

OWNER:

FRANKLIN ANIMAL CLINIC

2990 NORTH MORTON STREET
FRANKLIN, INDIANA

DEVELOPER:

ALDERSON COMMERCIAL
GROUP

425 W SOUTH ST. SUITE 100,
INDIANAPOLIS, IN 46225

ENGINEER/LANDSCAPE ARCHITECT:

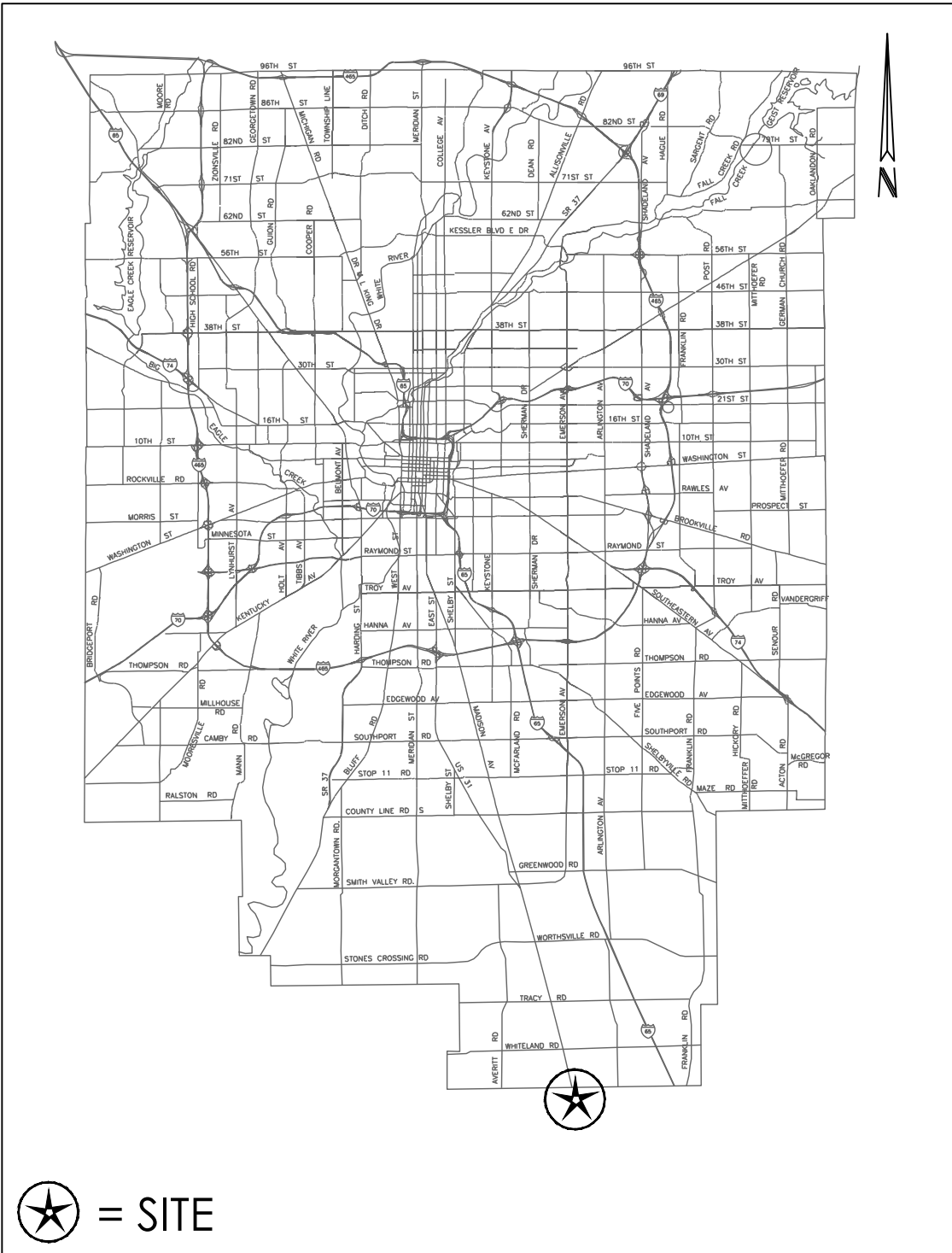


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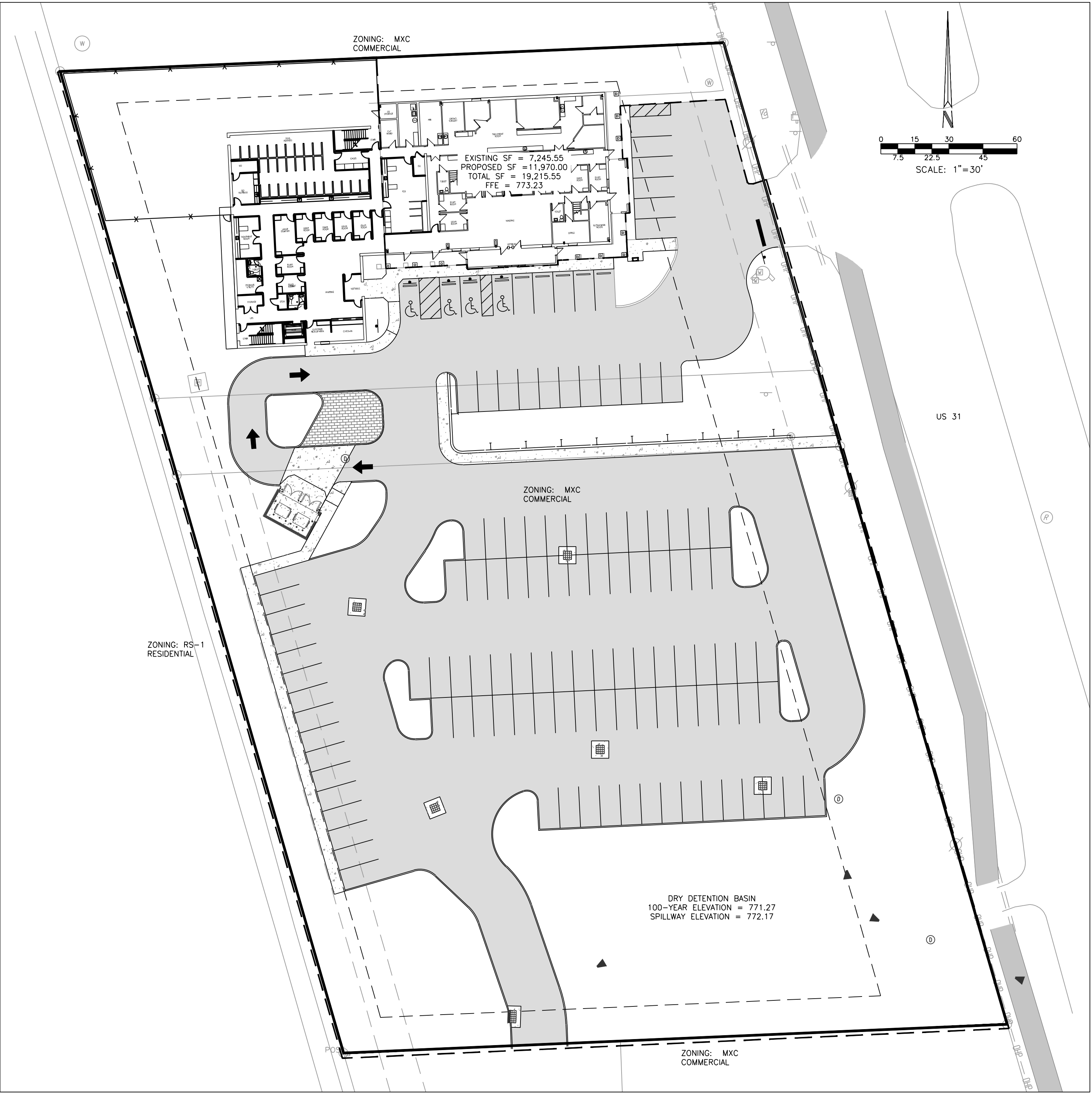
LOCATION MAP:



VICINITY MAP:



CONSTRUCTION PLANS FOR FRANKLIN ANIMAL CLINIC



PROJECT DATA:

PROJECT ADDRESS	2990 N. MORTON STREET FRANKLIN, INDIANA 46131
PROJECT AREA	2.96 AC
BUILDING AREA	0.30± AC
EXISTING PARKING SPACES	35
STANDARD SPACES PROPOSED	114
ACCESSIBLE SPACES PROPOSED	4
TOTAL PARKING SPACES	118

SHEET INDEX:

SHEET	DESCRIPTION
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C101	EXISTING CONDITIONS AND DEMOLITION PLAN
C201	SITE PLAN
C202	SITE DETAILS
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C501	UTILITY PLAN
C502	UTILITY DETAILS
C701	STORM SEWER PLAN AND PROFILES
C702	STORM SEWER DETAILS
C703	STORM SEWER DETAILS
L101	PLANTING PLAN
L110	PLANTING DETAILS
1	PHOTOMETRIC
2	PHOTOMETRIC
S1	ALTA SURVEY
S2	ALTA SURVEY
S3	ALTA SURVEY

BENCHMARKS:

AGENCY & UTILITY INFO:

AGENCY/UTILITY	PHONE NUMBER
FRANKLIN DEPARTMENT OF CODE ENFORCEMENT	317-736-3631
FRANKLIN DEPARTMENT OF PUBLIC WORKS	317-736-3640
FRANKLIN FIRE DEPARTMENT	317-327-6041
JOHNSON COUNTY SWCD	317-XXX-XXXX
DUKE ENERGY - BRIAN BANTLEY	317-502-2102
VECTREN (GAS)	317-XXX-XXXX
TELEPHONE COMPANY	317-XXX-XXXX
CABLE COMPANY	317-XXX-XXXX
INDIANA AMERICAN WATER	317-XXX-XXXX
CITY OF FRANKLIN DEPARTMENT OF PUBLIC WORKS	317-XXX-XXXX

CAUTION
LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CRIFE TEAM:

PROJECT MANAGER	DARCI PELLOM, PLA	317-706-6318
PROJECT ENGINEER	ALEX STEPHENS, PE	317-706-6379
DESIGN ASSOCIATE	SHANNON SHAW	317-706-6312
CAD DESIGNER	CALEB CHANCE	317-706-6325
QUALITY ASSURANCE	GARY MURRAY, PE, LEED AP	317-706-6310

COVER SHEET

FRANKLIN ANIMAL CLINIC

ALDERSON COMMERCIAL GROUP

2990 North Morton Street
Franklin, Indiana

CERTIFIED BY:

Date: 10-06-21

811 FOR CALLS IN INDIANA 1-800-382-5544

C. CHANCE

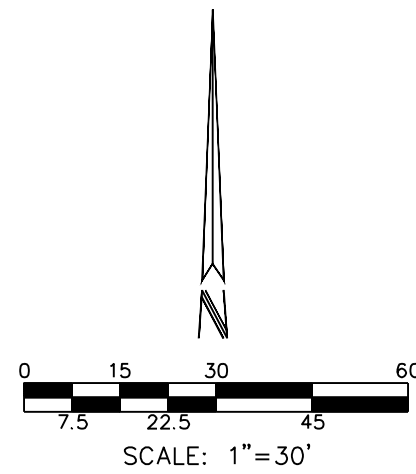
D. PELLOM, PLA

G. MURRAY, PE, LEED AP



Sheet: C001

Date: 10-06-21

Project Number: 210092-20000




DEMOLITION PLAN LEGEND

<p>SAWCUT AND REMOVE ASPHALT FROM SITE</p> 	<p>SAWCUT AND REMOVE CONCRETE FROM SITE</p> 
<p>— — — — — CONSTRUCTION LIMITS</p>	

DEMOLITION PLAN NOTES

1. UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK ASSOCIATED WITH THE ABANDONMENT, REMOVAL, RELOCATION AND/OR INSTALLATION OF UTILITIES WITH EVERY UTILITY COMPANY AND OBTAIN THEIR APPROVAL PRIOR TO PERFORMING ANY UTILITY WORK.
3. ALL DEMOLISHED MATERIAL TO BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED, AND SHALL BE LEGALLY DISPOSED OF OFF-SITE.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PER SHEET C401-C403 PRIOR TO COMMENCING DEMOLITION.
5. MAINTAIN PROPER DRAINAGE IN DEMOLITION AREAS.
6. SAWCUT CONCRETE AND ASPHALT SURFACES FOR REMOVAL AS NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ALL BUILDINGS AND/OR SITE ENTITIES THAT ARE TO REMAIN.
8. THE CONCRETE TO BE SAWCUT SHALL BE SAWCUT TO THE NEAREST CONCRETE JOINT BEYOND THE LIMITS ILLUSTRATED. NOTIFY ENGINEER IF JOINT IS OVER ONE (1) FOOT FROM LINE SHOWN.
9. REMOVAL OR RELOCATION OF ALL LANDSCAPING MUST BE COORDINATED WITH OWNER.
10. OVERHEAD AND/OR UNDERGROUND ELECTRIC AND TELEPHONE CABLES THAT ARE SHOWN TO BE ABANDONED IN PLACE MAY BE CUT AS NECESSARY TO FACILITATE NEW CONSTRUCTION. CONTRACTOR SHALL ENSURE THAT LINES ARE NOT ACTIVE PRIOR TO CUTTING AND OBTAIN UTILITY COMPANY APPROVAL PRIOR TO PERFORMING ANY DEMOLITION.
11. WATER LINES SHALL NOT BE ABANDONED OR DEMOLISHED UNTIL PROPOSED WATER MAINS HAVE BEEN INSTALLED TO A POINT SUCH THAT ONLY MINIMAL DISRUPTION IN WATER SERVICE TO THE EXISTING OCCUPIED BUILDINGS WILL OCCUR. CONTRACTOR TO COORDINATE ANY SERVICE SHUT DOWN WITH THE BUILDING OWNER AT LEAST 72 HOURS PRIOR TO SCHEDULING SHUT DOWN.
12. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
13. CONTRACTOR TO ESTABLISH NEW LOCAL SURVEY CONTROL SYSTEM (VERTICAL AND HORIZONTAL) PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. MANY TEMPORARY BENCHMARKS UTILIZED IN THE PREPARATION OF THE TOPOGRAPHIC SURVEY FOR THE DESIGN WILL BE RELOCATED AS PART OF CONSTRUCTION.

