

GARCHA REALTY LP

SHELL STATION

LOCATED AT:
237 W. JEFFERSON STREET, FRANKLIN, INDIANA

SHEET INDEX

C000	TITLE SHEET
C101	EXISTING TOPO
C102	DEMOLITION PLAN
C103	SITE PLAN
C104	GRADING PLAN
C105	CONSTRUCTION DETAILS
C106	EROSION CONTROL & SEEDING PLAN
C107	LANDSCAPING PLAN

PROJECT CONTACT INFORMATION:

WATER
INDIANA AMERICAN WATER COMPANY
425 WEST MAIN STREET
MOORESVILLE, IN 46158
TROY BRYANT
317-831-3385

FIBEROPTIC
CENTURY LINK
1147 N. MORTON STREET
FRANKLIN, IN 46131
DAVID MEYERS
317-736-4863

SEWER
CITY OF FRANKLIN DPW
796 S. STATE STREET
FRANKLIN, IN 46131
RICK LITTLETON
317-736-3648

GAS
VECTREN ENERGY
600 INDUSTRIAL DRIVE
FRANKLIN, IN 46131
BLAKE NIETEN
317-736-2907

COMMUNICATIONS
METRO FIBERNET
8036 COLE WOOD BLVD.
INDIANAPOLIS, IN 46239
DOUG RECKART
317-809-8067

COMMUNICATIONS
COMCAST
1600 WEST VERNAL PIKE
BLOOMINGTON, IN 47404
STEVE McARTOR
812-360-3090

ELECTRIC
DUKE ENERGY
2515 N. MORTON STREET
FRANKLIN, IN 46131
TAYLOR AUSTIN
317-736-2017

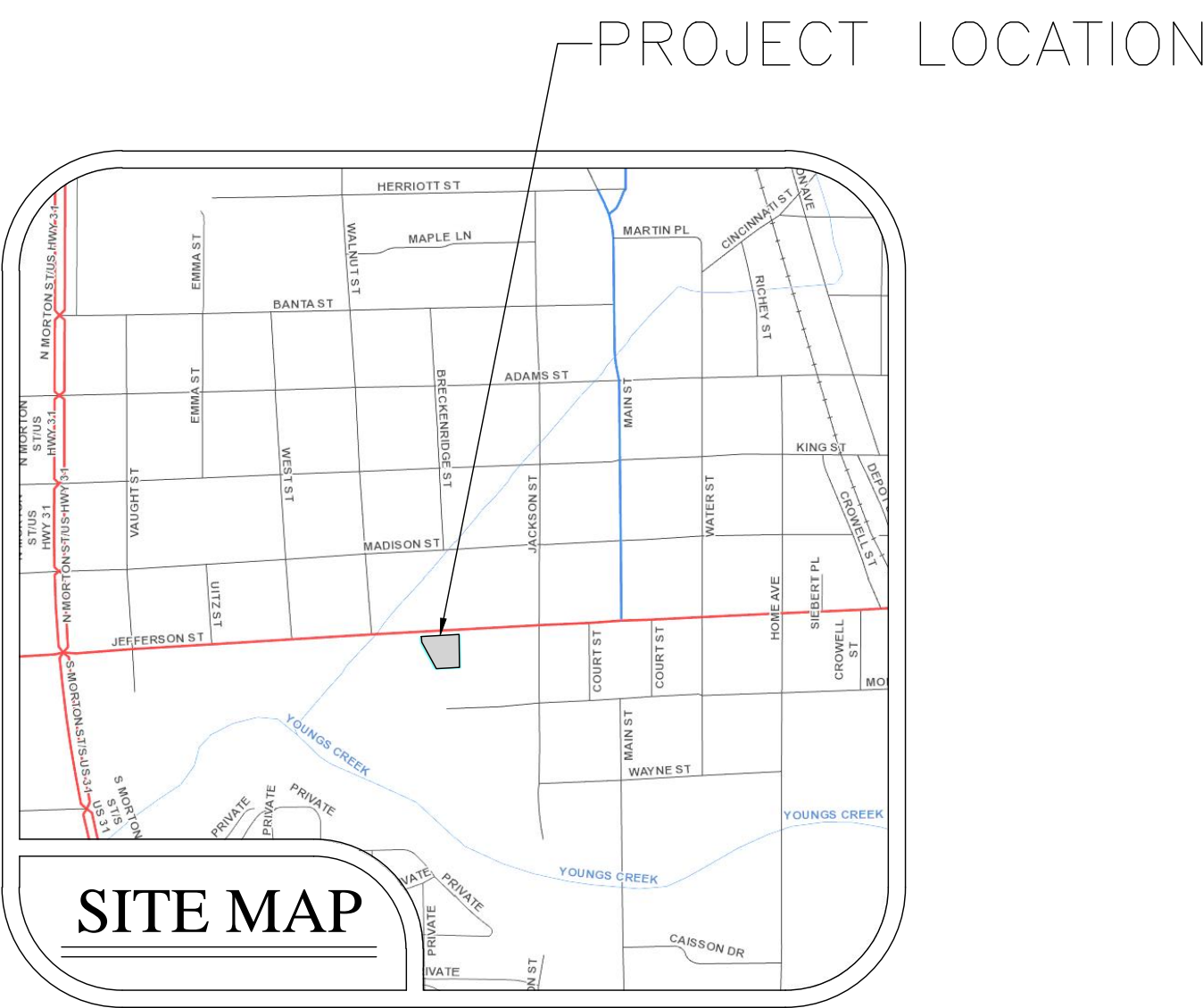
FIRE DEPARTMENT
CITY OF FRANKLIN FIRE DEPT.
1800 THORNBURG LANE
FRANKLIN, IN 46131
BRYNE PURSIFULL
317-736-3650

WRITTEN DESCRIPTION OF LOCATION OF PROPERTY:
A PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 12 NORTH, RANGE 4 EAST IN JOHNSON COUNTY, INDIANA.

CURRENT ZONING:
MIXED-USE: DOWNTOWN CENTER (MXD)

PARCEL NUMBERS:
AUDITOR'S MAP #41-08-14-034-110.000-009

LEGAL DESCRIPTION:(COPIED VERBATIM PER INSTRUMENT #2021-005462)
REAL PROPERTY IN THE CITY OF FRANKLIN, COUNTY OF JOHNSON, STATE OF INDIANA, DESCRIBED AS FOLLOWS:
A PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 12 NORTH, RANGE 4 EAST OF THE SECOND PRINCIPAL MERIDIAN IN JOHNSON COUNTY, FRANKLIN, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTH LINE OF JEFFERSON STREET IN SAID CITY 175' SOUTH 88 DEGREES 53 MINUTES WEST OF THE NORTHEAST CORNER OF LOT NO. 40 IN THE ORIGINAL PLAT OF THE CITY OF FRANKLIN, INDIANA; THENCE SOUTH 01 DEGREE 28 MINUTES 30 SECONDS WEST A DISTANCE OF 144.00 FEET TO A POINT 175 FEET SOUTH 88 DEGREES 53 MINUTES WEST FROM THE SOUTHEAST CORNER OF SAID LOT NO. 40; THENCE SOUTH 88 DEGREES 09 MINUTES 30 SECONDS WEST 50.00 FEET; THENCE SOUTH 02 DEGREES 24 MINUTES WEST 51.00 FEET; THENCE SOUTH 89 DEGREES 09 MINUTES 30 SECONDS WEST 181.20 FEET; THENCE NORTH 195.00 FEET TO THE SOUTH LINE OF SAID JEFFERSON STREET; THENCE NORTH 88 DEGREES 53 MINUTES EAST ON LAST SAID SOUTH LINE 237.00 FEET TO THE PLACE OF BEGINNING, CONTAINING 0.997 ACRE, MORE OR LESS.
SAVE AND EXCEPT FROM THAT PORTION OF THE ABOVE-DESCRIBED PREMISES BEGINNING AT A POINT ON THE SOUTH LINE OF JEFFERSON STREET IN SAID CITY 340 FEET SOUTH 88 DEGREES 53 MINUTES WEST OF THE NORTHEAST CORNER OF LOT NO. 40 IN THE ORIGINAL PLAT OF THE CITY OF FRANKLIN, INDIANA; THENCE CONTINUING SOUTH 88 DEGREES 53 MINUTES WEST 72.00 FEET; THENCE SOUTH 195.00 FEET; THENCE NORTH 89 DEGREES 05 MINUTES 30 SECONDS EAST 181.20 FEET; THENCE NORTH 02 DEGREES 24 MINUTES WEST 51.00 FEET; THENCE SOUTH 88 DEGREES 09 MINUTES 30 SECONDS WEST 50.00 FEET; THENCE NORTH 27 DEGREES 03 MINUTES WEST 133.58 FEET; THENCE NORTH 01 DEGREE 07 MINUTES WEST 25.00 FEET TO THE PLACE OF BEGINNING, CONTAINING 0.538 ACRE, MORE OR LESS.
BEING ALSO DESCRIBED AS FOLLOWS:
A PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 12 NORTH, RANGE 4 EAST OF THE SECOND PRINCIPAL MERIDIAN IN JOHNSON COUNTY, FRANKLIN, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTH LINE OF JEFFERSON STREET IN SAID CITY 175 FEET SOUTH 88°53'00" WEST OF THE NORTHEAST CORNER OF LOT NO. 40 IN THE ORIGINAL PLAT OF THE CITY OF FRANKLIN, INDIANA; THENCE SOUTH 01°28'30" WEST A DISTANCE OF 144.00 FEET TO A POINT 175 FEET SOUTH 88°53'00" WEST OF THE SOUTHEAST CORNER OF LOT NO. 40; THENCE SOUTH 88°09'30" WEST A DISTANCE OF 100.08 FEET; THENCE NORTH 27°03'00" WEST A DISTANCE OF 133.58 FEET; THENCE NORTH 01°07'00" WEST A DISTANCE OF 25.00 FEET TO THE SOUTHERN RIGHT-OF-WAY LINE OF W. JEFFERSON STREET; THENCE NORTH 88°53'00" EAST ALONG THE SOUTHERN RIGHT-OF-WAY LINE OF SAID W. JEFFERSON STREET A DISTANCE OF 165.00 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 0.457 ACRES, MORE OR LESS.
PROPERTY ADDRESS:
237 W JEFFERSON ST., FRANKLIN, IN 46131
FLOODPLAIN INFORMATION:
THIS SITE IS IN THE MAPPED FLOOD PLAIN ZONE "AE" (INSIDE 100 YEAR FLOOD PLAIN) DISTRICT ON THE NATIONAL FLOOD INSURANCE RATE MAP - PANEL NUMBER 18081C0231E, DATED JANUARY 29, 2021. ALL CONSTRUCTION, FILLING, GRADING OR ALTERATION OF THE MAPPED FLOOD PLAIN SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS IN THE FRANKLIN, INDIANA ZONING ORDINANCE AS PERIODICALLY AMENDED.
BENCHMARK INFORMATION:
THE HORIZONTAL COORDINATE SYSTEM IS NAD83 INDIANA EAST 1301 AND THE VERTICAL DATUM IS NAVD88 BASED ON THE INDIANA CONTINUOUSLY OPERATING REFERENCE SYSTEM (INCORS).
UTILITY INFORMATION:
THE EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON THE DRAWING WERE OBTAINED FROM SURFACE MARKINGS BY OTHERS AND BY VISIBLE SURFACE INDICATIONS. INDEPENDENT LAND SURVEYING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY OF THE SURFACE MARKINGS MADE BY OTHERS. THIS INFORMATION IS BELIEVED TO BE CORRECT BUT IS NOT GUARANTEED. LOCATION OF ALL UTILITIES SHOULD BE FIELD VERIFIED BEFORE ANY NEW CONSTRUCTION BEGINS. DEPTHS OF UNDERGROUND UTILITIES WERE NOT MARKED AND ARE UNKNOWN UNLESS NOTED OTHERWISE.
SUMMARY STATEMENT:
THE PROPOSED DEVELOPMENT WILL INCLUDE THE CONSTRUCTION OF A ONE STORY CONVENIENCE STORE WITH 2 EMPLOYEES ON THE LARGEST WORK SHIFT.



