of the lines and corners established on this survey as a result of:

- a) Variance in reference monuments: As Noted Above
- b) Discrepancies in record descriptions and plats: As Noted Above
- c) Inconsistencies in lines of occupation: Negligible
- d) Relative Positional Accuracy (RPA) of the corners of the subject tract established by this survey is within the specifications of an urban survey (+/- 0.06 feet plus 50 parts per million) as defined in I.A.C. 865.

- 1.) All Improvements shown hereon are as they were located on February 13, 2018.
- 2.) This Document contains Three (3) Pages, all are required for this to be a Survey

ALTA/NSPS LAND TITLE SURVEY  ZBS FRANKLIN REAL ESTATE, LLC PT. N 1/2, SEC. 3, T12N, R4E, CITY OF FRANKLIN, JOHNSON CO., IN		No.	Date	Revisions	DRAWN BY:  DRH  CHECKED BY:  JEH  DATE: 2/20/2018  SCALE: 1" = 50'
SHEET NO. 2 OF 3 SHEETS		PROJECT NO. 18A025			

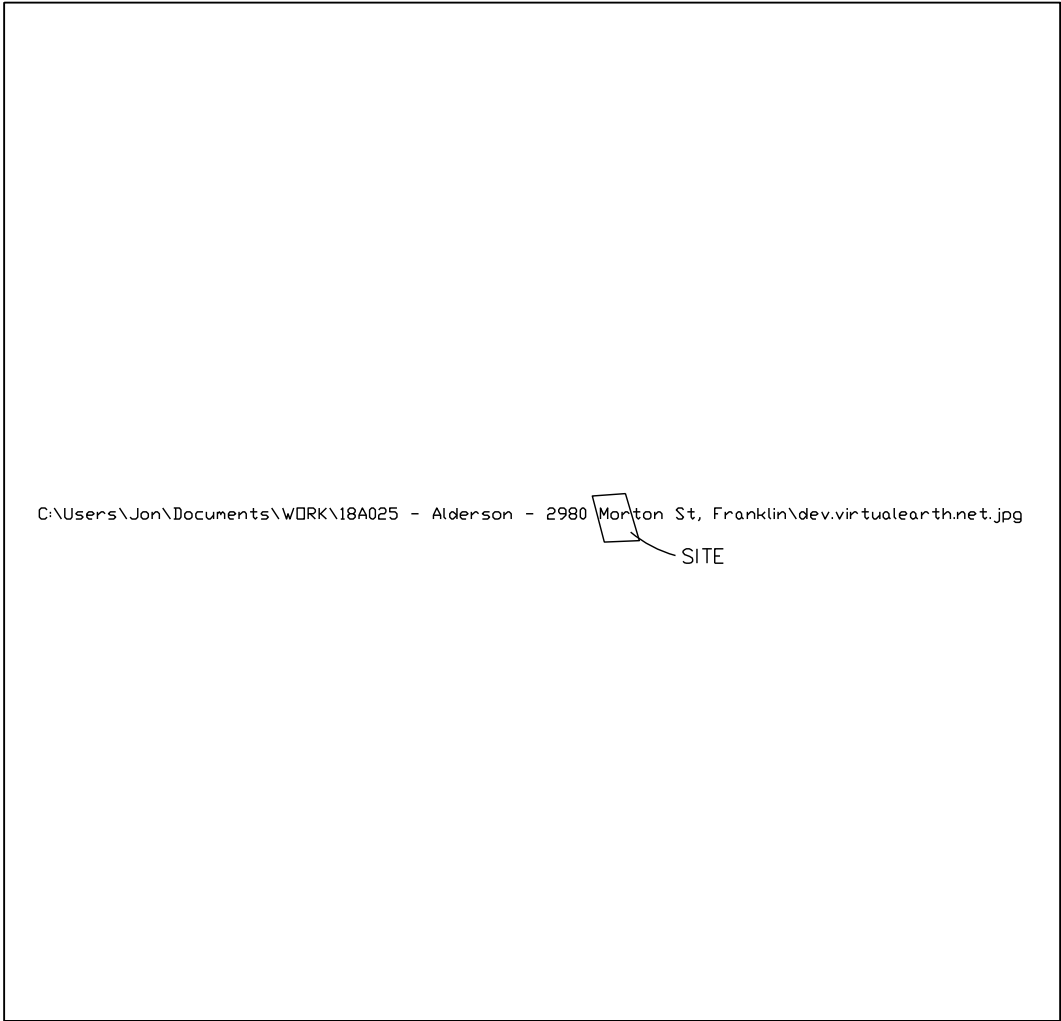


ADDITIONAL ITEM:

- 1.) This Survey is based upon Title Commitment Policy No. 853771 and Title Commitment Policy NO. 868565B1, both by First American Title Insurance Company.
- 2.) These parcels do not lie within a Special Flood Hazard Zone "A" per the Flood Rate Insurance Map (FIRM) panel 18081C0139D, dated August 2, 2007.
- 3.) There is evidence of recent earth moving work located South of the silt fence on the Southern portion of the Subject Parcel.
- 4.) There appear to be no plans for changes to the street right-of-way lines by the City of Franklin, or the State of Indiana.
- 5.) No Wetland Delineation markers were found during the process of conducting the field work.

AREA MAP

NO SCALE



POLICY NO. 853771 O SCHEDULE B - PART II ITEMS:

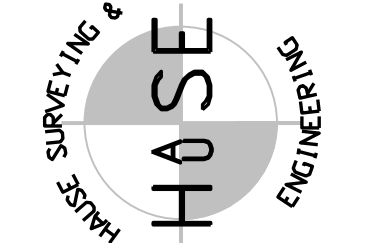
- 1.) This Items is Not a Survey Issues.
- 2.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 839, is located along the Western line of the ZBS Franklin Real Estate II, LLC Parcel as shown hereon.
- 3.) The 20 foot wide Utility Easement and Right-of-way recorded March 29, 2007 in Instrument Number 2007-007827, is located along the Eastern line of the entire ZBS Franklin Real Estate LLC Parcel as shown hereon.
- 4.) The 30 foot wide Ingress/Egress Easement recorded May 3, 2007 in Instrument Number 2007-011167, is located from the South line of the ZBS Franklin Real Estate Parcel to the center of Branigan Road along the Western lines of the adjoining parcels.
- 5.) The H O Canary Drain does not appear to be located on the Subject Parcel.
- 6.-9.) These Items are Not Survey Issues.
- 10.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 839, is located along the Western line of the ZBS Franklin Real Estate II, LLC Parcel as shown hereon.
- 11.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 841, is located along the Western line of the First Financial Barn Parcel 2 as shown hereon.
- 12.-14.) These Items are Not Survey Issues.

POLICY NO. 868565B1 SCHEDULE B - PART II ITEMS:

- 1.) This Items is Not a Survey Issues.
- 2.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 839, is located along the Western line of the ZBS Franklin Real Estate II, LLC Parcel as shown hereon.
- 3.) The 30 foot wide Ingress/Egress Easement recorded May 3, 2007 in Instrument Number 2007-011167, is located from the South line of the ZBS Franklin Real Estate Parcel to the center of Branigan Road along the Western lines of the adjoining parcels.
- 4.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 841, is located along the Western line of the First Financial Barn Parcel 2 as shown hereon.
- 5.) The H O Canary Drain does not appear to be located on the Subject Parcel.
- 6.-7.) These Items are Not Survey Issues.

NOTES:

- 1.) All Improvements shown hereon are as they were located on February 13, 2018.
- 2.) This Document contains Three (3) Pages, all are required for this to be a Survey.



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A SERVICE DISABLED VETERAN  
OWNED SMALL BUSINESS

DRAWN BY:	DRH
CHECKED BY:	JEH
DATE:	2/20/2018
SCALE:	1" = 50'

Revisions		Date	No.
No.			

ALTA/NSPS LAND TITLE SURVEY

ZBS FRANKLIN REAL ESTATE, LLC  
PT. N 1/2, SEC. 3, T12N, R4E,  
CITY OF FRANKLIN, JOHNSON CO., IN

SHEET NO. 3  
OF 3 SHEETS

PROJECT NO.  
18A025





TITLE:

VICINITY MAP  
FRANKLIN ANIMAL CLINIC  
2990 N MORTON ST, FRANKLIN, IN 46131

Date:  
10-07-2021

SCALE:  
NO SCALE

PROJECT NO:  
00000-00000



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