1	SAWCUT AND REMOVE CONCRETE CURB	
2	CURB TO REMAIN	
3	SAWCUT AND REMOVE ASPHALT AND GRANULAR SUBBASE	
4	MILL ASPHALT 1½ INCHES	
5	REMOVE GRAVEL DRIVEWAY	
6	PROTECT UTILITY DURING CONSTRUCTION	
7	REMOVE CONCRETE PAVEMENT	
8	REMOVE LIGHT POLE, WIRING, AND BASE COMPLETELY. DISPOSE.	
9	REMOVE TREES (SEE LANDSCAPE PLAN FOR TREES TO REMAIN)	
10	REMOVE CONCRETE SIDEWALK BACK TO NEAREST JOINT FROM LIMITS SHOWN ON PLANS	
11	REMOVE FENCE IN ITS ENTIRETY	

[illegible]

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ALDERSON COMMERCIAL GROUP
2990 North Morton Street
Franklin, Indiana


CERTIFIED BY:

Gary E. Murray

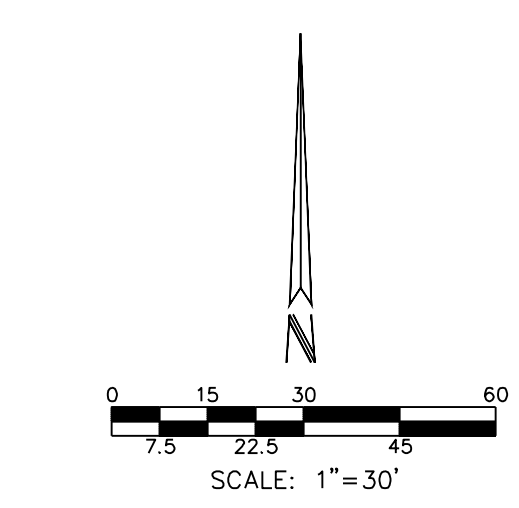
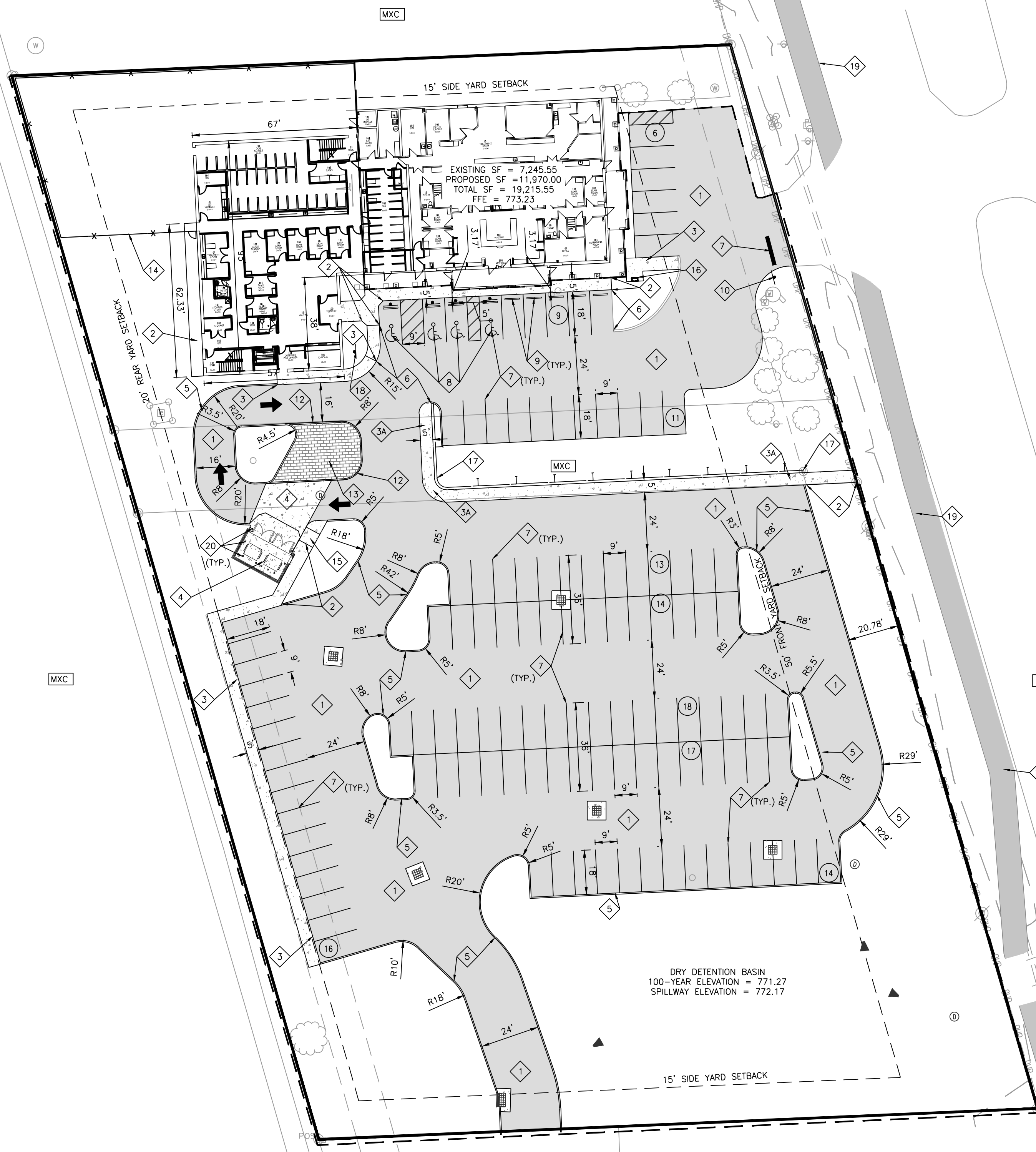


Date 10-06-21



Drawn By:
C. CHANCE
 Checked By:
D. PELLOM, PLA
 Quality Assurance:
G. MURRAY, PE, LEED AP
 Scale: 1" = XX'

 Sheet
C101
 Date
 10-06-21
 Project Number
 210092-20000

C:\2021\210092\20000\Cad\Eng\CD\ C201_Site Plan.dwg, October 7, 2021 12:12 PM, SHANNON SHAW, JR., © Paull J. Cripe, Inc.



ZONING SUMMARY:
PARKING AREA: 55,993.95 SF
REQUIRED GREEN SPACE: 2,799.69 SF (5.0%)
PROPOSED GREEN SPACE: 4,001.56 SF (7.14%)
PROPERTY AREA: 2.94 AC
MAXIMUM COVERAGE: 2.20 AC (75%)
PROPOSED COVERAGE: 1.79 AC (61%)
SITE INTERIOR PLANTING REQUIREMENTS
NEW OPEN AREA 31369.55/1500 = 21 TREES
REQUIRED PARKING =
1 SPACE PER EMPLOYEE ON LARGEST SHIFT = 25
1 SPACE PER 200 SF = 66
TOTAL REQUIRED PARKING = 91
PROPOSED PARKING = 118
1 BICYCLE PARKING/30 VEHICLE SPACES = 4

SITE PLAN LEGEND

PROPERTY LINE
EASEMENT LINE
RIGHT-OF-WAY
CONSTRUCTION LIMITS
FENCE
GUARD RAIL

BUILDING LIMITS
PARKING COUNT
BICYCLE ROUTE

FRANKLIN ZONING DISTRICT - MIXED USE: COMMUNITY CENTER
FRANKLIN ZONING DISTRICT - INDUSTRIAL GENERAL

SITE WORK GENERAL NOTES AND SPECIFICATIONS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND ANY OTHER REGULATORY AGENCIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY AND OBTAIN APPROVAL FROM EACH RESPECTIVE UTILITY COMPANY PRIOR TO PERFORMING ANY WORK ON OR IN THE VICINITY OF EXISTING UTILITIES, LINES AND APPURTENANCES.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT. FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK. IT IS RECOMMENDED THAT THE DEVELOPER HAVE A QUALIFIED INSPECTOR ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL QUANTITIES GIVEN ON THE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- IT IS ESSENTIAL THAT THE WORK TO BE COMPLETED IN CONJUNCTION WITH THIS PROJECT SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS. THE ENGINEER WILL BE REQUIRED TO CERTIFY TO CERTAIN PORTIONS OF THIS PROJECT UPON COMPLETION. THEREFORE, IT IS NECESSARY TO OBTAIN APPROVAL AND ACCEPTANCE BY THE CITY THAT CONSTRUCTION WAS COMPLETED IN COMPLIANCE WITH THESE PLANS AND SPECIFICATIONS.
- LOCATIONS & ELEVATIONS OF "FLOODWAY LIMITS" AND "100 YEAR FLOOD LIMITS" ARE SHOWN FOR REFERENCE ONLY. DEVELOPER/BUILDER/INDIVIDUAL LOT OWNER TO REFER TO NATIONAL FLOOD HAZARD INSURANCE MAP (F.E.M.A.) TO DETERMINE FLOOD HAZARD POTENTIAL PRIOR TO PROJECT CONSTRUCTION.

SITE PLAN NOTES

- ALL RADI AND STREET DIMENSIONS SHALL BE MEASURED TO THE FACE OF CURB AND FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS TO THE BUILDING ARE TO THE OUTSIDE OF BUILDING FOUNDATION WALL.
- ALL PAVEMENT AND/OR CURB RADI TO BE FIVE (5) FOOT UNLESS OTHERWISE NOTED.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. REFER TO RECORDED BOUNDARY SURVEYS, ALIAS AND SECONDARY PLATS FOR EXACT INFORMATION.
- ALL PARKING STALLS SHALL BE 9' X 18' WHERE ADJACENT TO SIDEWALK OR GRASS AREA. WHERE INTEGRAL CURB AND WALK IS ADJACENT TO A PARKING STALL, TWO (2) FEET OF SIDEWALK SHALL BE UTILIZED AS PARKING AREA OVERHANG. PARKING STALLS ARE DIMENSIONED TO THE FACE OF CURBS.
- REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION SHALL CONFORM TO APPLICABLE LOCAL STANDARDS.
- REFER TO UTILITY PLAN FOR SANITARY AND STORM STRUCTURE LOCATIONS.
- REFER TO SHEET C202 FOR DETAILS REFERENCED.
- ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

KEYNOTE LEGEND

1	LIGHT DUTY ASPHALT PAVEMENT SECTION	
2	CONCRETE SIDEWALK (LIMITS ILLUSTRATED MAY BE DIFFERENT AT SAWCUT LOCATIONS DUE TO EXISTING JOINT LOCATIONS AND DEMOLITION LIMITS).	
3	COMBINED WALK AND CURB (LIMITS ILLUSTRATED MAY BE DIFFERENT AT SAWCUT LOCATIONS DUE TO EXISTING JOINT LOCATIONS AND DEMOLITION LIMITS).	
3A	COMBINED WALK AND CURB AT GRADE (LIMITS ILLUSTRATED MAY BE DIFFERENT AT SAWCUT LOCATIONS DUE TO EXISTING JOINT LOCATIONS AND DEMOLITION LIMITS).	
4	DUMPSTER PAD	
5	CONCRETE STRAIGHT CURB	
6	CURB END TRANSITION	
7	PAVEMENT MARKINGS	
8	ACCESSIBLE PARKING SPACE WITH SIGN	
9	CONCRETE PARKING BUMPER	
10	STOP SIGN	
11	LIGHT POLE AND FOUNDATION (REFER TO ELECTRICAL PLANS)	
12	AT GRADE CURB	
13	CONCRETE UNIT PERVIOUS PAVERS--TRAFFIC RATED	
14	NEW FENCE	
15	ACCESSIBLE CURB RAMP ALONG CURVE	
16	BIKE RACK	
17	HORIZONTAL-SINGLE RAIL TURNED DOWN AT ENDS. PAINTED AND SEALED COLOR BLACK	
18	DO NOT ENTER SIGN	
19	FUTURE INDOT MULTI-USE PATH	
20	PROTECTIVE POST	

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SITE PLAN
FRANKLIN ANIMAL CLINIC
ALDERSON COMMERCIAL GROUP
2990 North Morton Street
Franklin, Indiana

CERTIFIED BY:
Gary E. Murray
GARY E. MURRAY
REGISTERED PROFESSIONAL ENGINEER
STATE OF INDIANA
No. 259074
Date: 10-06-21

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Scale: 1" = 30'

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C201
Date: 10-06-21
Project Number: 210092-20000

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

* COMPACTED SUBGRADE: THE UPPER 6" SHALL COMPLY WITH THE DENSITY REQUIREMENTS OF THE TECHNICAL SPECIFICATIONS IMMEDIATELY PRIOR TO PLACING THE MATERIAL THEREON. ALL SOFT, YIELDING OR OTHER UNSUITABLE MATERIAL, WHICH CANNOT BE COMPACTED SATISFACTORILY, SHALL BE REMOVED. ALL ROCK ENCOUNTERED SHALL BE REMOVED OR BROKEN OFF AT LEAST 6" BELOW THE SUBGRADE SURFACE. ANY HOLES OR DEPRESSIONS RESULTING FROM THE REMOVAL OF UNSUITABLE MATERIAL SHALL BE FILLED WITH SATISFACTORY MATERIAL AND COMPACTED TO CONFORM WITH THE SURROUNDING SUBGRADE SURFACE.