CONTROL POINTS				
NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1541666.75	217681.76	722.37	SET ILS REBAR
4	1541533.32	217591.92	722.67	SET ILS REBAR
669	1541517.73	217719.98	-	SET MAG NAIL

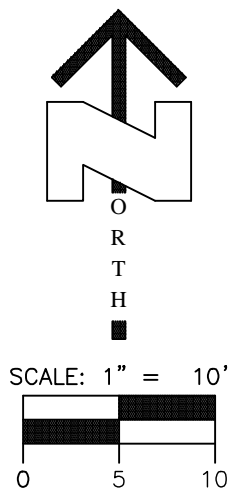
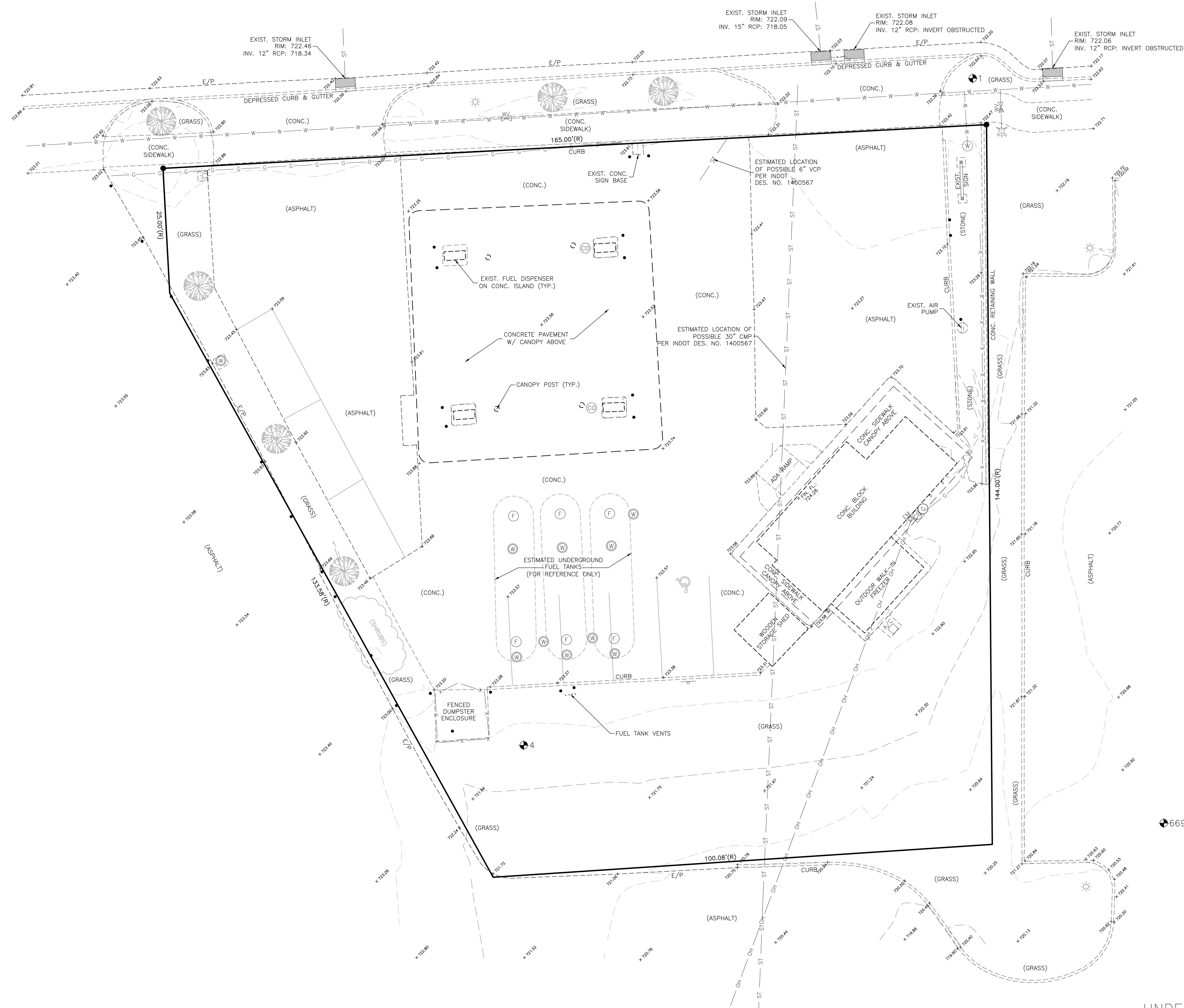
OWNER/APPLICANT
GARACHA REALTY LP/DMG PETROLEUM, INC.
237 W. JEFFERSON ST.
FRANKLIN, IN 46131
CONTACT: HARCHARN "HARRY" GARCHA
PHONE: 260-452-9706
EMAIL: DMGPETROINC@GMAIL.COM

SURVEYOR
INDEPENDENT LAND SURVEYING
3200 SYCAMORE CT., STE 2A
COLUMBUS, IN 47203
PHONE: 812-372-0996
CONTACT: TIM M. ALLEN
EMAIL: TALLEN@ILSURVEYING.COM



BY	-	DESCRIPTION	-
REV. NO.	-	DATE	-
PROJECT NAME SHELL STATION 237 W JEFFERSON ST FRANKLIN, INDIANA			
<div><div>Independent Land Surveying</div><div>414 South Main Street Bloomington, Indiana 47220 Phone: 812-338-2882 Fax: 812-338-2895</div><div>3200 Sycamore Ct., Ste 2A Columbus, Indiana 47203 Phone: 812-372-0996 Fax: 812-602-0484 www.ilsurveying.com</div></div>			
SHEET TITLE:		TITLE SHEET	
DRAWN BY:	DEK	REGISTERED NO. 10707550	STATE OF INDIANA
SCALE:	N.T.S.	DATE:	6-18-2021
JOB NUMBER:	21010	SHEET	
<div><div>James C. Leinart REGISTERED PROFESSIONAL ENGINEER NO. 10707550 STATE OF INDIANA</div><div>Tim M. Allen REGISTERED LAND SURVEYOR NO. LS20700102 STATE OF INDIANA</div></div>			
C000		21010 SHELL STATION.dwg	

W. JEFFERSON ST. (R/W VARIES)



CONTROL POINTS				
NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1541666.75	217681.76	722.37	SET ILS REBAR
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SURVEYOR'S NOTES:

- 1) THE BOUNDARY OF SUBJECT LAND IS SHOWN PER THE RECORD DEED AND MONUMENTS RECOVERED DURING THE FIELD WORK FOR THE TOPOGRAPHIC SURVEY. A RETRACEMENT SURVEY OF SUBJECT LAND WAS NOT PERFORMED AND IS NOT TO BE IMPLIED.
- 2) THIS SITE IS IN THE MAPPED FLOOD PLAIN ZONE "AE" (INSIDE 100-YEAR FLOOD PLAIN) DISTRICT ON THE NATIONAL FLOOD INSURANCE RATE MAP - PANEL NUMBER 18081C023PE, DATED JANUARY 29, 2021. ALL CONSTRUCTION, FILLING, GRADING OR ALTERATION OF THE MAPPED FLOOD PLAIN SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS IN THE FRANKLIN, INDIANA ZONING ORDINANCE AS PERIODICALLY AMENDED.
- 3) THE HORIZONTAL COORDINATE SYSTEM IS NAD83 INDIANA EAST 1301 AND THE VERTICAL DATUM IS NAVD88 BASED ON THE INDIANA CONTINUOUSLY OPERATING REFERENCE SYSTEM (INCORS).

LEGEND

- PROPERTY LINES
- EXISTING CONTOURS
- OH OVERHEAD ELECTRIC
- ST STORM SEWER
- G GAS
- W WATER
- X FENCE
- (R) RECORD DIMENSION
- SPOT ELEVATION
- FOUND 5/8 REBAR
- CONTROL POINT
- FUEL TANK ACCESS LID
- MONITORING WELL
- CLEAN OUT
- SIGN
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- LIGHT POLE
- ELECTRIC METER
- GAS METER
- TELECOM BOX
- BOLLARD
- A/C UNIT
- STORM INLET
- TREE

UNDERGROUND UTILITIES:

THE EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON THE DRAWING WERE OBTAINED FROM SURFACE MARKINGS BY OTHERS, BY VISIBLE SURFACE INDICATIONS, AND BY PLANS AND DRAWINGS OBTAINED FROM OTHERS. INDEPENDENT LAND SURVEYING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY OF THE SURFACE MARKINGS MADE BY OTHERS. THIS INFORMATION IS BELIEVED TO BE CORRECT BUT IS NOT GUARANTEED. LOCATION OF ALL UTILITIES SHOULD BE FIELD VERIFIED BEFORE ANY NEW CONSTRUCTION BEGINS. DEPTHS OF UNDERGROUND UTILITIES WERE NOT MARKED AND ARE UNKNOWN UNLESS NOTED OTHERWISE.



BY

DATE

REV. NO.

DESCRIPTION

PROJECT NAME

SHELL STATION

237 W JEFFERSON ST

FRANKLIN, INDIANA

414 South Main Street
Bloomington, Indiana 47220
Phone: 812-338-2682
Fax: 812-338-2695

3900 Sycamore CT, STE 2A
Columbus, Indiana 47203
Phone: 812-372-0996
Fax: 812-602-0484
www.ilsurveying.com

Independent Land Surveying

SHEET TITLE:

EXISTING TOPO

DRAWN BY:

DEK

SCALE:

1"=10'

DATE:

6-18-2021

JOB NUMBER:

21010

JAMES C. LEINART

REGISTERED

NO. 10707550

STATE OF INDIANA

PROFESSIONAL ENGINEER

TIM M. ALLEN

REGISTERED

NO. LS20700102

STATE OF INDIANA

LAND SURVEYOR

SHEET

C101



LEGEND

LETON

 AREA OF REMOVAL

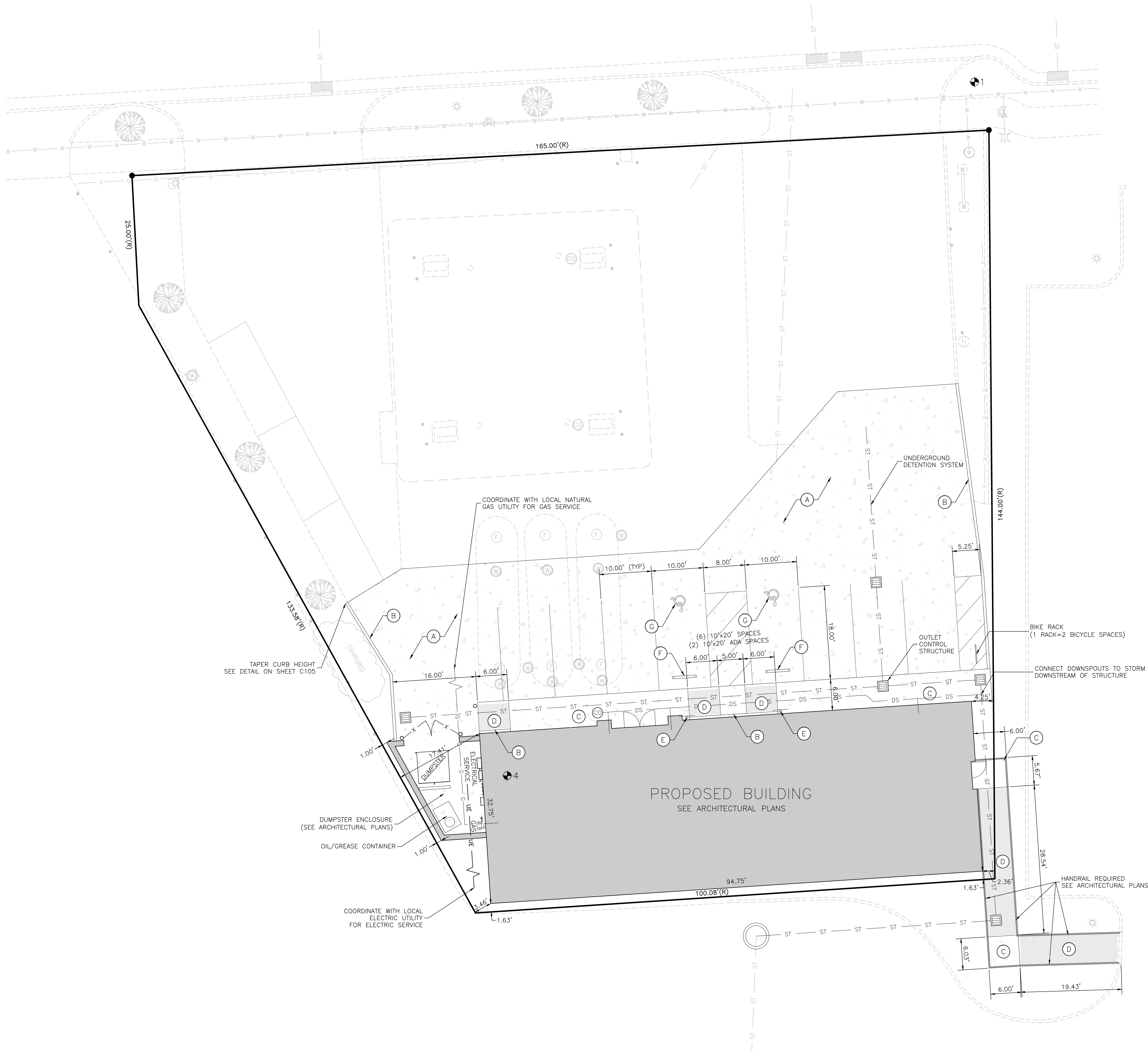
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SHEET
C102

				Independent Land Surveying www.isurveying.com		PROJECT NAME SHELL STATION 237 W JEFFERSON ST FRANKLIN, INDIANA Phone: 812-358-2882 Fax: 812-358-2605 3200 Sycamore Ct., Ste. 2A Franklin, IN 46131 Phone: 812-372-0996 Fax: 812-602-0484		BY —	
DRAWN BY: DEK		DATE: 6-18-2021		REV. NO. —		DATE —		DESCRIPTION —	
SHEET TITLE: DEMOLITION PLAN		SCALE: 1" = 10'							
		JOB NUMBER: 0996							

W. JEFFERSON ST. (R/W VARIES)



- NOTES:
- 1) TYPICAL PARKING SPACES ARE 10'x18'.
 - 2) PAINT STRIPES ARE TO BE 4 INCHES IN WIDTH.
 - 3) CONTRACTOR TO VERIFY LOCATION OF EXISTING & PROPOSED UTILITIES PRIOR TO CONSTRUCTION.
 - 4) ALL WORK PERFORMED ON THIS SITE IS TO CONFORM TO LOCAL AND STATE REQUIREMENTS.
 - 5) SIDEWALKS AND ADA SPACES TO BE CONSTRUCTED TO MEET ADA REQUIREMENTS.
 - 6) ALL DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT.
 - 7) ANY OUTDOOR LIGHTING WILL HAVE 90 DEGREE CUTOFF.
 - 8) WATER METER AND WATER LINE SIZES PROVIDED BY OTHERS.

LEGEND

- PROPERTY LINES
- PROPOSED SANITARY SEWER
- PROPOSED STORM STRUCTURE
- PROPOSED CLEAN OUT
- PROPOSED STORM SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND GAS LINE
- PROPOSED WATER LINE
- PROPOSED CONCRETE
- 8" CONCRETE PAVEMENT (4,000 PSI)
- WITH #6X6 W2.9X2.9 WWF OVER
- OVER 6" C.A.B.(#53) OVER
- 12" SUBGRADE COMPACTED TO 95% PROCTOR
- 6" CONCRETE CURB (SEE DETAILS)
- CONCRETE SIDEWALK (SEE DETAILS)
- ADA RAMP
- ADA SIGN
- CONCRETE PARKING BARRIER
- ADA PAVEMENT MARKING

PARKING SPACES

MINIMUM NUMBER OF REQUIRED SPACES:
USE: CONVENIENCE STORE
REQUIREMENT: 1 SPACE FOR EACH 300
680 SQUARE FEET OF GROSS FLOOR AREA RETAIL
SPACE
REQUIREMENT: 1 FOR EACH EMPLOYEE ON
THE LARGEST SHIFT

GROSS FLOOR SPACE: 1669 SQUARE FEET
EMPLOYEES ON LARGEST SHIFT: 2
SPACES REQUIRED: 8
SPACES PROVIDED: 8

ACCESSIBLE PARKING:
TOTAL SPACES PROVIDED: 8
ACCESSIBLE SPACES REQUIRED: 1
ACCESSIBLE SPACES PROVIDED: 1
VAN ACCESSIBLE SPACES REQUIRED: 1
VAN ACCESSIBLE SPACES PROVIDED: 1
TOTAL NUMBER OF ACCESSIBLE SPACES: 2

UNDERGROUND UTILITIES:

THE EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON THE DRAWING WERE OBTAINED FROM SURFACE MARKINGS BY OTHERS, BY VISIBLE SURFACE INDICATIONS, AND BY PLANS AND DRAWINGS OBTAINED FROM OTHERS. INDEPENDENT LAND SURVEYING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY OF THE SURFACE MARKINGS MADE BY OTHERS. THIS INFORMATION IS BELIEVED TO BE CORRECT BUT IS NOT GUARANTEED. LOCATION OF ALL UTILITIES SHOULD BE FIELD VERIFIED BEFORE ANY NEW CONSTRUCTION BEGINS. DEPTHS OF UNDERGROUND UTILITIES WERE NOT MARKED AND ARE UNKNOWN UNLESS NOTED OTHERWISE.

REV	NO.	DATE	DESCRIPTION	BY
	1			

PROJECT NAME	SHELL STATION
	237 W JEFFERSON ST
	FRANKLIN, INDIANA

414 South Main Street Brownstown, Indiana 47220 Phone: 812-338-2882 Fax: 812-338-2882	3300 Sycamore Ct., STE. 2A Franklin, Indiana 47203 Phone: 812-372-0996 Fax: 812-602-0484
Independent Land Surveying	www.isurveying.com

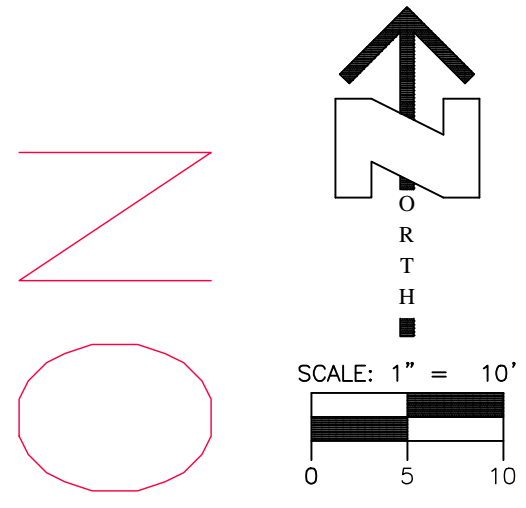
SHEET TITLE:	SITE PLAN
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DRAWN BY:	DEK
SCALE:	1"=10'
DATE:	6-18-2021
JOB NUMBER:	21010

JAMES C. LEINART REGISTERED NO. 10707550 STATE OF INDIANA PROFESSIONAL ENGINEER	TIM M. ALLEN REGISTERED NO. LS20700102 STATE OF INDIANA LAND SURVEYOR
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SHEET	C103
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W. JEFFERSON ST. (R/W VARIES)



NOTES:

- 1) NO GEOTECHNICAL ENGINEERING WAS INCLUDED IN INDEPENDENT LAND SURVEYING'S SCOPE OF WORK. NO GEOTECHNICAL RECOMMENDATIONS ARE TO BE IMPLIED BY THE INCLUDED DETAILS AND SPECIFICATIONS AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. INDEPENDENT LAND SURVEYING RECOMMENDS THE OWNER CONSULT A GEOTECHNICAL ENGINEER FOR FINAL DESIGN RECOMMENDATIONS, INCLUDING, BUT NOT LIMITED TO EARTHWORK SPECIFICATIONS AND PAVEMENT DESIGN, BASED ON EXISTING SITE CONDITIONS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- 2) CONTRACTOR TO GRADE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS WHEN SITE WORK IS COMPLETE.
- 3) ALL WORK PERFORMED ON THIS SITE IS TO CONFORM TO LOCAL AND STATE REQUIREMENTS.
- 4) CONTRACTOR SHALL PROVIDE GRANULAR BACKFILL WHEN EXCAVATING WITHIN 5 FEET OF PAVEMENTS.
- 5) OWNER/CONTRACTOR TO KEEP INLETS CLEAN TO INSURE PROPER DRAINAGE.
- 6) ALL STORM STRUCTURES TO BE STAMPED "DUMP NO WASTE-DRAINS TO WATERWAYS"
- 7) FILL SHALL BE PROTECTED AGAINST EROSION AND SCOUR DURING FLOODING BY VEGETATIVE COVER, RIP RAP OR BULKHEADING. SLOPES NOT TO EXCEED 3:1 WHERE VEGETATIVE COVER IS USED.

STRUCTURE NUMBER	STRUCTURE TYPE	RIM OR CURE/LOWING OF OUTLET	ELEV.	IN.	PIPE TYPE	LENGTH	INVERT*		CASTING NO.	REMARKS
							UP STREAM	DOWN STREAM		
							FT. ELEV.	ELEV.		
101	MANHOLE	M.E. 720.6	-	-	-	-	717.0 +/-	-	R-1714	MANHOLE; CONNECT TO EXISTING 30" CMP; FIELD VERIFY INVERT
102	JUNCTION BOX	722.26	12	HP-PP	38	717.38	717.0 +/-	-	R-1878-A6L	JUNCTION BOX W/ SOLID LID; INSTALL CASTING TO MATCH RAMP SLOPE; CONNECT TO STR #101
103	JUNCTION BOX	724.18	12	HP-PP	46	717.84	717.38	-	R-1878-A6L	JUNCTION BOX W/ SOLID LID; CONNECT TO STR #102
104	OUTLET CONTROL	724.18	12	HP-PP	18	718.02	717.84	-	R-1878-A6L	OUTLET CONTROL W/ SOLID LID (SEE DETAIL); CONNECT TO STR #103
105	INLET	723.19	12	HP-PP	92	718.94	718.02	-	R-1878-A6G	INLET W/ OPEN GRATE; CONNECT TO STR #104
201	INLET	723.17	12	HP-PP	17	718.02	718.02	-	R-1878-A6G	INLET W/ OPEN GRATE; CONNECT TO STR #104
202	DETENTION PIPE	-	12	PERFORATED HP-PP	33	718.02	718.02	-	-	UNDERGROUND DETENTION PIPE (SEE DETAIL); CONNECT TO STR #201

HP-PP = ADS HIGH PERFORMANCE POLYPROPYLENE PIPE
* PIPE INFORMATION (SIZE, TYPE, LENGTH AND INVERT ELEVATIONS) SHOWN ARE FOR THE OUTLET PIPE.