NOT TO SCALE

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SOLID WHITE PAVEMENT STRIPING LINES

4" SOLID WHITE LINE PAVEMENT MARKINGS:

THE UPPER 6" SHALL COMPLY WITH THE DENSITY REQUIREMENTS OF THE TECHNICAL SPECIFICATIONS IMMEDIATELY PRIOR TO PLACING THE MATERIAL THEREON. ALL SOFT, YIELDING OR OTHER UNSUITABLE MATERIAL, WHICH CANNOT BE COMPACTED SATISFACTORILY, SHALL BE REMOVED. ALL ROCK ENCOUNTERED SHALL BE REMOVED OR BROKEN OFF AT LEAST 6" BELOW THE SUBGRADE SURFACE. ANY HOLES OR DEPRESSIONS RESULTING FROM THE REMOVAL OF UNSUITABLE MATERIAL SHALL BE FILLED WITH SATISFACTORY MATERIAL AND COMPACTED TO CONFORM WITH THE SURROUNDING SUBGRADE SURFACE.

NOTE: ONE IN SIX ACCESSIBLE SPACES SHALL BE VAN ACCESSIBLE, BUT NOT LESS THAN ONE. SURFACE GRADE SHALL BE 1:48 OR FLATTER

NOT TO SCALE

Design Notes

1. Depth of subbase subject to site specific hydraulic and structural requirements. Contact Belgard Commercial for design assistance.
2. Paver dimensions subject to aspect and plan ratio requirements based on traffic loading.
3. Geotechnical engineer needs to balance structural stability and soil infiltration when recommending subgrade conditions.
4. Elevation of horizontal discharge pipe(s) subject to storage reservoir requirements. Ensure proper cover over the horizontal pipes.
5. Where the filtration geotextile is used, verify with the manufacturer that the material is not subject to clogging and meets requirements of AASHTO M-288
6. ASTM No. 2 stone may be substituted with No. 3 or No. 4 stone.
7. Strictly pedestrian applications may substitute base/subbase layers with one 6" base layer of ASTM No. 57 stone.



belgardcommercial.com
877-235-4273
details@belgard.com

This drawing is for illustrative purposes only and should not be used for construction without the signature of a registered professional engineer.

Belgard Permeable Paving Detail
PICP Pavement w/ Underdrain

Scale: N.T.S.	Drawn by: MAH
Date: 5/7/18	Drawing number: PICP 2

SITE DETAILS

FRANKLIN ANIMAL CLINIC


WALDERSON COMMERCIAL GROUP

2990 North Morton Street
Franklin, Indiana

SITE DETAILS

CERTIFIED BY

Gary E. Murray



Date 10-06-20



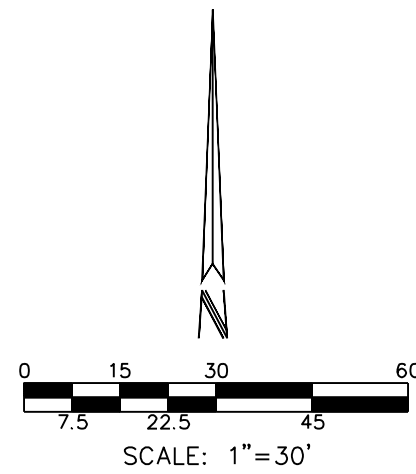
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Checked By:
D. PELLUM, PLA

Quality Assurance:
G. MURRAY, PE, LEED AP
Scale: 1" = N/A

Sheet **C202**

Date	10-06-21
Project Number	210092-20000



1. UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. PHOTOGRAPHIC AND PLUMETRIC INFORMATION FROM PHOTOGRAPHIC COMPILATION HAS BEEN PROVIDED BY TOPOGHANS. THEIR ACCURACY HAS NOT BEEN CONFIRMED BY CRIPF. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD.
3. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
4. RM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
5. BUILDING PAD AREAS AND PAVED AREAS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AS COMPACTED PER SPECIFICATIONS. ALL FILL AREAS SHALL BE STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
6. ANY EXCESS SOIL MATERIAL SHALL BE EXPORTED FROM THE SITE AFTER CONSTRUCTION IS COMPLETED.
7. TOPSOIL SHALL BE PLACED IN LAWN, LANDSCAPE, MOUNDING AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF MASS EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR TO SIX (4 TO 6) INCHES IN AREAS LISTED ABOVE. TOPSOIL SHALL NOT BE UTILIZED AS STRUCTURAL FILL IN PAVED AREAS.
8. CONTRACTOR SHALL PRESERVE EXISTING TREES WHEREVER POSSIBLE. CLEARING LIMITS SHALL CONSIST OF ALL TREES WITHIN PAVED AREAS, UTILITY INSTALLATION LIMITS, AND CUT/FILL AREAS.
9. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED FOR THIS PROJECT. CONTRACTOR TO PERFORM A SITE VISIT PRIOR TO PROJECT BID. THE ENGINEER HAS BASED RECOMMENDATIONS UPON MNC'S MAPS AND GENERAL KNOWLEDGE OF SOILS CONDITIONS IN THE AREA.
10. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

National Flood Hazard Layer FIREMette

Map of National Flood Hazard Layer (NFHL) for the FireMette area. The map shows various flood hazard zones and land use. Key features include:

- Special Flood Hazard Areas:**
 - Littoral Flood Hazard Areas:** Areas with a high potential for flooding from storm surge and coastal erosion.
 - Coastal Flood Hazard Areas:** Areas with a high potential for flooding from storm surge and coastal erosion.
 - Riverine Flood Hazard Areas:** Areas with a high potential for flooding from riverine sources.
 - Other Special Flood Hazard Areas:** Areas with a high potential for flooding from other sources.
- Other Special Flood Hazard Areas:**
 - Riverine Flood Hazard Areas:** Areas with a high potential for flooding from riverine sources.
- Special Structures:**
 - Critical Structures:** Structures that are critical to the community and require special protection.
- Flood Planning:**
 - Floodplain:** The area that is subject to flooding.

The map includes a scale bar (0 to 16,000 feet) and a north arrow. The map is dated 2019-07-24.

SANITARY MANHOLE /
TC = 772.79
INV 8" PVC N = 763.74
INV 8" PVC S = 763.69

O:\2021\210092\20000\Cad\Engr\CDs\C301_Grading Plan.dwg, October 7, 2021 1:37 AM, SHANNON SHAW, JR., © Paul I. Cripe, Inc.

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GRADING PLAN

FRANKLIN ANIMAL CLINIC

ALDERSON COMMERCIAL GROUP

2990 North Morton Street
Franklin, Indiana

CERTIFIED BY:

Gary E. Murrain



Date 10-06-21




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C. CHANCE

Checked By:
D. FELLOW, PLA

Quality Assurance:
G. MURRAY, PE, LEED AP

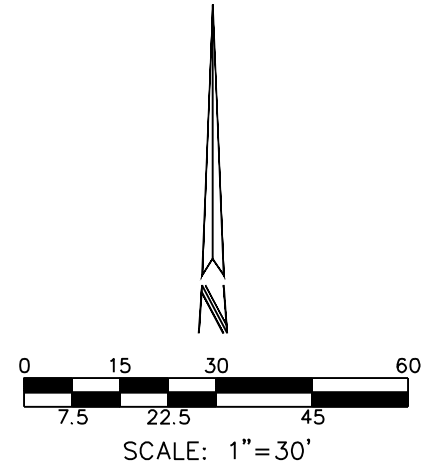
Scale: 1" = 30'



Sheet
C301

Date
10-06-21

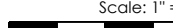
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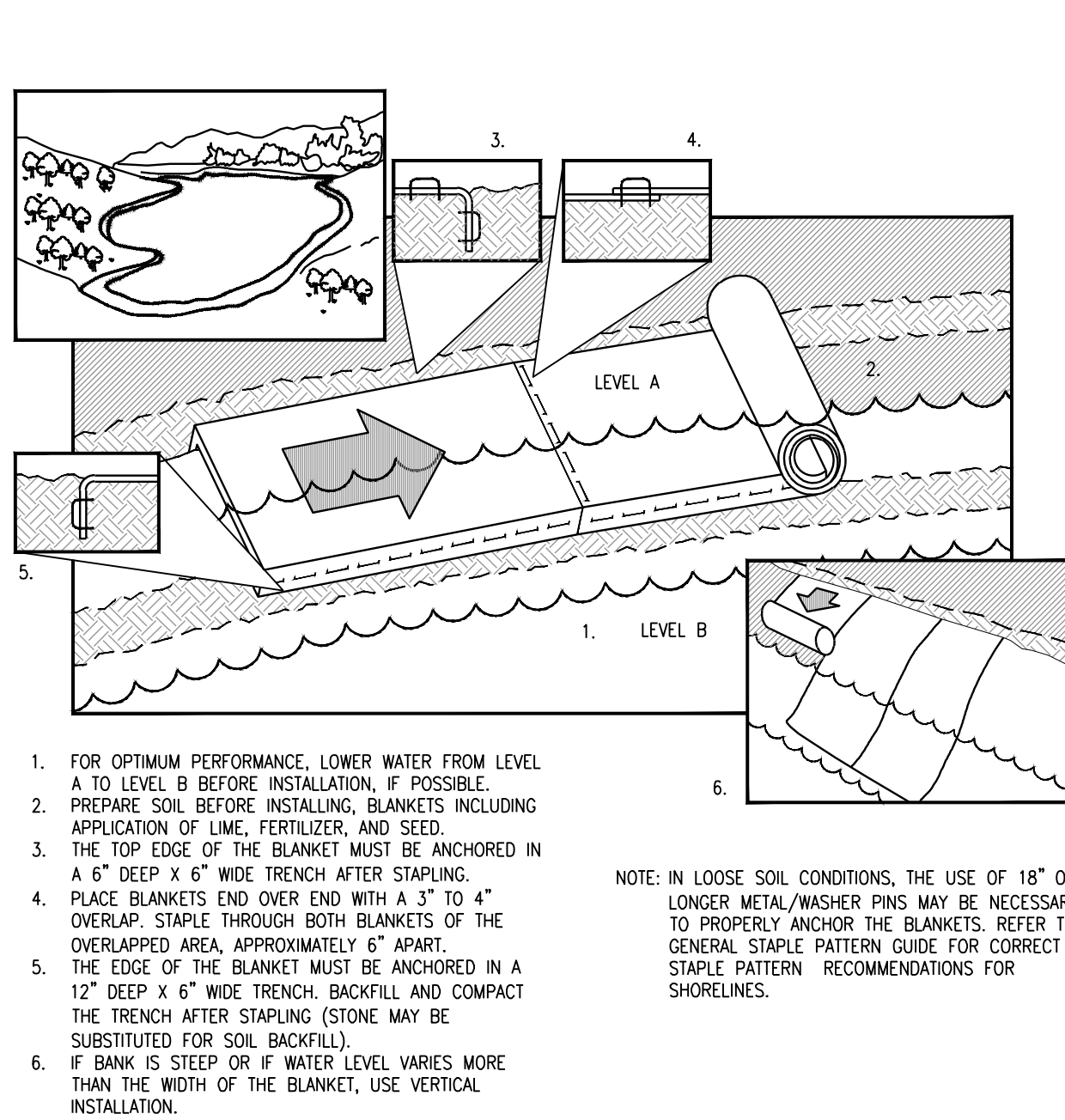
STORMWATER POLLUTION PREVENTION PLAN NOTES