LEGEND

- PROPERTY LINES
- EXISTING CONTOURS
- EXISTING SPOT ELEVATIONS
- 720' PROPOSED CONTOURS
- PROPOSED GRADE BREAK
- PROPOSED STORM STRUCTURE
- ST PROPOSED STORM SEWER
- DS PROPOSED DOWNSPOUT DRAIN
- PROPOSED FINISHED GRADE ELEVATIONS
- M.E. MATCH EXISTING
- T/P TOP OF PAVEMENT
- T/C TOP OF CURB
- T/C TOP OF CONCRETE
- F.G. FINISHED GRADE
- H.P. HIGH POINT
- B.F. BASE FLOOD ELEVATION
- FPG FLOOD PROTECTION GRADE
- FIN. FL. FINISHED FLOOR

BY

DESCRIPTION

DATE

REV

PROJECT NAME

SHELL STATION

237 W JEFFERSON ST

FRANKLIN, INDIANA

414 South Main Street
Brownstown, Indiana 47220
Phone: 812-358-2602
Fax: 812-358-2603

Independent
Land
Surveying

www.ilsurveying.com

3200 Sycamore, CT, STE. 2A
Columbus, Indiana 47203
Phone: 812-372-0996
Fax: 812-602-0484

SHEET TITLE:

GRADING
PLAN

DRAWN BY:

DECK

SCALE:

1" = 10'

DATE:

6-18-2021

JOB NUMBER:

21010

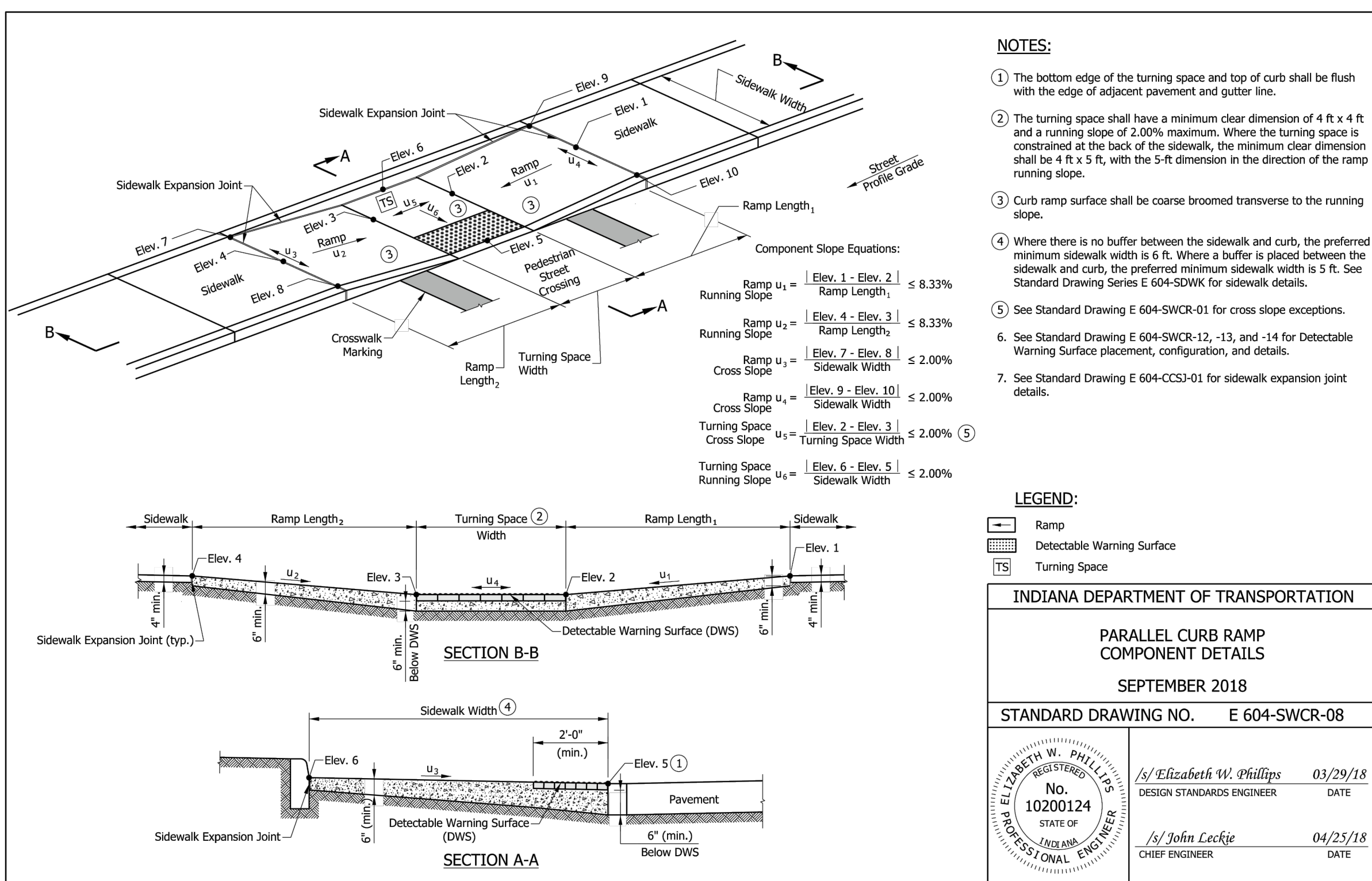
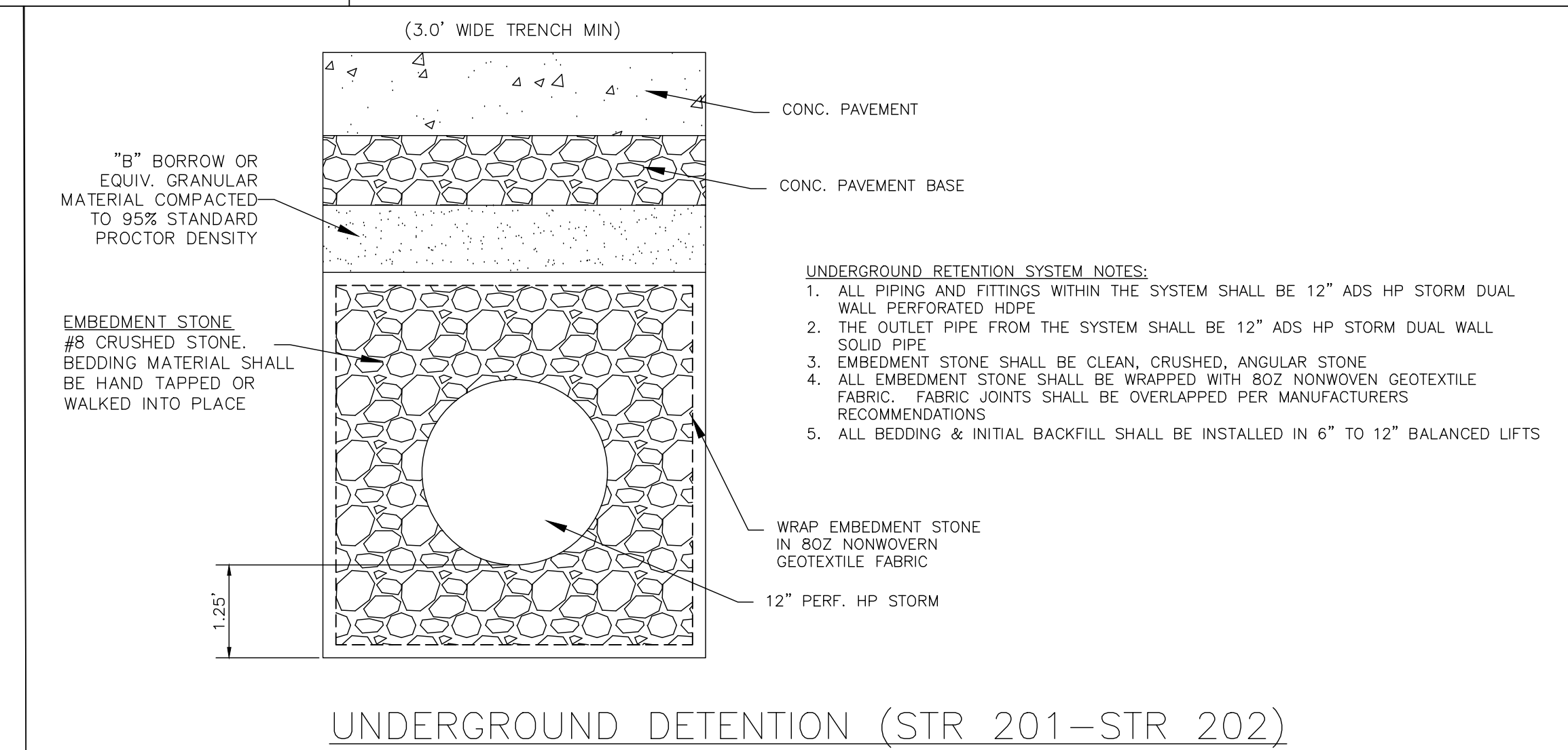
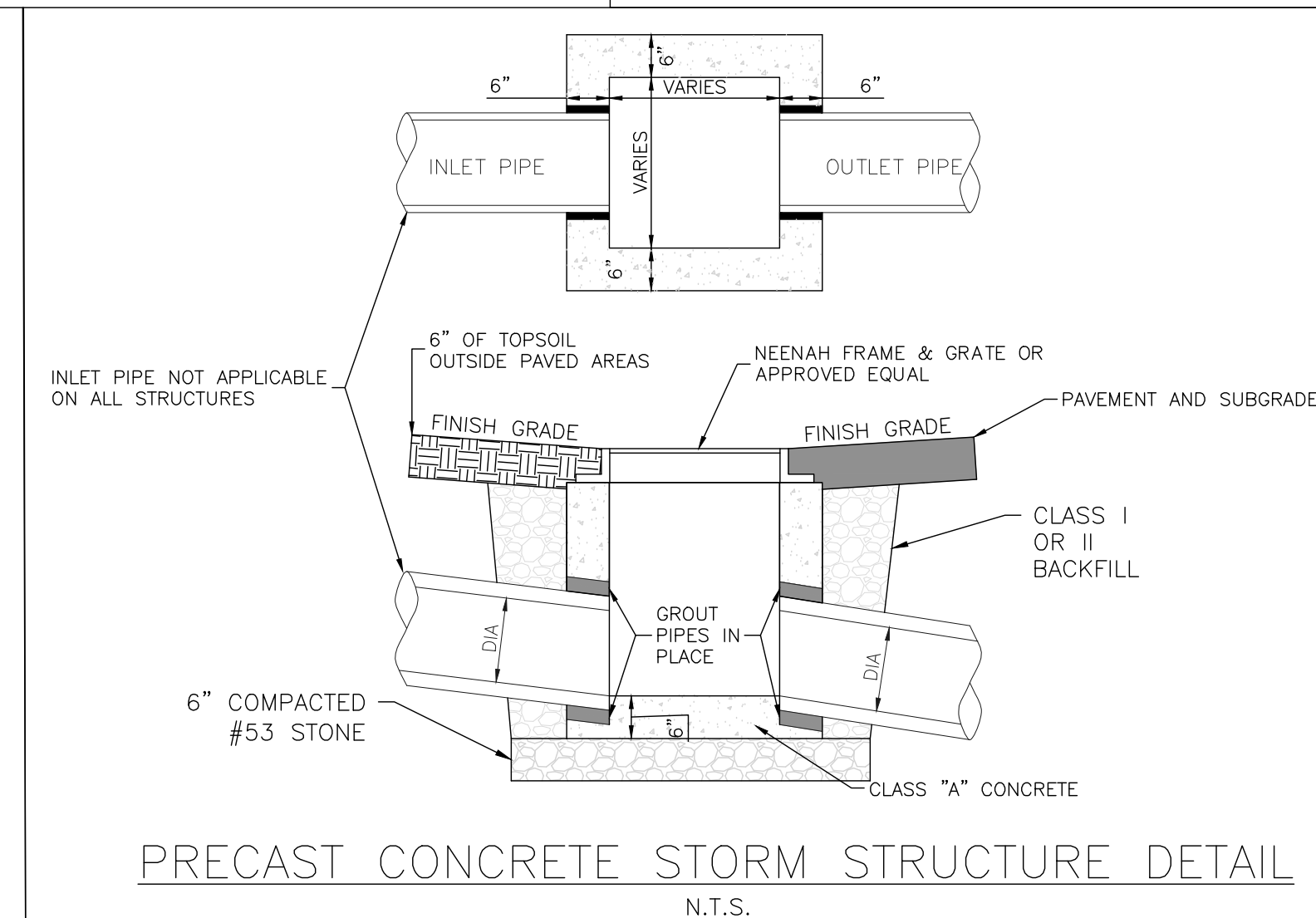
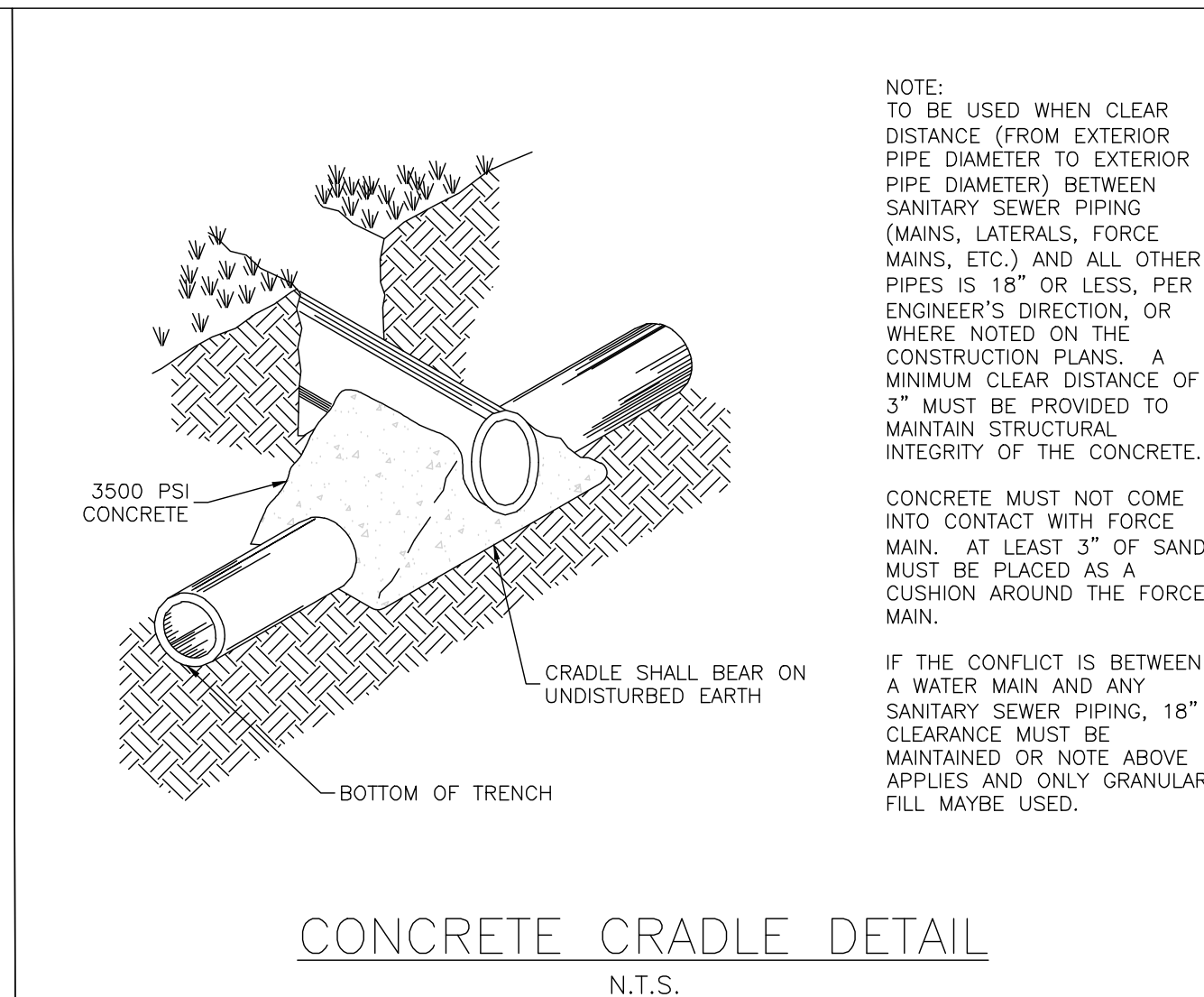
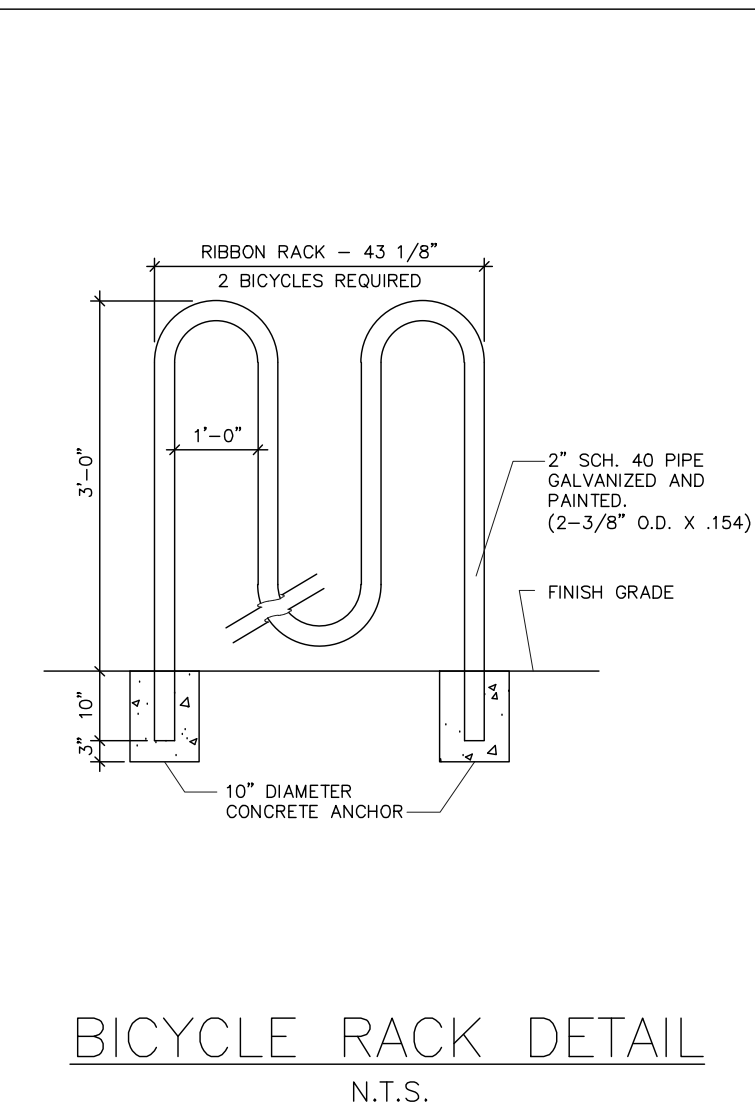
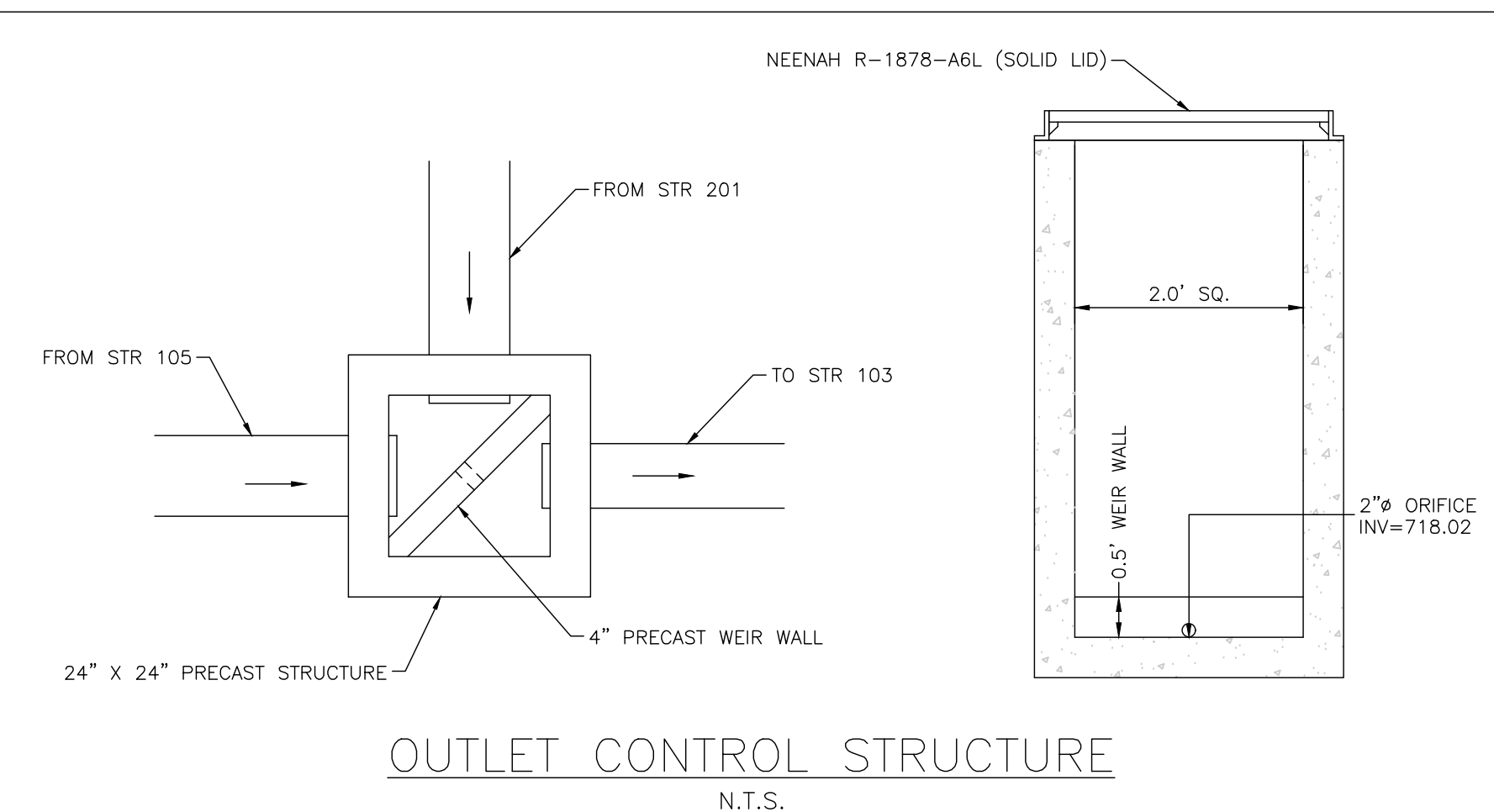
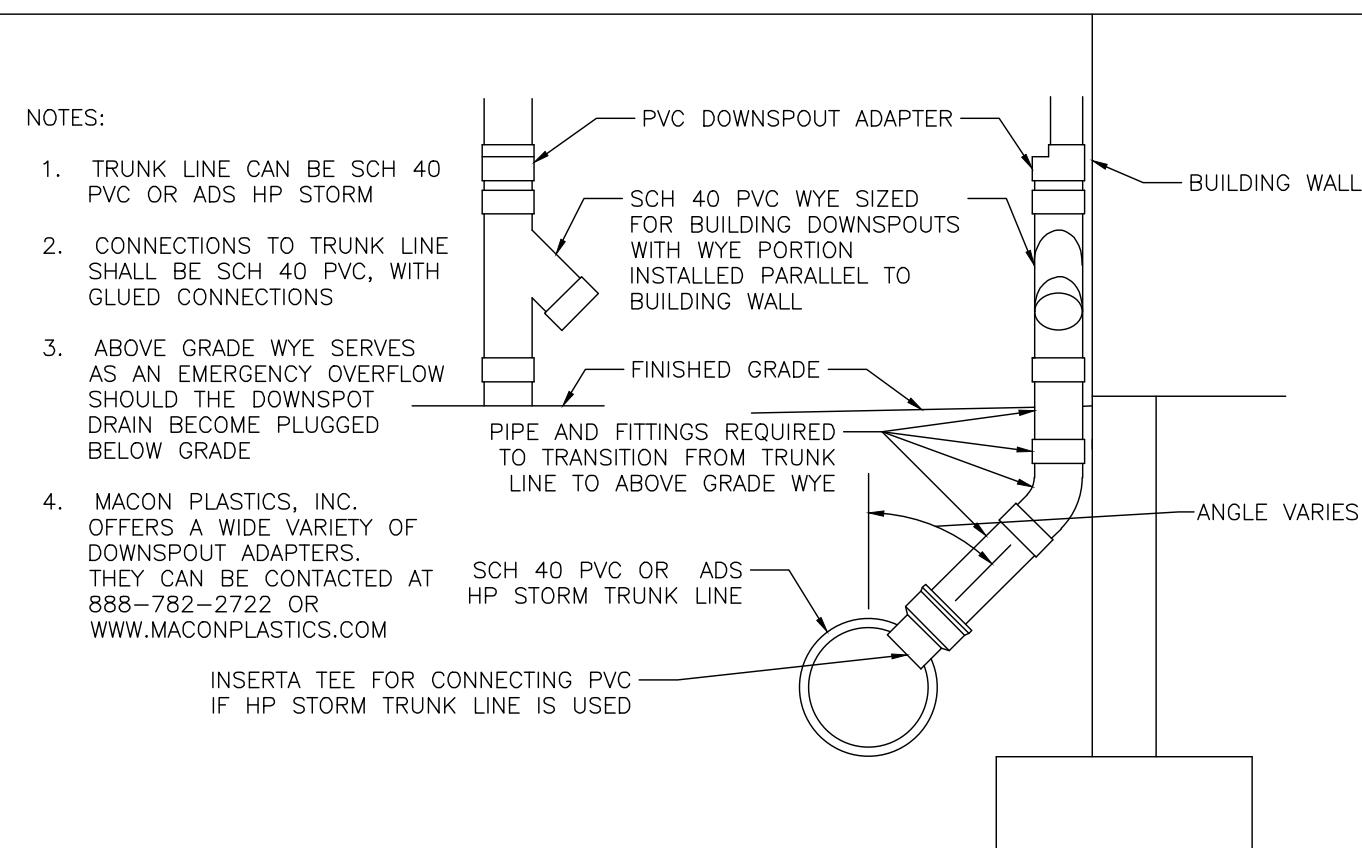
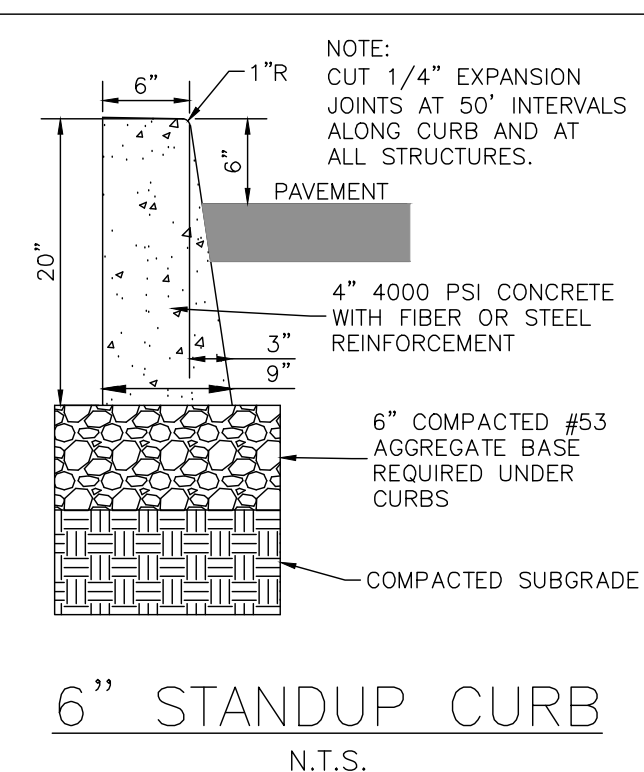
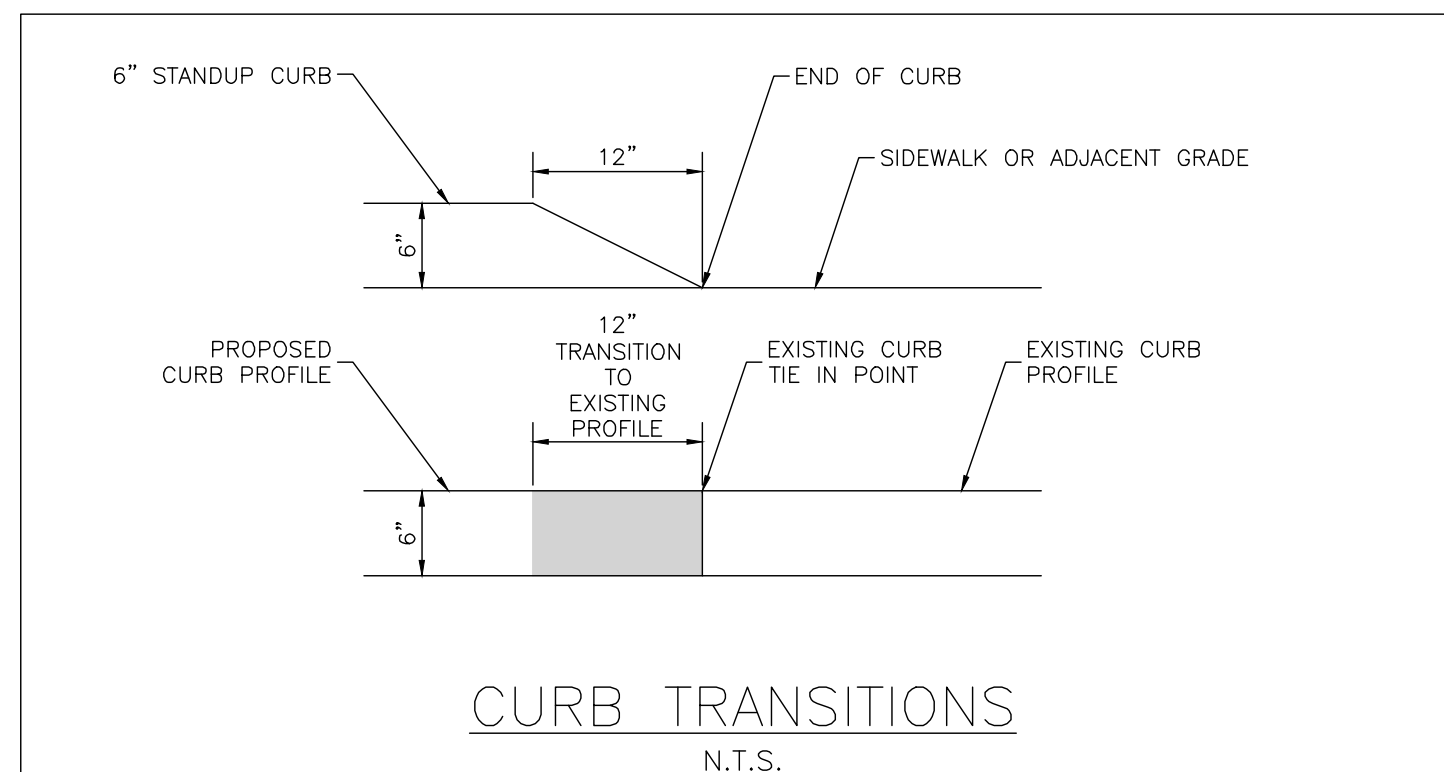
JAMES C. LEINART
REGISTERED
NO. 10707550
STATE OF
INDIANA
PROFESSIONAL ENGINEER