- ## STORMWATER POLLUTION PREVENTION PLAN SEQUENCE AND IMPLEMENTATION

3. INSTALL CONSTRUCTION FENCING AND GATES IF REQUIRED.
2. INSTALL SILT FENCING. DUST SHALL BE KEPT TO A MINIMUM BY UTILIZING SPRINKLING WATER OR OTHER APPROVED METHODS.
3. IDENTIFY CONSTRUCTION STAGING AREA, CONCRETE WASHOUT AREAS, MATERIAL STORAGE AND TOPSOIL STOCKPILE AREAS. EACH AREA SHALL BE PROPERLY PROTECTED AND DELINEATED PRIOR TO CONSTRUCTION.
4. THE IDEM NOI, IF REQUIRED, AND CONTACT INFORMATION FOR THE PERSON WITH ONSITE RESPONSIBILITIES MUST BE POSTED ONSITE.
5. IDEM AND THE LOCAL CITY AGENCY MUST BE NOTIFIED WITHIN 48 HOURS OF COMMENCING CONSTRUCTION.
6. CONTACT INDIANA UNDERGROUND PLANNED PROTECTION SYSTEMS, INC. ("INDIANA 811") FOR UNDERGROUND UTILITY LOCATIONS. (1-800-382-5544).
7. BEFORE OPENING UP THE SITE, FIRST EVALUATE, MARK AND PROTECT IMPORTANT TREES AND ASSOCIATE ROOT RAZES. UNIMPORTANT TREES TO BE PRESERVED (I.E. WETLANDS), STREAMS, LAKES OR EXISTING VEGETATION SUITABLE FOR USE AS FILTER STRIPS (ESPECIALLY IN PERIMETER AREAS).
8. FIRST, STRIP AND STOCKPILE TOPSOIL ON-SITE.
9. BEGIN MASS EARTHWORK FOR PROPOSED IMPROVEMENTS.
10. REPAIR ANY SILT FENCING IF DAMAGED. IF SILT IS 1/3 HEIGHT OF FABRIC, REMOVE SILT AND REPLACE TO ORIGINAL CONDITION.
11. IMMEDIATELY AFTER GRADING, APPLY SURFACE STABILIZATION PRACTICES ON ALL GRADED AREAS, USING PERMANENT MEASURES IN ACCORDANCE WITH THE EROSION CONTROL PLAN. HOWEVER, IF WEATHER DELAYS PERMANENT STABILIZATION, TEMPORARY SEEDING AND/OR MULCHING MAY BE NECESSARY AS A PRELIMINARY MEASURE. ALSO STABILIZE (USING TEMPORARY SEEDING/MULCHING OR OTHER SUITABLE MEANS) ANY DISTURBED AREA WHERE ACTIVE CONSTRUCTION WILL NOT TAKE PLACE FOR 15 WORKING DAYS.
12. AFTER CONSTRUCTION AND FINAL GRADING, PERMANENTLY STABILIZE ALL DISTURBED AREAS. ALSO REMOVE TEMPORARY RUNOFF CONTROL STRUCTURES, ANY UNSTABLE SEDIMENT AROUND THEM, AND STABILIZE THOSE AREAS WITH PERMANENT SEEDING AND EROSION CONTROL BLANKET IF NECESSARY.
13. MAINTAIN ALL EROSION AND SEDIMENT CONTROL PRACTICES UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

Drawn By: C. CHANCE
Checked By: D. PELLOM, PLA
Quality Assurance: G. MURRAY, PE, LEED AP
Scale: 1" = 30' 
Sheet C401
Date 10-06-21
Project Number 210092-20000

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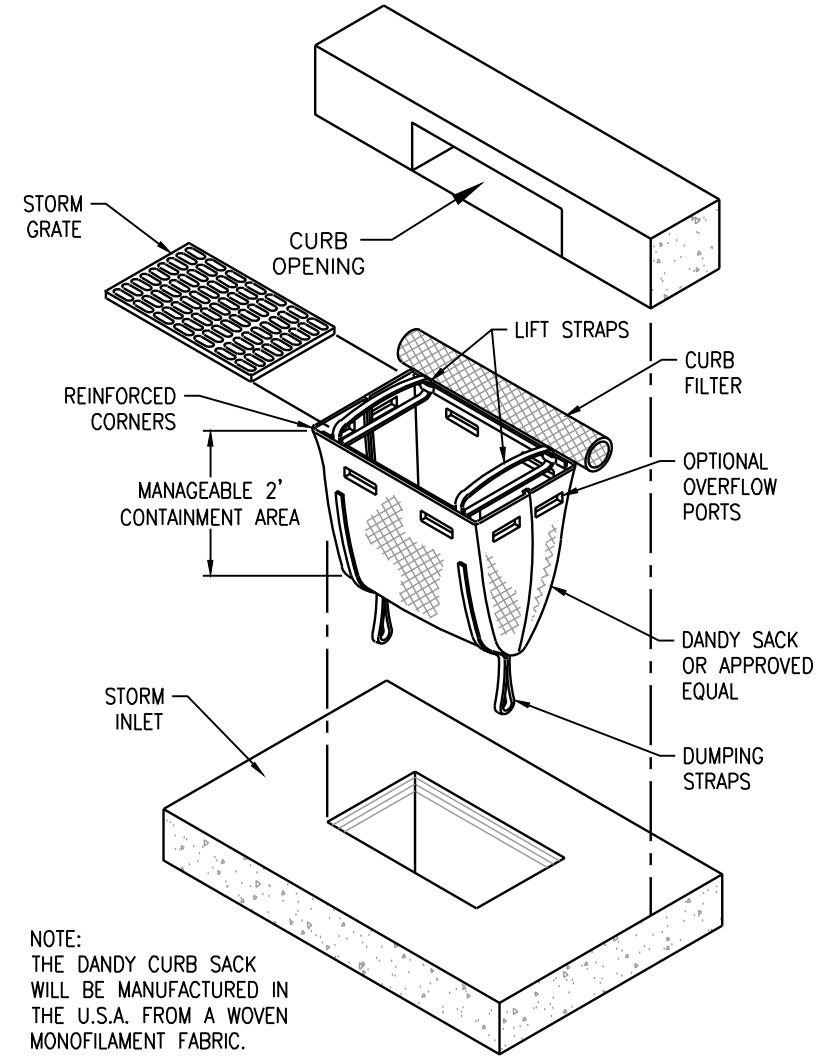


1. FOR OPTIMUM PERFORMANCE, LOWER WATER FROM LEVEL A TO LEVEL B BEFORE INSTALLATION, IF POSSIBLE.
2. PREPARE SOIL BEFORE INSTALLING, BLANKETS INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
3. THE TOP EDGE OF THE BLANKET MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH AFTER STAPLING.
4. PLACE BLANKETS END OVER END WITH A 3" TO 4" OVERLAP. STAPLE THROUGH BOTH BLANKETS OF THE OVERLAPPED AREA, APPROXIMATELY 6" APART.
5. THE EDGE OF THE BLANKET MUST BE ANCHORED IN A 12" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING (STONE MAY BE SUBSTITUTED FOR SOIL BACKFILL).
6. IF BANK IS STEEP OR IF WATER LEVEL VARIES MORE THAN THE WIDTH OF THE BLANKET, USE VERTICAL INSTALLATION.

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF 18" OR LONGER METAL/WASHER PINS MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS. REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SHORELINES.

EROSION CONTROL BLANKET (SHORELINE INSTALLATION GUIDE)

NOT TO SCALE



NOTE: THE DANDY CURB SACK WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC.

INSTALLATION

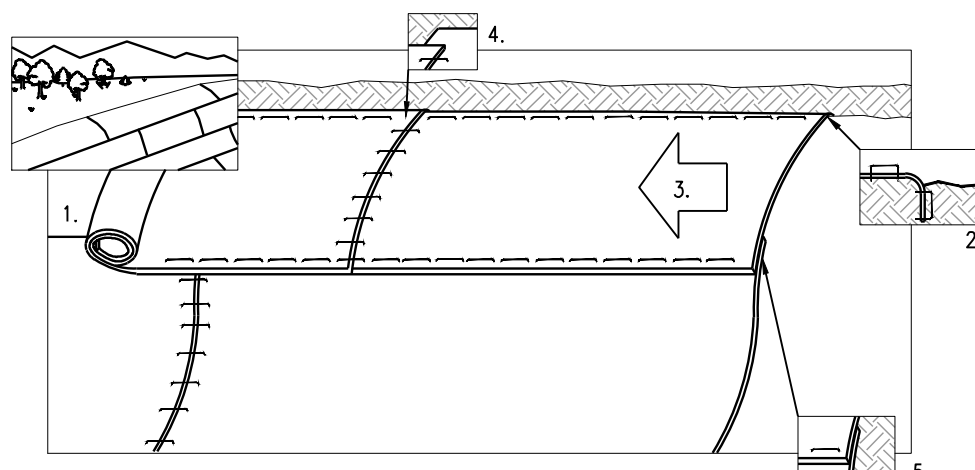
1. REMOVE THE GRATE FROM THE CATCH BASIN.
2. IF USING OPTION OIL ABSORBENTS, PLACE ABSORBENT PILLION IN UNIT.
3. STAND THE GRATE ON END, MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY SACK SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS.
4. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.
5. MAKE SURE THE CYLINDRICAL PORTION IS UP AGAINST THE CURB OPENING TO PREVENT SILT AND DEBRIS FROM ENTERING THE INLET.

MAINTENANCE

- INSPECT DAILY.
- REMOVE ALL ACCUMULATED SEDIMENT AFTER EACH STORM EVENT. DISPOSE OF SEDIMENT IN AN AREA WHERE IT WILL NOT REENTER THE PAVED AREA OR STORM DRAINS. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET BY USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION. CONTACT: 708-867-8446.
- WHEN CONTRIBUTING DRAINAGE AREA HAD BEEN STABILIZED, REMOVE INLET PROTECTION.

INSERT (BAG) CURB INLET PROTECTION WITH CURB FILTER

NOT TO SCALE

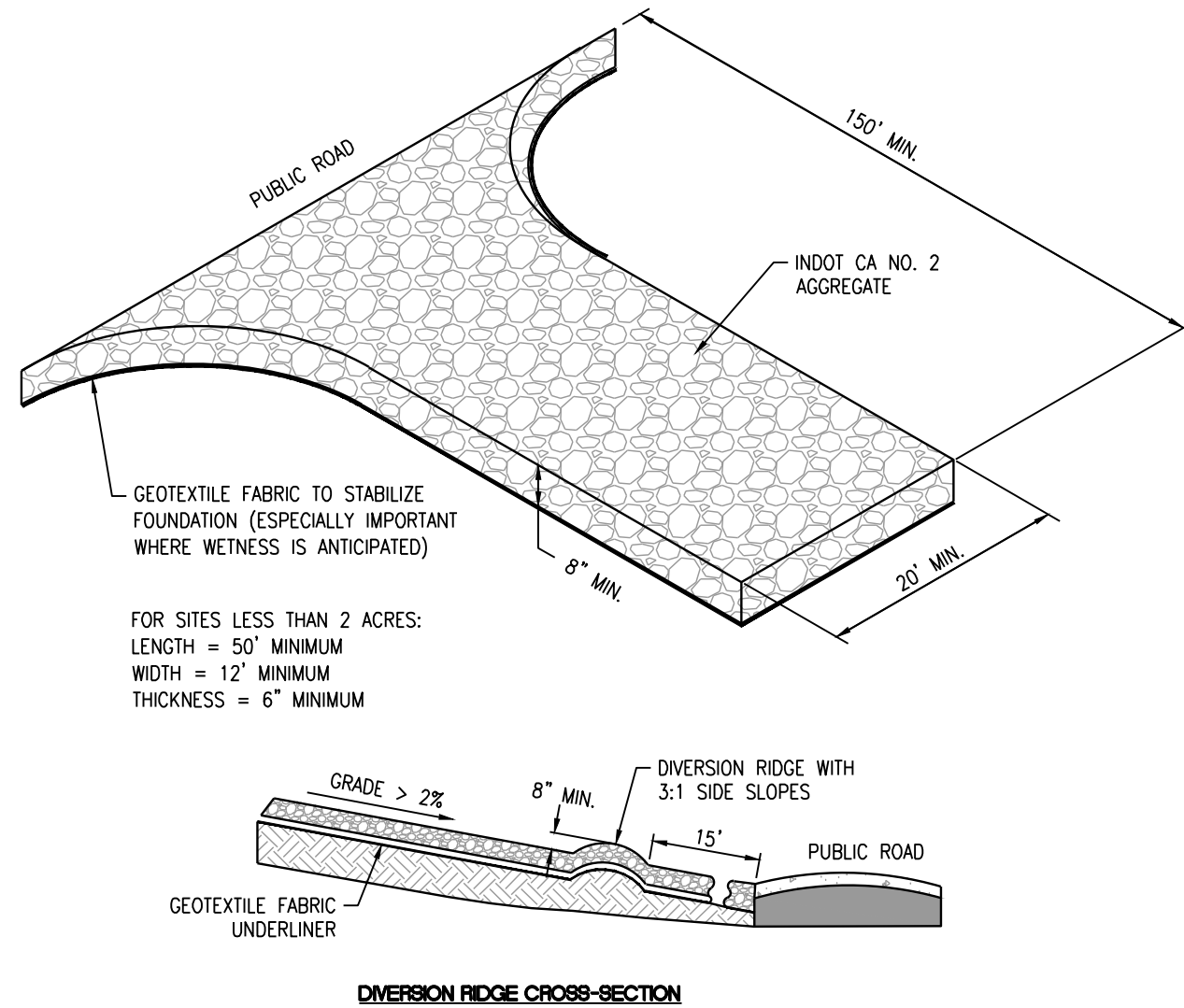


1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY SPECIFIED APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS ACROSS THE SLOPE PERPENDICULAR TO THE DIRECTION OF WATER FLOW.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 6" OVERLAP (8" OVERLAP ON INDOT PROJECTS).
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROX. 12" APART.

REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS.

EROSION CONTROL BLANKET (SLOPE INSTALLATION GUIDE)

NOT TO SCALE



FOR SITES LESS THAN 2 ACRES:
LENGTH = 50' MINIMUM
WIDTH = 12' MINIMUM
THICKNESS = 6" MINIMUM

INSTALLATION

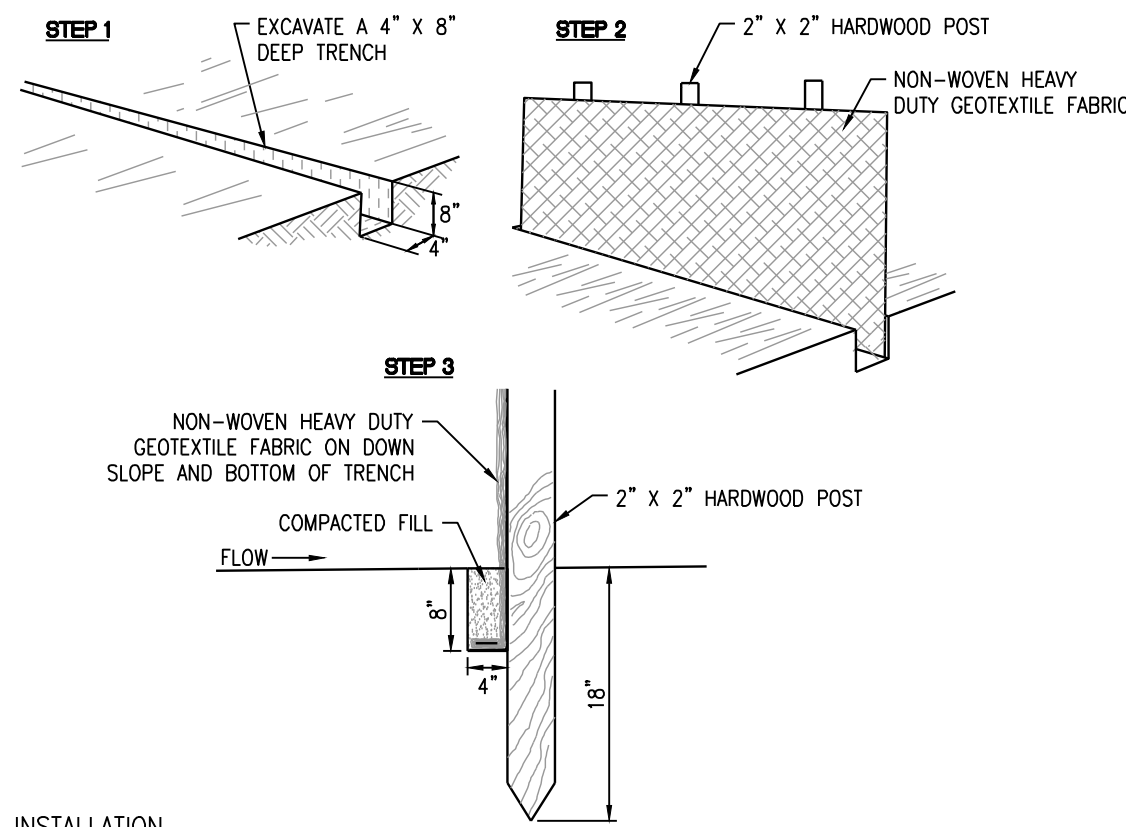
1. REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA.
2. GRADE FOUNDATION AND CROWN FOR POSITIVE DRAINAGE. IF THE SLOPE OF THE CONSTRUCTION ENTRANCE IS TOWARD A PUBLIC ROAD AND EXCEEDS TWO PERCENT, CONSTRUCT AN EIGHT INCH HIGH DIVERSION RIDGE WITH A RATIO OF 3:1 SIDE SLOPES ACROSS THE FOUNDATION AREA ABOUT 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE ROAD.
3. INSTALL A CULVERT PIPE UNDER THE PAD IF NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.
4. IF WET CONDITIONS ARE ANTICIPATED, PLACE GEOTEXTILE FABRIC ON THE GRADED FOUNDATION TO IMPROVE STABILITY.
5. PLACE AGGREGATE (INDOT CA NO. 2) TO THE DIMENSIONS AND GRADE SHOWN IN THE CONSTRUCTION PLANS, LEAVING THE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
6. TOP-DRESS THE FIRST 50 FEET ADJACENT TO THE PUBLIC ROADWAY WITH TWO TO THREE INCHES OF WASHED AGGREGATE (INDOT CA NO. 53) [OPTIONAL, USED PRIMARILY WHERE THE PURPOSED OF THE PAD IS KEEP SOIL FROM ADHERING TO VEHICLE TIRES].
7. WHERE POSSIBLE, DIVERT ALL STORM WATER RUNOFF AND DRAINAGE FROM THE INGRESS/EGRESS PAD TO A SEDIMENT TRAP OR BASIN.

MAINTENANCE

- INSPECT DAILY.
- RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
- TOP DRESS WITH CLEAN AGGREGATE AS NEEDED.
- IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS.
- FLUSHING SHOULD ONLY BE USED IF THE WATER CAN BE CONVEYED INTO A SEDIMENT TRAP OR BASIN.

TEMPORARY CONSTRUCTION DRIVE

NOT TO SCALE



INSTALLATION

1. LAY OUT THE LOCATION OF THE FENCE SO THAT IT IS PARALLEL TO THE CONTOUR OF THE SLOPE AND AT LEAST 10 FEET BEYOND THE TOP OF THE SLOPE TO PROVIDE A SEDIMENT STORAGE AREA. TURN THE ENDS OF THE FENCE UP SLOPE SUCH THAT THE POINT OF CONTACT BETWEEN THE GROUND AND THE BOTTOM OF THE FENCE END TERMINATES AT A HIGHER ELEVATION THAN THE TOP OF THE FENCE AT ITS LOWEST POINT.
2. EXCAVATE AN EIGHT-INCH DEEP BY FOUR-INCH WIDE TRENCH ALONG THE ENTIRE LENGTH OF THE FENCE LINE. INSTALLATION BY PLOWING IS ALSO ACCEPTABLE.
3. INSTALL THE SILT FENCE WITH THE FILTER FABRIC LOCATED ON THE UP-SLOPE SIDE OF THE EXCAVATED TRENCH AND THE SUPPORT POSTS ON THE DOWN-SLOPE SIDE OF THE TRENCH.
4. DRIVE THE SUPPORT POSTS AT LEAST 18 INCHES INTO THE GROUND, TIGHTLY STRETCHING THE FABRIC BETWEEN THE POSTS AS EACH IS DRIVEN INTO THE SOIL. A MINIMUM OF 12 INCHES OF THE FILTER FABRIC SHOULD EXTEND INTO THE TRENCH.
5. LAY THE LOWER FOUR INCHES OF FILTER FABRIC ON THE BOTTOM OF THE TRENCH AND EXTEND IT TOWARD THE UP-SLOPE SIDE OF THE TRENCH.
6. BACKFILL THE TRENCH WITH SOIL MATERIAL AND COMPACT IT IN PLACE.

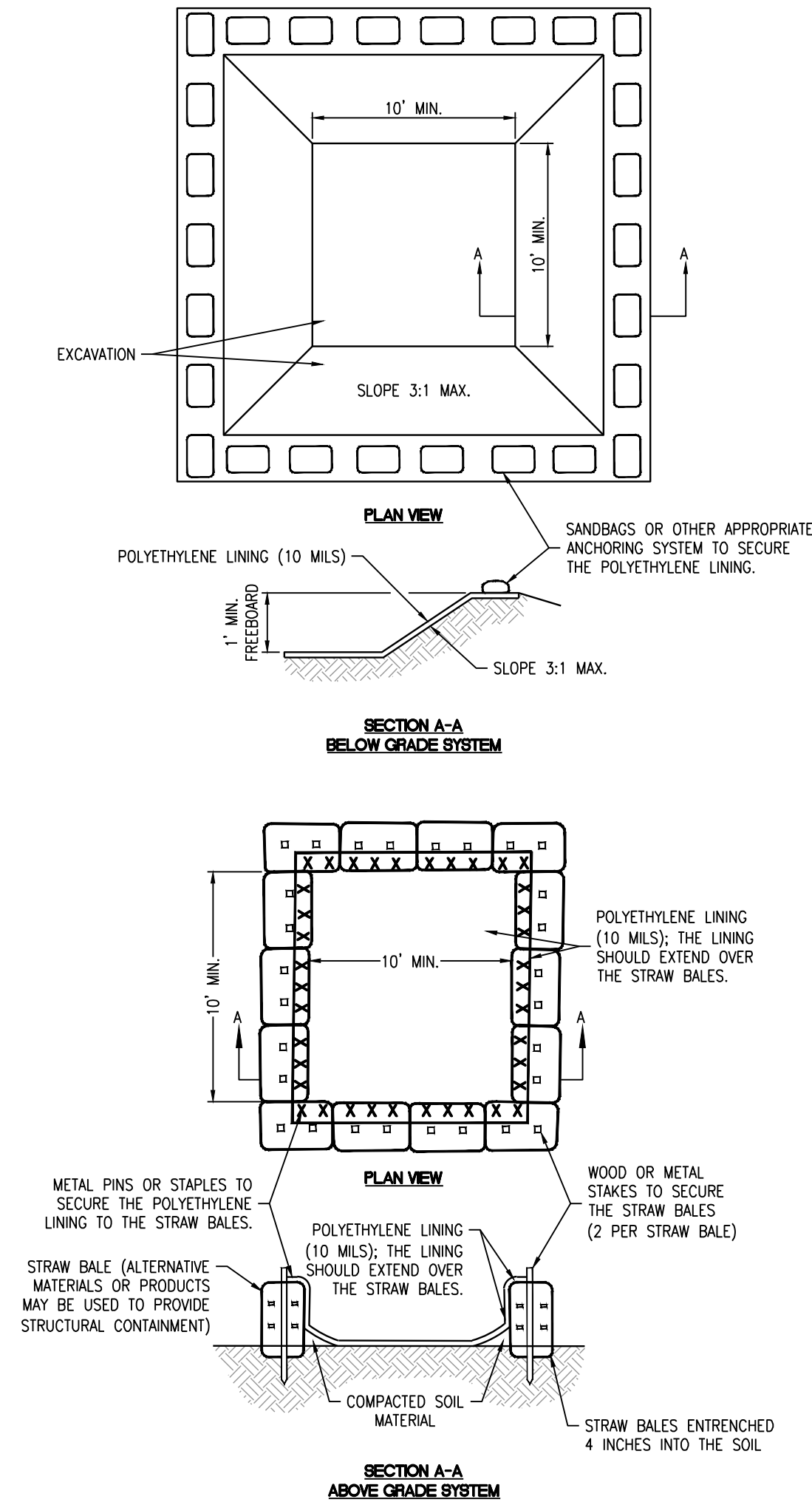
NOTE: IF THE SILT FENCE IS BEING CONSTRUCTED ON-SITE, ATTACH THE FILTER FABRIC TO THE SUPPORT POSTS AND ATTACH WOODEN LATHE TO SECURE THE FABRIC TO THE POSTS. ALLOW FOR AT LEAST 12 INCHES OF FABRIC BELOW GROUND LEVEL. COMPLETE THE SILT FENCE INSTALLATION, FOLLOWING STEPS 1 THROUGH 6 ABOVE.

MAINTENANCE

- INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
- IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY. NOTE: ALL REPAIRS SHOULD MEET SPECIFICATIONS AS OUTLINED WITHIN THIS MEASURE.
- REMOVE DEPOSITED SEDIMENT WHEN IT IS CAUSING THE FILTER FABRIC TO BULGE OR WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT. WHEN CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, GRADE THE SITE TO BLEND WITH THE SURROUNDING AREA, AND STABILIZE.