TIM M. ALLEN
REGISTERED
LS20700102
STATE OF
INDIANA
LAND SURVEYOR

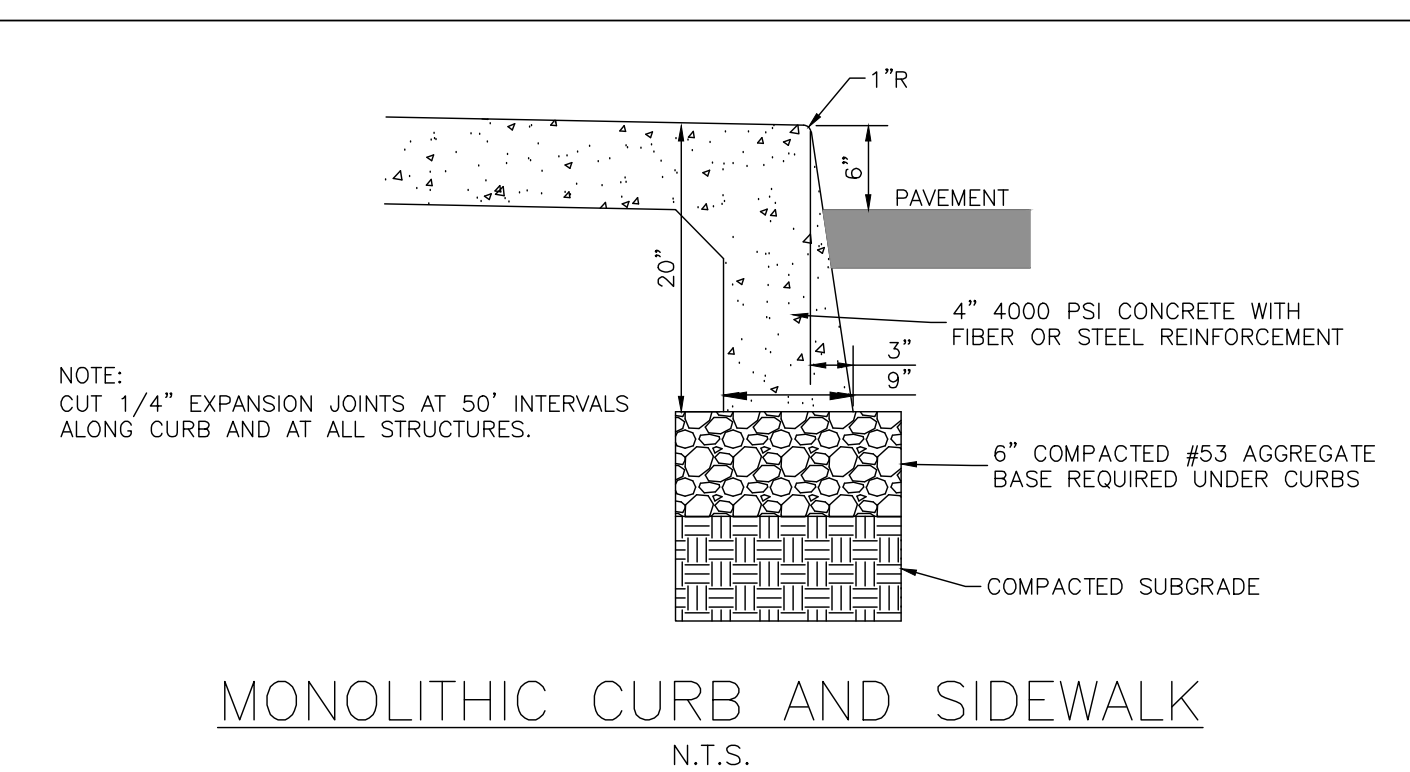
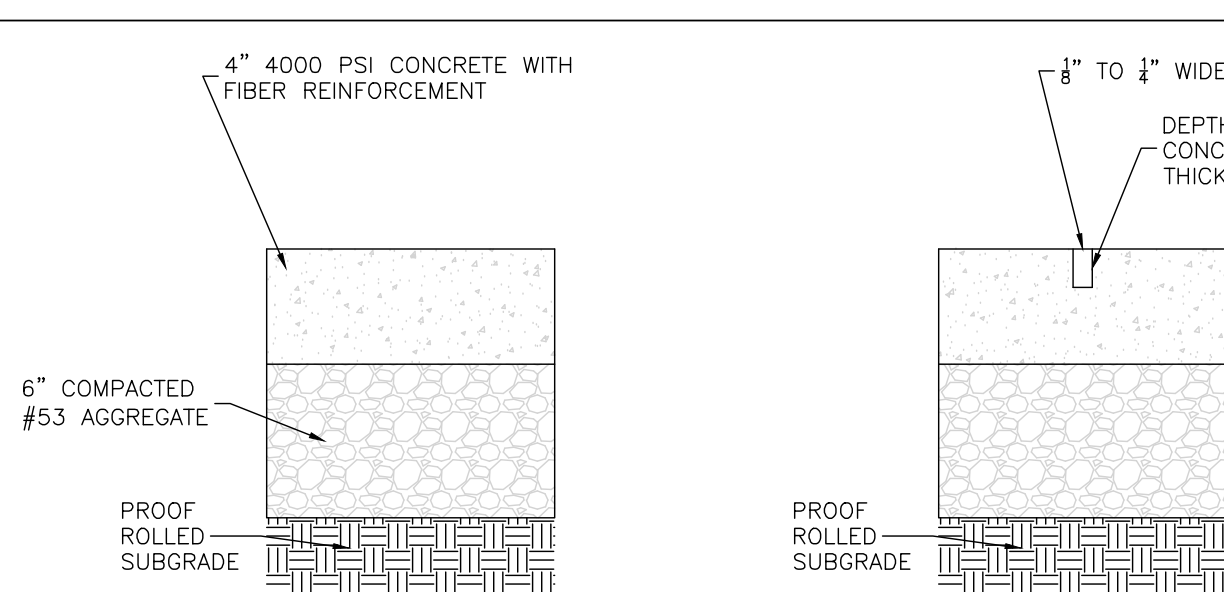
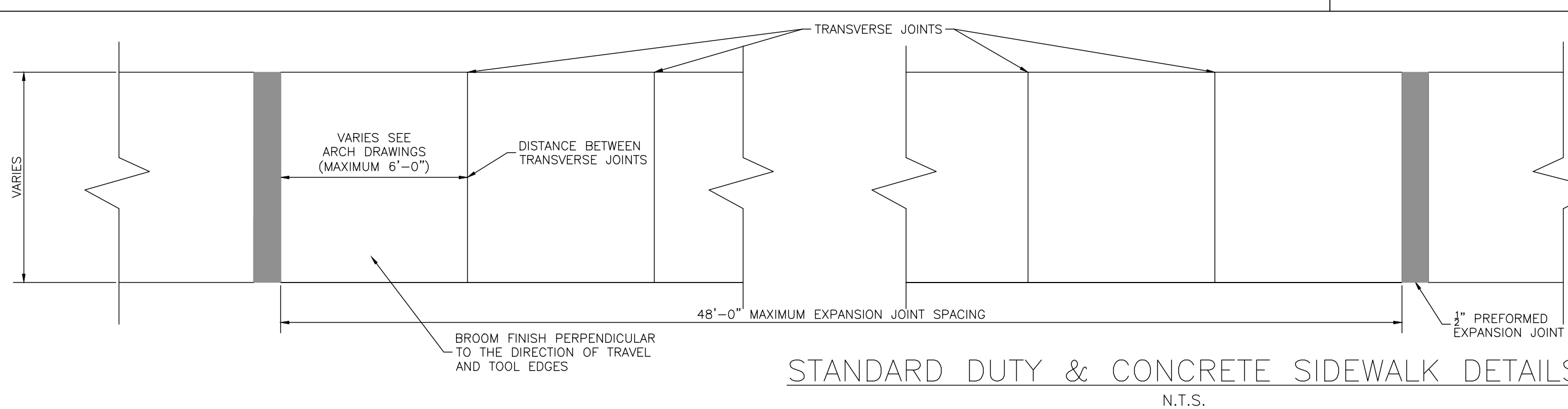
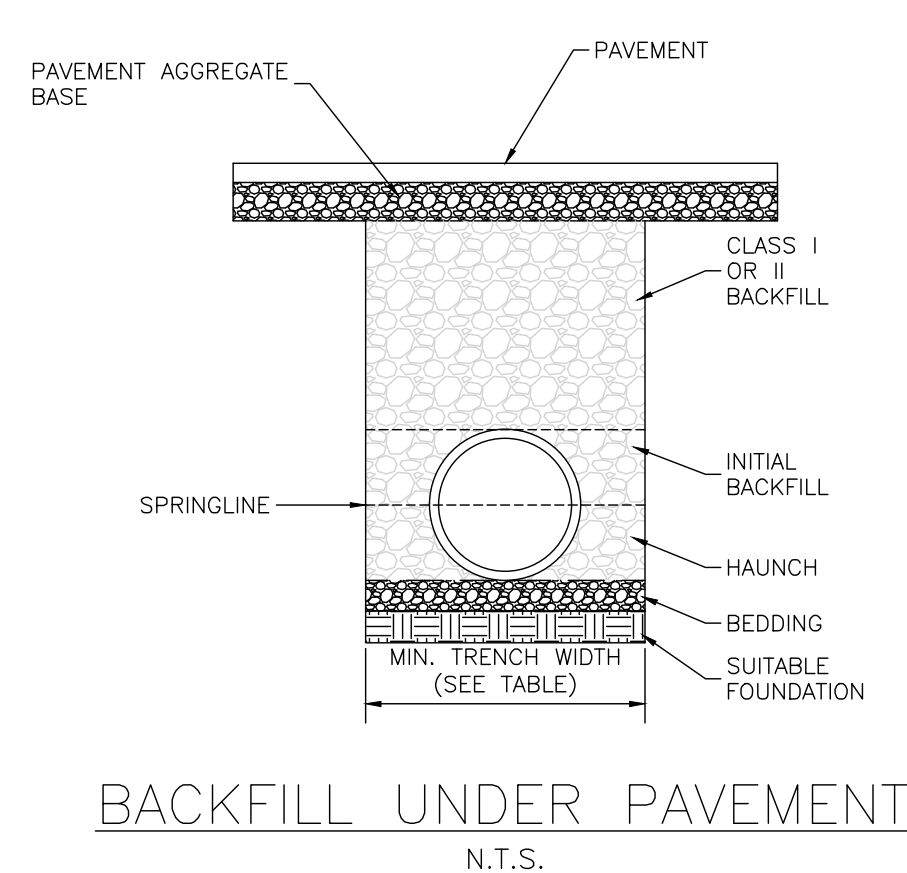
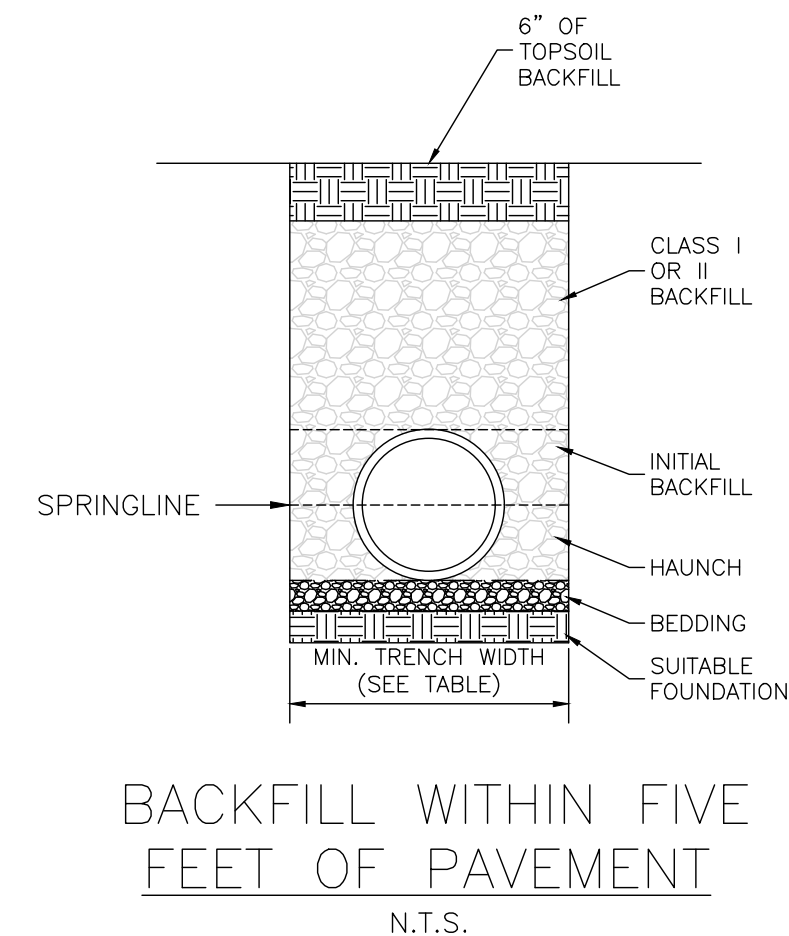
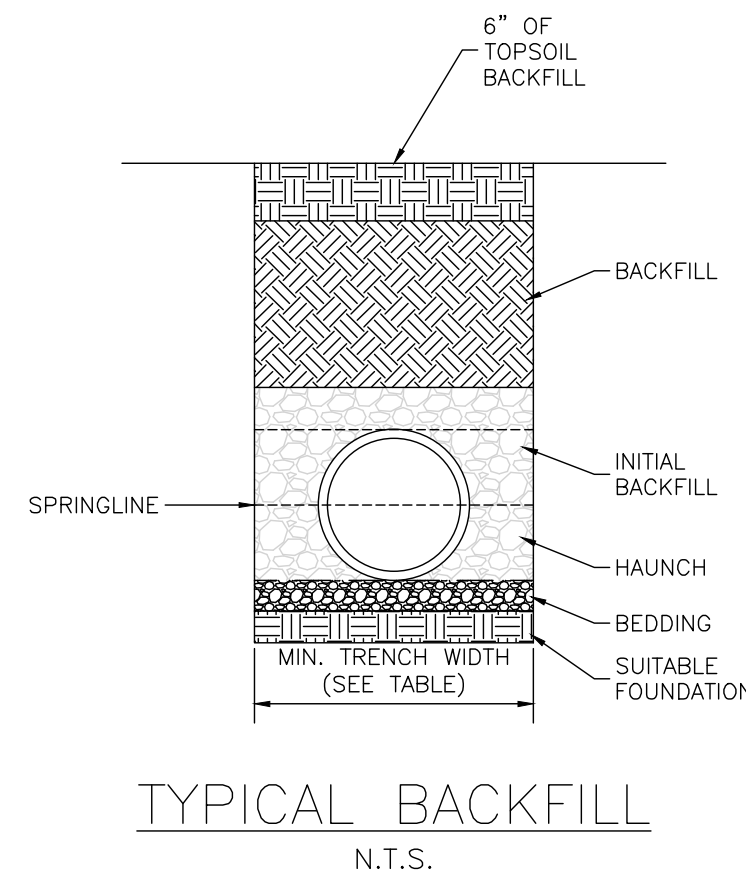
SHEET