SILT FENCE BARRIER INSTALLATION

NOT TO SCALE



INSTALLATION

PREFABRICATED WASHOUT SYSTEMS/CONTAINERS

- INSTALL AND LOCATE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

DESIGNED AND INSTALLED SYSTEMS

- UTILIZE AND FOLLOW THE DESIGN IN THE STORM WATER POLLUTION PREVENTION PLAN TO INSTALL THE SYSTEM.
- DEPENDENT UPON THE TYPE OF SYSTEM, EITHER EXCAVATE THE PIT OR INSTALL THE CONTAINMENT SYSTEM.
- A BASE SHALL BE CONSTRUCTED AND PREPARED THAT IS FREE OF ROCKS AND OTHER DEBRIS THAT MAY CAUSE TEARS OR PUNCTURES IN THE POLYETHYLENE LINING.
- INSTALL THE POLYETHYLENE LINING. FOR EXCAVATED SYSTEMS, THE LINING SHOULD EXTEND OVER THE ENTIRE EXCAVATION. THE LININGS SHOULD BE INSTALLED OVER THE POOLING AREA WITH ENOUGH MATERIAL TO EXTEND THE LINING OVER THE BERM OR CONTAINMENT SYSTEM. THE LINING SHOULD BE SECURED WITH PINS, STAPLES, OR OTHER FASTENERS.
- PLACE FLAGS, SAFETY FENCING, OR EQUIVALENT TO PROVIDE A BARRIER TO CONSTRUCTION EQUIPMENT AND OTHER TRAFFIC.
- PLACE A NON-COLLAPSING, NON-WATER HOLDING COVER OVER THE WASHOUT FACILITY PRIOR TO A PREDICTED RAINFALL EVENT TO PREVENT ACCUMULATION OF WATER AND POSSIBLE OVERFLOW OF THE SYSTEM (OPTIONAL).
- INSTALL SIGNAGE THAT IDENTIFIES CONCRETE WASHOUT AREAS.
- POST SIGNS DIRECTING CONTRACTORS AND SUPPLIERS TO DESIGNATED LOCATIONS.
- WHERE NECESSARY, PROVIDE STABLE INGRESS AND EGRESS OR ALTERNATIVE APPROACH PAD FOR CONCRETE WASHOUT SYSTEMS.

MAINTENANCE

- INSPECT DAILY AND AFTER EACH STORM EVENT.
- INSPECT THE INTEGRITY OF THE OVERALL STRUCTURE INCLUDING, WHERE APPLICABLE, THE CONTAINMENT SYSTEM.
- INSPECT THE SYSTEM FOR LEAKS, SPILLS, AND TRACKING OF SOIL BY EQUIPMENT.
- INSPECT THE POLYETHYLENE LINING FOR FAILURE, INCLUDING TEARS AND PUNCTURES.
- ONCE CONCRETE WASTES HARDEN, REMOVE AND DISPOSE OF THE MATERIAL.
- EXCESS CONCRETE SHOULD BE REMOVED WHEN THE WASHOUT SYSTEM REACHES 50 PERCENT OF THE DESIGN CAPACITY. USE OF THE SYSTEM SHOULD BE DISCONTINUED UNTIL APPROPRIATE MEASURES CAN BE INITIATED TO CLEAN THE STRUCTURE. PREFABRICATED SYSTEMS SHOULD ALSO UTILIZE THIS CRITERION, UNLESS THE MANUFACTURER HAS ALTERNATE SPECIFICATIONS.
- UPON REMOVAL OF THE SOLIDS, INSPECT THE STRUCTURE. REPAIR THE STRUCTURE AS NEEDED OR CONSTRUCT A NEW SYSTEM.
- DISPOSE OF ALL CONCRETE IN A LEGAL MANNER, REUSE THE MATERIAL ON SITE, RECYCLE, OR HAUL THE MATERIAL TO AN APPROVED CONSTRUCTION/DEMOLITION LANDFILL SITE. RECYCLING OF MATERIAL IS ENCOURAGED. THE WASTE MATERIAL CAN BE USED FOR MULTIPLE APPLICATIONS INCLUDING BUT NOT LIMITED TO ROADBEDS AND BUILDINGS. THE AVAILABILITY FOR RECYCLING SHOULD BE CHECKED LOCALLY.
- THE PLASTIC LINER SHOULD BE REPLACED AFTER EVERY CLEANING; THE REMOVAL OF MATERIAL WILL USUALLY DAMAGE THE LINING.
- THE CONCRETE WASHOUT SYSTEM SHOULD BE REPAIRED OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE.
- CONCRETE WASHOUT SYSTEMS ARE DESIGNED TO PROMOTE EVAPORATION. HOWEVER, IF THE LIQUIDS DO NOT EVAPORATE AND THE SYSTEM IS NEAR CAPACITY IT MAY BE NECESSARY TO VACUUM OR REMOVE THE LIQUIDS AND DISPOSE OF THEM IN AN ACCEPTABLE METHOD. DISPOSAL MAY BE ALLOWED AT THE LOCAL SANITARY SEWER AUTHORITY PROVIDED THEIR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMITS ALLOW FOR ACCEPTANCE OF THIS MATERIAL. ANOTHER OPTION WOULD BE TO UTILIZE A SECONDARY CONTAINMENT SYSTEM OR BASIN FOR FURTHER DEWATERING.
- PREFABRICATED UNITS ARE OFTEN PUMPED AND THE COMPANY SUPPLYING THE UNIT PROVIDES THIS SERVICE.
- INSPECT CONSTRUCTION ACTIVITIES ON A REGULAR BASIS TO ENSURE SUPPLIERS, CONTRACTORS, AND OTHERS ARE UTILIZING DESIGNATED WASHOUT AREAS. IF CONCRETE WASTE IS BEING DISPOSED OF IMPROPERLY, IDENTIFY THE VIOLATORS AND TAKE APPROPRIATE ACTION.
- WHEN CONCRETE WASHOUT SYSTEMS ARE NO LONGER REQUIRED, THE CONCRETE WASHOUT SYSTEMS SHALL BE CLOSED, DISPOSED OF ALL HARDENED CONCRETE AND OTHER MATERIALS USED TO CONSTRUCT THE SYSTEM.
- HOLES, DEPRESSIONS AND OTHER LAND DISTURBANCES ASSOCIATED WITH THE SYSTEM SHOULD BE BACKFILLED, GRADED, AND STABILIZED.

CONCRETE WASHOUT

NOT TO SCALE

Revisions	By	Date	Description

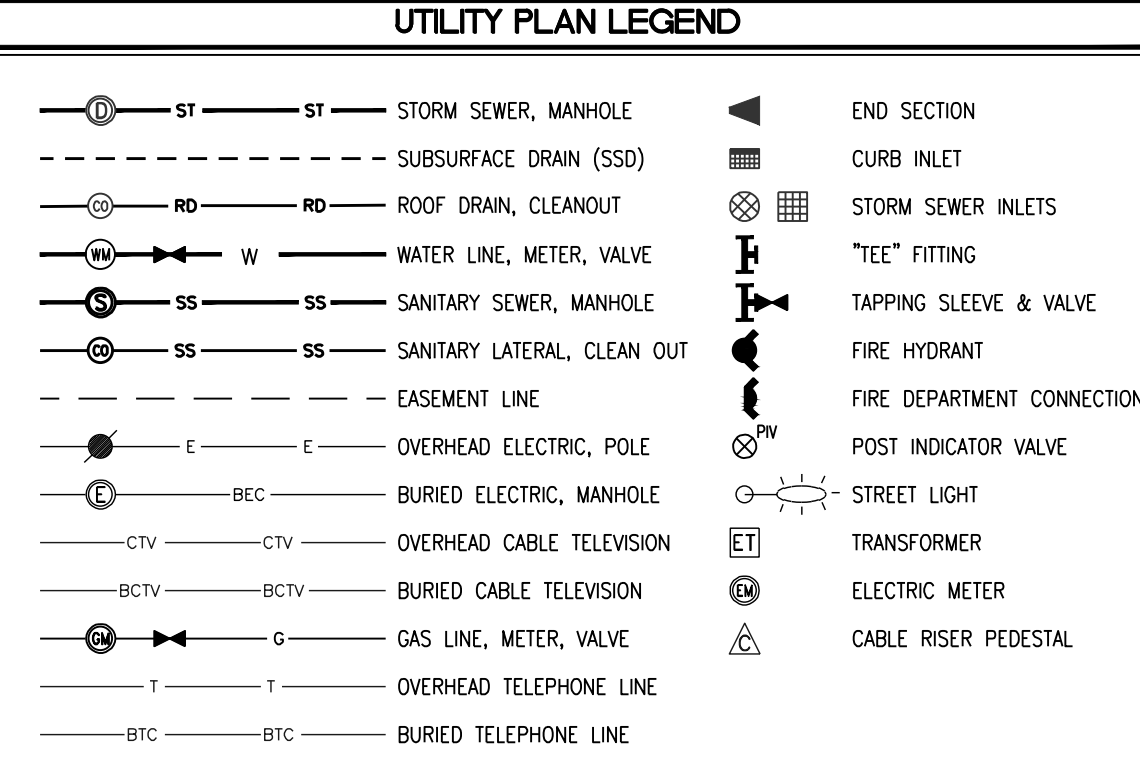
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STORMWATER POLLUTION PREVENTION DETAILS
FRANKLIN ANIMAL CLINIC
ALDERSON COMMERCIAL GROUP
2990 North Morton Street
Franklin, Indiana

CERTIFIED BY:
Gary E. Murphy
Professional Engineer
Date: 10-06-21

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C. CHANCE
Checked By:
D. PELLOM, P.E.
Quality Assurance:
G. MURPHY, P.E. LEED AP
Sheet: C402
Date: 10-06-21
Project Number: 210092-20000



- ### UTILITY PLAN NOTES:
1. SEE ARCHITECTURAL PLUMBING PLANS FOR PLUMBING DETAILS TO AREAS FIVE (5) FEET OUTSIDE AND INSIDE OF THE PROPOSED STRUCTURE.
 2. SITE CONTRACTOR TO VERIFY ALL BUILDING LATERALS WITH PLUMBING DRAWINGS PRIOR TO CONSTRUCTION.
 3. SITE UTILITY CONTRACTOR TO VERIFY BUILDING CONNECTION LOCATIONS AND ELEVATIONS WITH MEP AND ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
 4. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 5. RIM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
 6. WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH "TEN STATE STANDARDS" AND LOCAL CODES.
 7. WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
 8. PLASTIC WATER LINES SHALL BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
 9. ALL SUB-SURFACE DRAIN (SSD) SHALL BE 6" PERFORATED DUAL WALL HDPE UNLESS NOTED OTHERWISE.
 10. INVERT ELEVATION OF SUB-SURFACE DRAIN (SSD) AT STRUCTURE TO BE THREE (3) FEET BELOW RIM ELEVATION.
 11. REFER TO SHEET C502 FOR BACKFILL REQUIREMENTS FOR ALL UTILITIES.
 12. REFER TO SHEET C902 FOR SANITARY SEWER DETAILS.
 13. REFER TO SHEETS C702 THRU C703 FOR STORM SEWER DETAILS.
 14. REFER TO SHEET C502 FOR ALL OTHER UTILITY DETAILS.
 15. SEE STRUCTURE DATA TABLE DETAIL ON SHEET C703 FOR STRUCTURE AND CASTING TYPE AND SIZE.
 16. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

- ## KEYNOTE LEGEND
- | | |
|---|--|
| 1 | INSTALL 6" TAPPING SLEEVE AND GATE VALVE ON EXISTING XX" DUCTILE IRON WATER MAIN |
| 2 | 6" DOMESTIC WATER SERVICE LINE (C900 PVC) |
| 3 | 6" C900 PVC FIRE PROTECTION LINE |
| 4 | 4" DOMESTIC WATER SERVICE (C900 PVC) |
| 5 | 6" x 6" x 4" TEE |
| 6 | FIRE DEPARTMENT CONNECTION (REFER TO PLUMBING PLANS FOR DETAIL AND SPECIFICATIONS) |
| 7 | POST INDICATOR VALVE W/BOX WIRED TO THE FIRE PROTECTION ALARM SYSTEM (SEE ELECTRICAL PLANS AND THE FIRE PROTECTION PLANS FOR SPECIFICATIONS) |
| 8 | 6" SUBSURFACE DRAIN @ 0.50% AND CAP END |
| 9 | CONCRETE COLLAR |

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UTILITY PLAN

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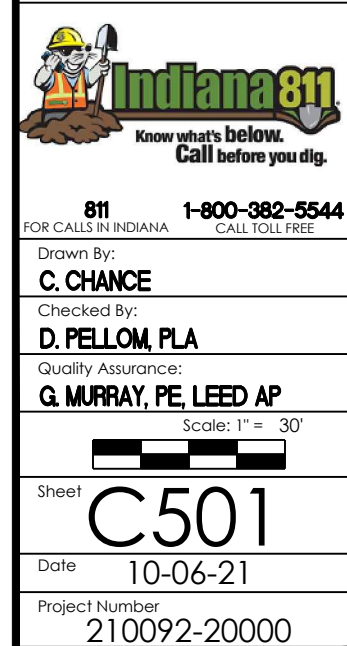
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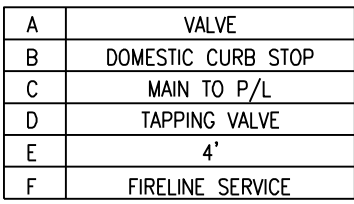
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Revisions

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UTILITY DETAILS

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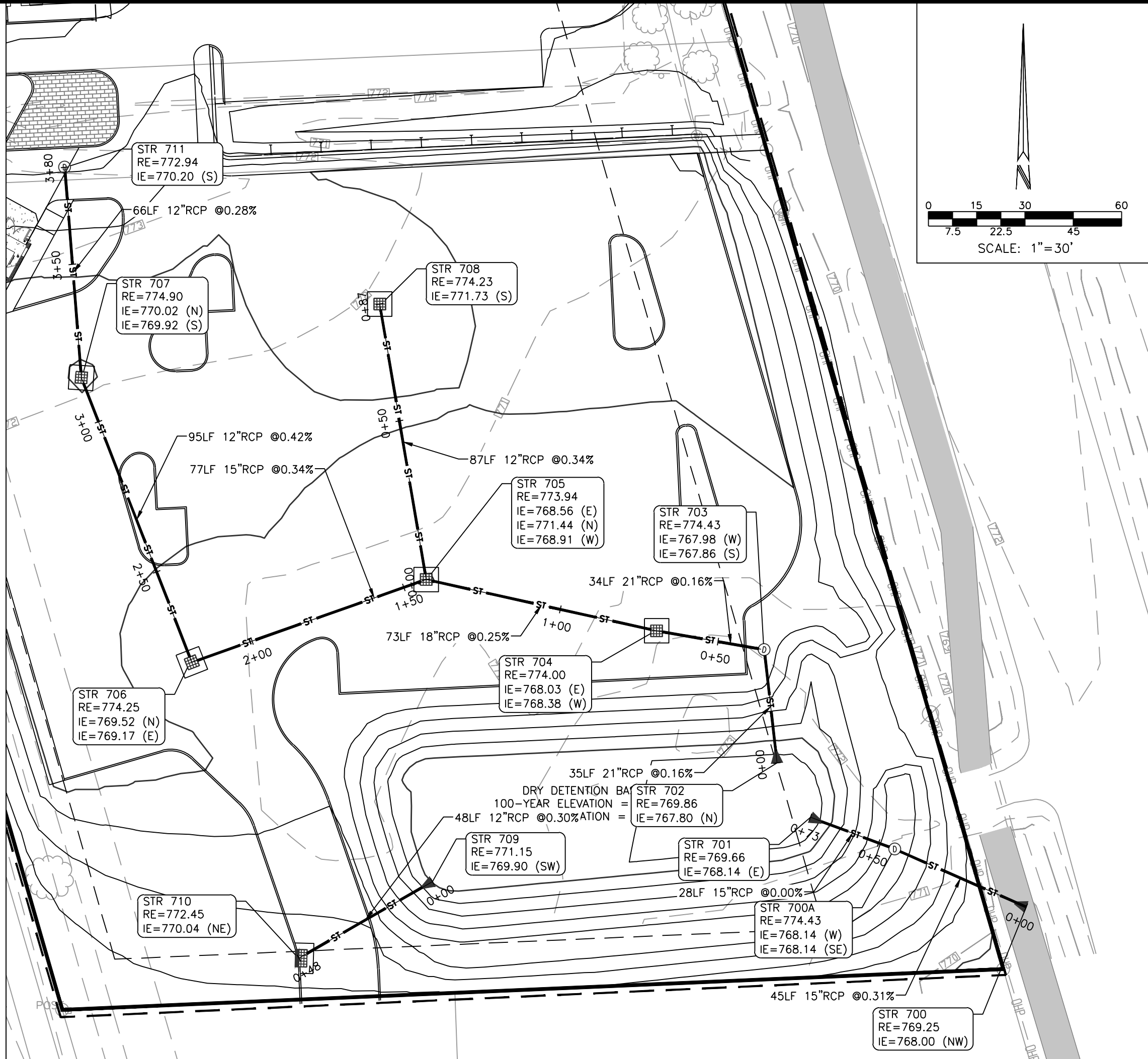
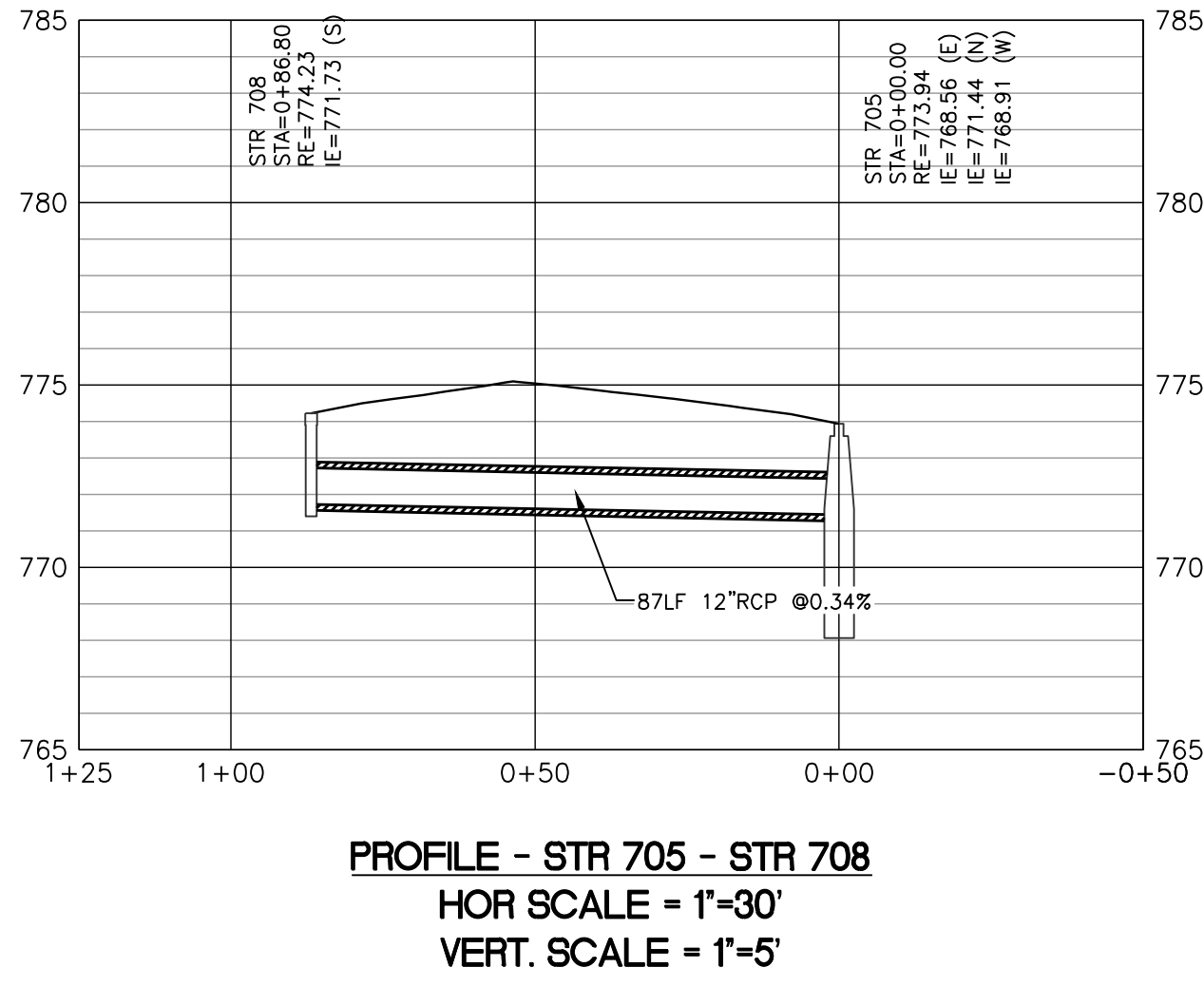
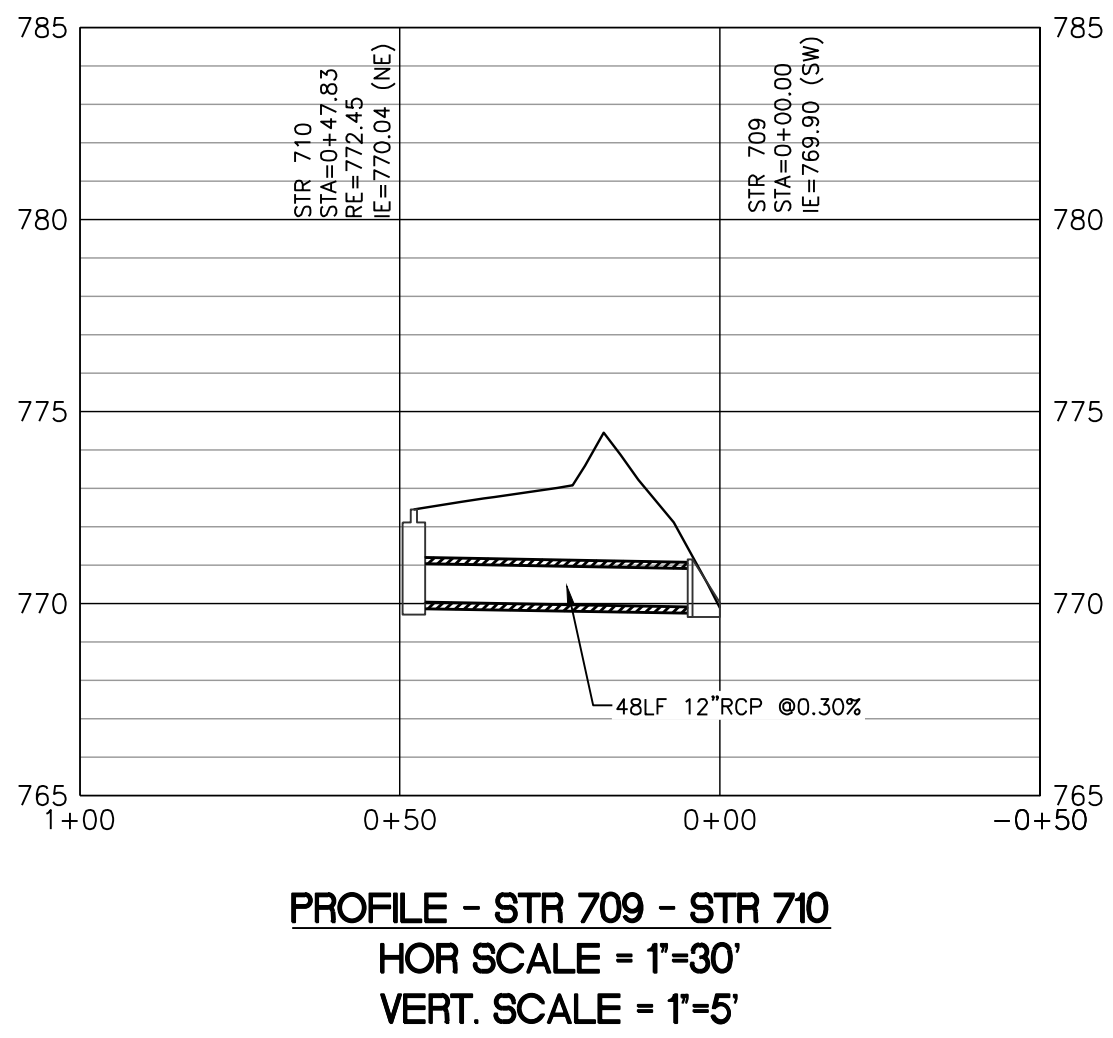
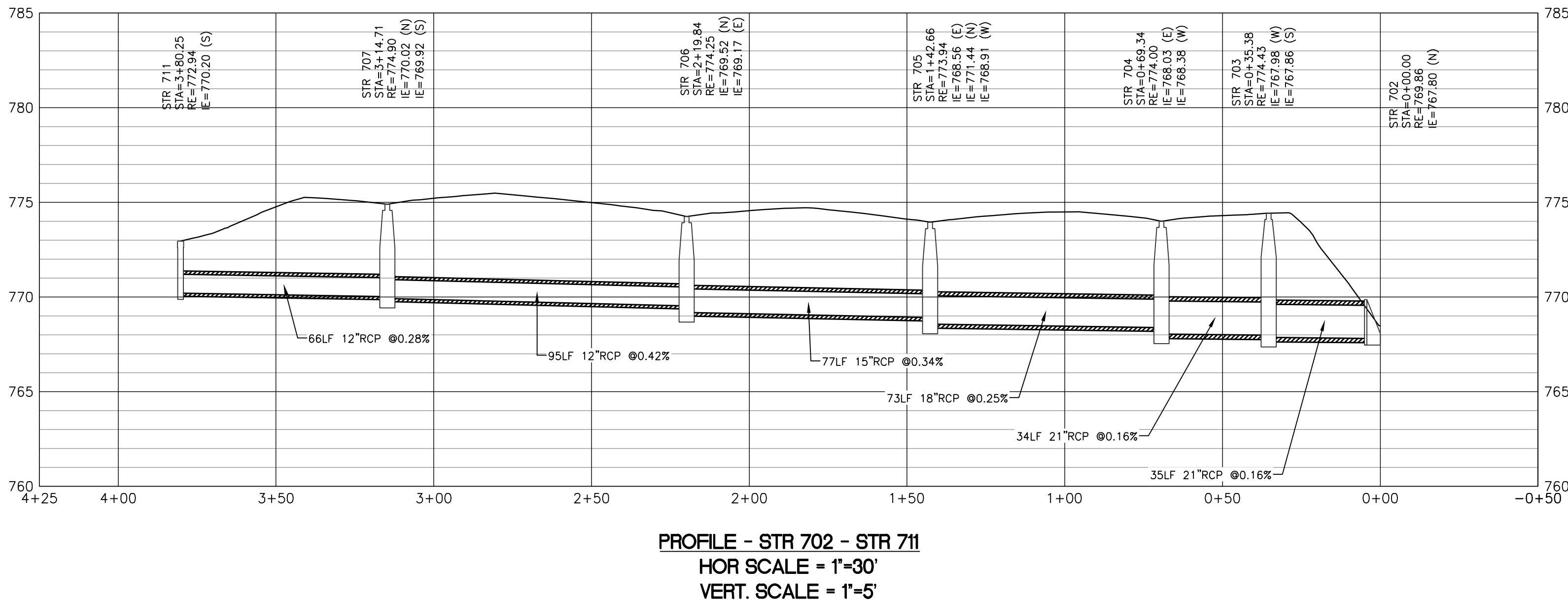
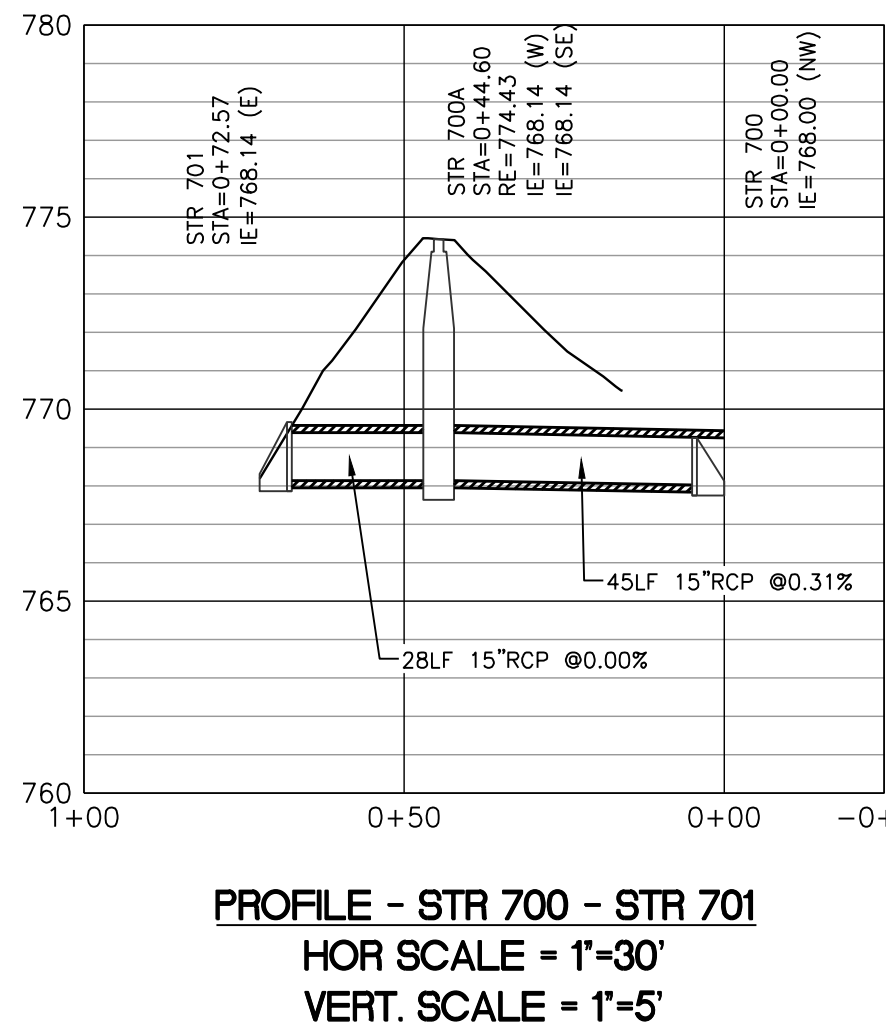
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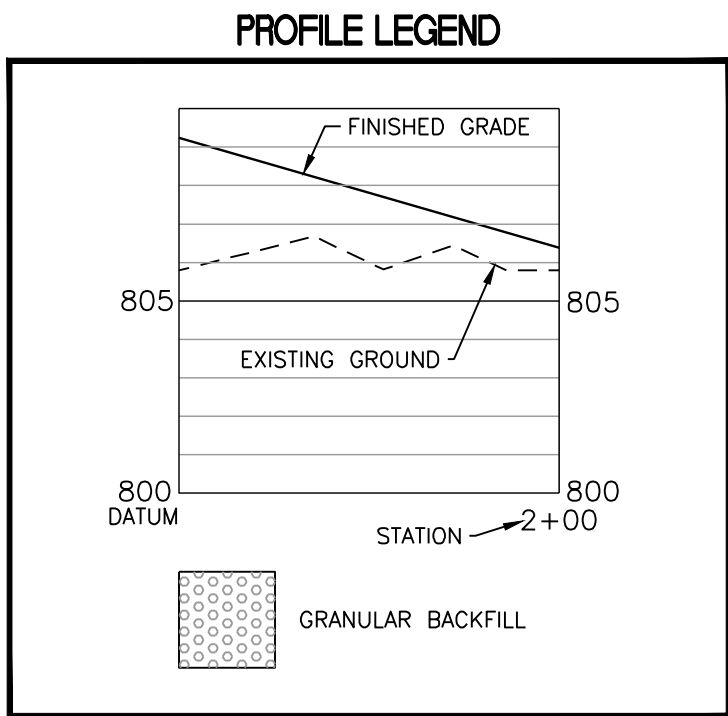
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Date _____