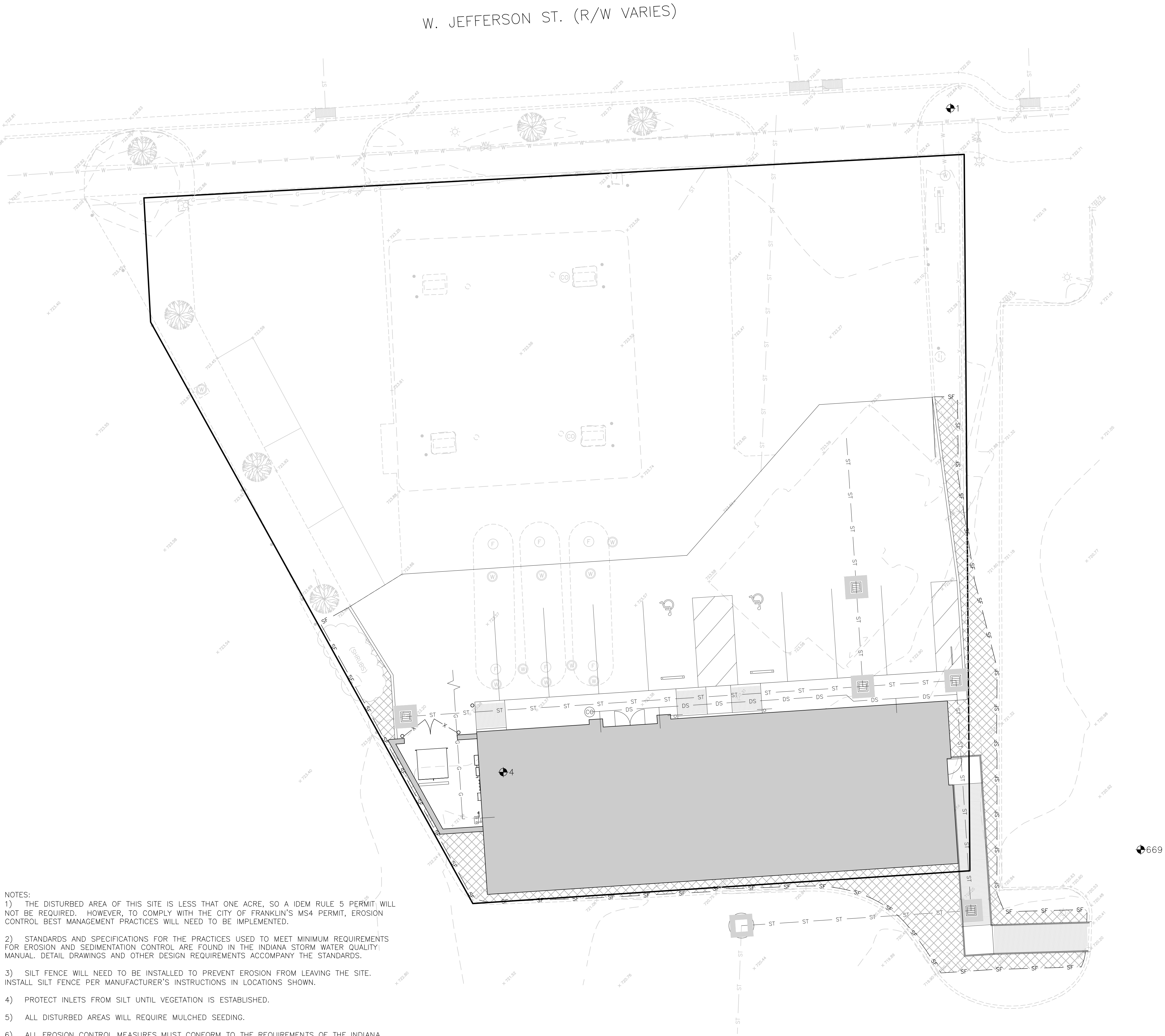
C104





RECOMMENDED MINIMUM TRENCH WIDTHS	
PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
60"	96"



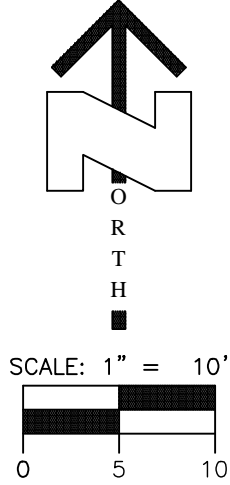


- NOTES:
- 1) THE DISTURBED AREA OF THIS SITE IS LESS THAT ONE ACRE, SO A IDEM RULE 5 PERMIT WILL NOT BE REQUIRED. HOWEVER, TO COMPLY WITH THE CITY OF FRANKLIN'S MS4 PERMIT, EROSION CONTROL BEST MANAGEMENT PRACTICES WILL NEED TO BE IMPLEMENTED.
 - 2) STANDARDS AND SPECIFICATIONS FOR THE PRACTICES USED TO MEET MINIMUM REQUIREMENTS FOR EROSION AND SEDIMENTATION CONTROL ARE FOUND IN THE INDIANA STORM WATER QUALITY MANUAL. DETAIL DRAWINGS AND OTHER DESIGN REQUIREMENTS ACCOMPANY THE STANDARDS.
 - 3) SILT FENCE WILL NEED TO BE INSTALLED TO PREVENT EROSION FROM LEAVING THE SITE. INSTALL SILT FENCE PER MANUFACTURER'S INSTRUCTIONS IN LOCATIONS SHOWN.
 - 4) PROTECT INLETS FROM SILT UNTIL VEGETATION IS ESTABLISHED.
 - 5) ALL DISTURBED AREAS WILL REQUIRE MULCHED SEEDING.
 - 6) ALL EROSION CONTROL MEASURES MUST CONFORM TO THE REQUIREMENTS OF THE INDIANA HANDBOOK FOR EROSION CONTROL.

NOTE:
327 IAC 15-5-7 (b) (18) requires a self monitoring program that includes written evaluation by trained individuals at a minimum of once a week and by the end of the next business day following a >0.5 inch rain event. Written reports must include name of the individual performing the evaluation, date of the evaluation, problems identified, details of the corrective actions recommended and completed. These reports are to be made available to the inspecting authority within 48 hours of a request.

LEGEND

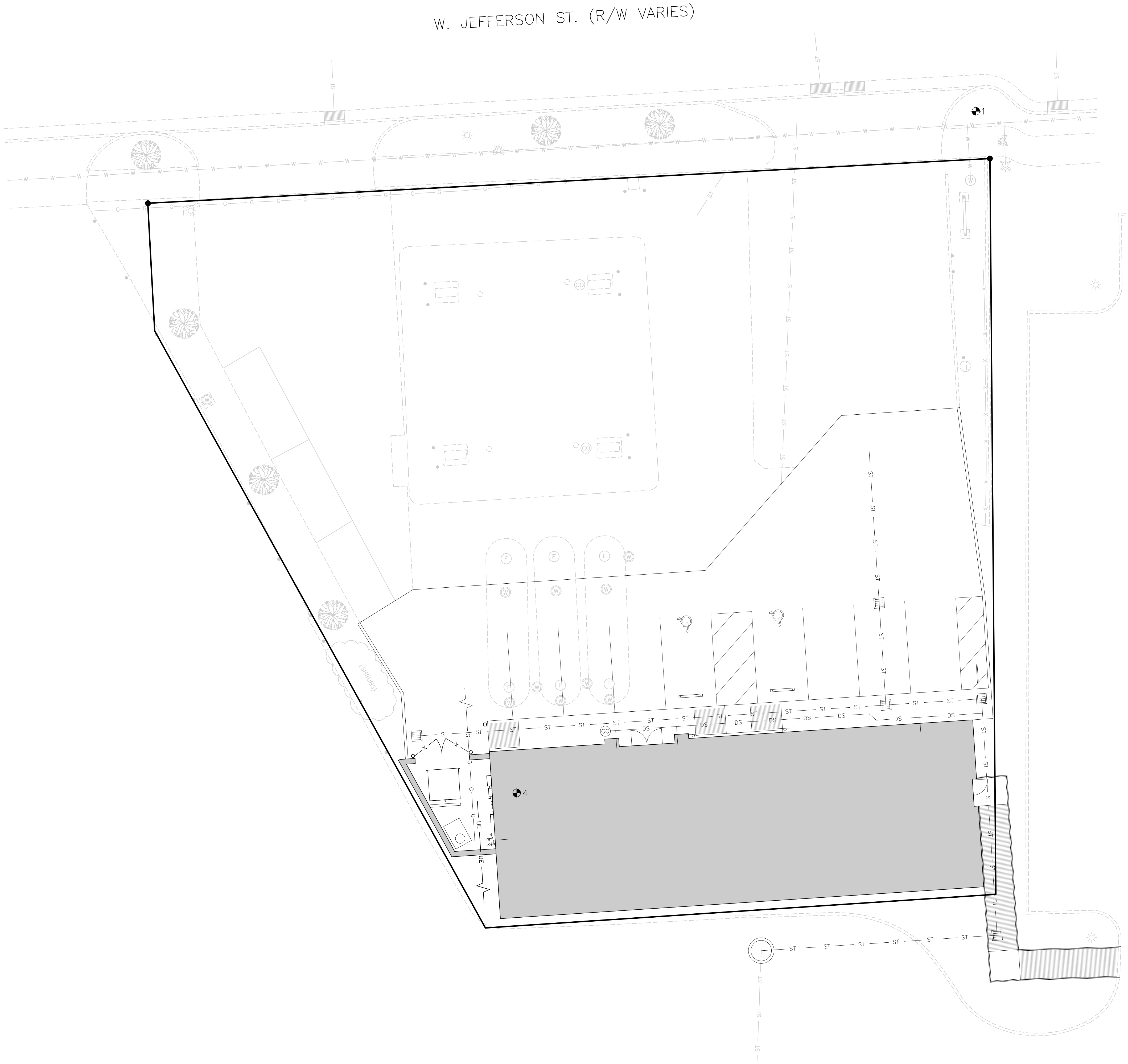
- PROPERTY LINES
- SF PROPOSED SILT FENCE
- PERMANENT SEEDING AREA
- INLET PROTECTION



NOT FOR CONSTRUCTION

PROJECT NAME SHELL STATION 237 W JEFFERSON ST FRANKLIN, INDIANA		REV. NO.	DATE	DESCRIPTION	BY	
Independent Land Surveying 414 South Main Street Brownstown, Indiana 47220 Phone: 812-338-2682 Fax: 812-338-2695 3300 Sycamore CT, STE. 2A Columbus, IN 47203 Phone: 812-372-0996 Fax: 812-602-0464 www.isurveying.com		SHEET TITLE: EROSION CONTROL & SEEDING PLAN				
DRAWN BY: DEK SCALE: 1" = 10'		DATE: 6-18-2021		JOB NUMBER: 2010		
				SHEET C106		





REQUIRED LANDSCAPING AREAS:

PROPERTY INTERIOR (COMMERCIAL) – 1 TREE PER 1500 SQ. FT. OF YARD AREA
100% MAX. LOT COVERAGE
SUBJECT PARCEL = 19,897 SQ. FT. (0.457 ACRES) X 0.00 = 0 SQ. FT. MINIMUM
YARD AREA REQUIRED:
550 SQ. FT. TOTAL YARD AREA OF DEVELOPED PORTION OF SITE.
550 SQ. FT./1500 SQ. FT. = 0.36 = 0 TREES

PARKING LOT PERIMETER
NONE REQUIRED

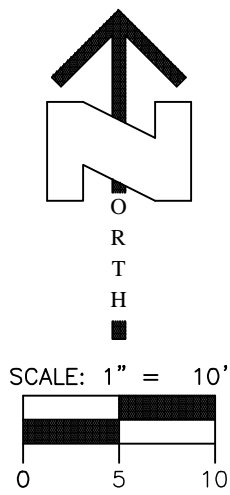
PARKING LOT INTERIOR
LANDSCAPE ISLANDS W/ 5% OF PAVED SURFACE.
2262 SQ. FT. PROPOSED ADDITIONAL PAVED SURFACE X 0.05 = 113 SQ. FT.
300 SQ. FT. LANDSCAPE ISLANDS PROVIDED (300 SQ. FT. MIN./ISLAND)
1 TREE PER 300 SQ. FT. REQUIRED LANDSCAPED AREA
113 SQ. FT./300 = 0.38 = 0 TREES

BUFFER YARD
NONE REQUIRED

STREET TREES
NONE REQUIRED

669

UNDERGROUND UTILITIES:
THE EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON THE DRAWING WERE OBTAINED FROM SURFACE MARKINGS BY OTHERS, BY VISIBLE SURFACE INDICATIONS, AND BY PLANS AND DRAWINGS OBTAINED FROM OTHERS. INDEPENDENT LAND SURVEYING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY OF THE SURFACE MARKINGS MADE BY OTHERS. THIS INFORMATION IS BELIEVED TO BE CORRECT BUT IS NOT GUARANTEED. LOCATION OF ALL UTILITIES SHOULD BE FIELD VERIFIED BEFORE ANY NEW CONSTRUCTION BEGINS. DEPTHS OF UNDERGROUND UTILITIES WERE NOT MARKED AND ARE UNKNOWN UNLESS NOTED OTHERWISE.



NOT FOR CONSTRUCTION

REV. NO.	DATE	DESCRIPTION	BY
1			

PROJECT NAME	SHEET
SHELL STATION	C107
237 W JEFFERSON ST	
FRANKLIN, INDIANA	

DRAWN BY:	DEK
SCALE:	1" = 10'
DATE:	6-18-2021
JOB NUMBER:	21010

INDEPENDENT LAND SURVEYING, INC.	JAMES C. LEINART
414 South Main Street	REGISTERED NO. 10707550
Brownstown, Indiana 47220	STATE OF INDIANA
Phone: 812-338-2882	PROFESSIONAL ENGINEER
Fax: 812-338-2885	

3300 Sycamore Ct. STE. 2A	TIM M. ALLEN
Indianapolis, IN 46203	REGISTERED NO. LS20700102
Phone: 812-372-0896	STATE OF INDIANA
Fax: 812-602-0464	LAND SURVEYOR
www.ilsurveying.com	