Project



- ### STORM SEWER PLAN AND PROFILE GENERAL NOTES
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
 - IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
 - ALL STRUCTURES SHALL HAVE CASTINGS, JOINTS, LIFT RINGS, STEPS AND PIPE CONNECTIONS WELL GROUTED, TROWELED SMOOTH AND BRUSH FINISHED.
 - ALL STRUCTURES (IE: MANHOLES, INLETS) SHALL HAVE POURED FLOW LINES AND BENCH WALLS. THE FLOW LINES AND BENCH WALLS SHALL BE TROWELED SMOOTH AND BRUSH FINISHED.
 - FIELD ADJUSTMENTS OF TOP OF CURB (TC) OF STRUCTURES MAY BE REQUIRED TO MEET FIELD CONDITIONS. ADJUSTMENTS EXCEEDING FIVE TENTHS (0.5) OF A FOOT MUST BE APPROVED BY THE ENGINEER TO DETERMINE THE INTEGRITY OF THE STRUCTURE, AT NO COST TO THE OWNER.
 - STORM STRUCTURES WITH INLET CASTINGS SHALL BE SET TO MAINTAIN A POSITIVE DRAINAGE FLOW INTO THE STRUCTURE.
 - STORM PIPE INVERTS AT OUTLET STRUCTURES (IE: END SECTIONS), AND PIPE LENGTHS MAY REQUIRE FIELD ADJUSTMENTS TO MEET ACTUAL FIELD CONDITIONS.
 - FULL DEPTH GRANULAR BACKFILL SHALL BE REQUIRED UNDER AND WITHIN (5) FEET OF ALL PAVED AREAS, INCLUDING CURBS, EDGE OF PAVEMENT, AND SIDEWALKS.
 - PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE END SECTIONS.
 - RIM ELEVATIONS (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER A STRUCTURE.
 - INVERT ELEVATION OF SUB-SURFACE DRAIN (SSD) AT STRUCTURE TO BE THREE (3) FEET BELOW RIM ELEVATION.
 - ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - NO BLASTING SHALL BE PERFORMED ON THIS SITE.
 - NO SEISMIC VIBRATING OPERATIONS WILL OCCUR ON THIS SITE.
 - STRUCTURES DEEPER THAN 4' MUST BE ACCESSIBLE WITH STEPS.
 - DEBRIS GUARD TO BE INSTALLED ON ALL OPEN ENDED INLETS.
 - ALL STORM SEWER, INCLUDING SSD, SHALL BE CLEANED AND TELEVIEWED AFTER ALL UNDERGROUND UTILITIES ARE INSTALLED.
 - ALL BEEHIVE CASTINGS ON A 2'X2' BOX SHALL HAVE A SQUARE RISER WITH A ROUND HOLE.



STORM PLAN AND PROFILES

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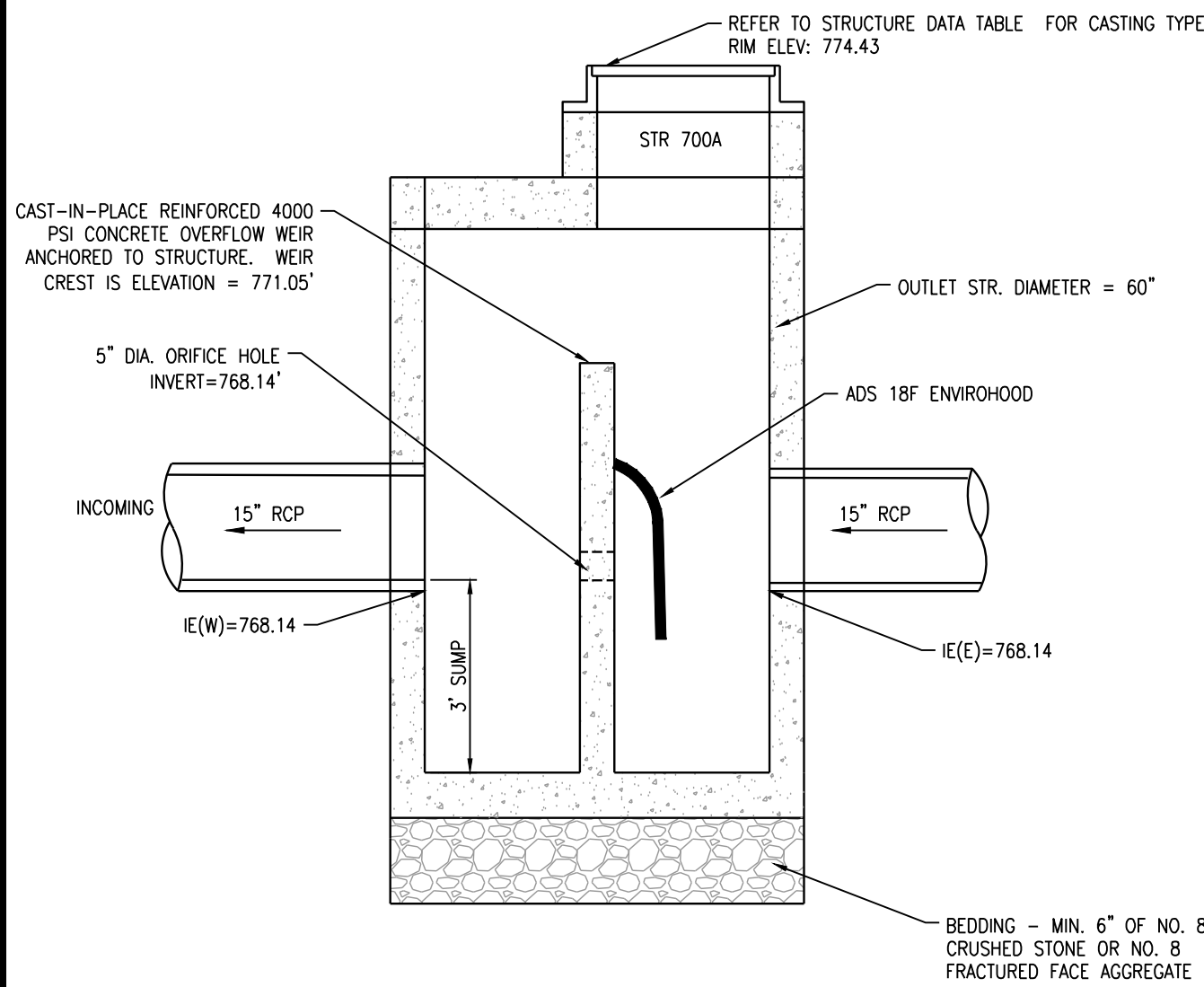
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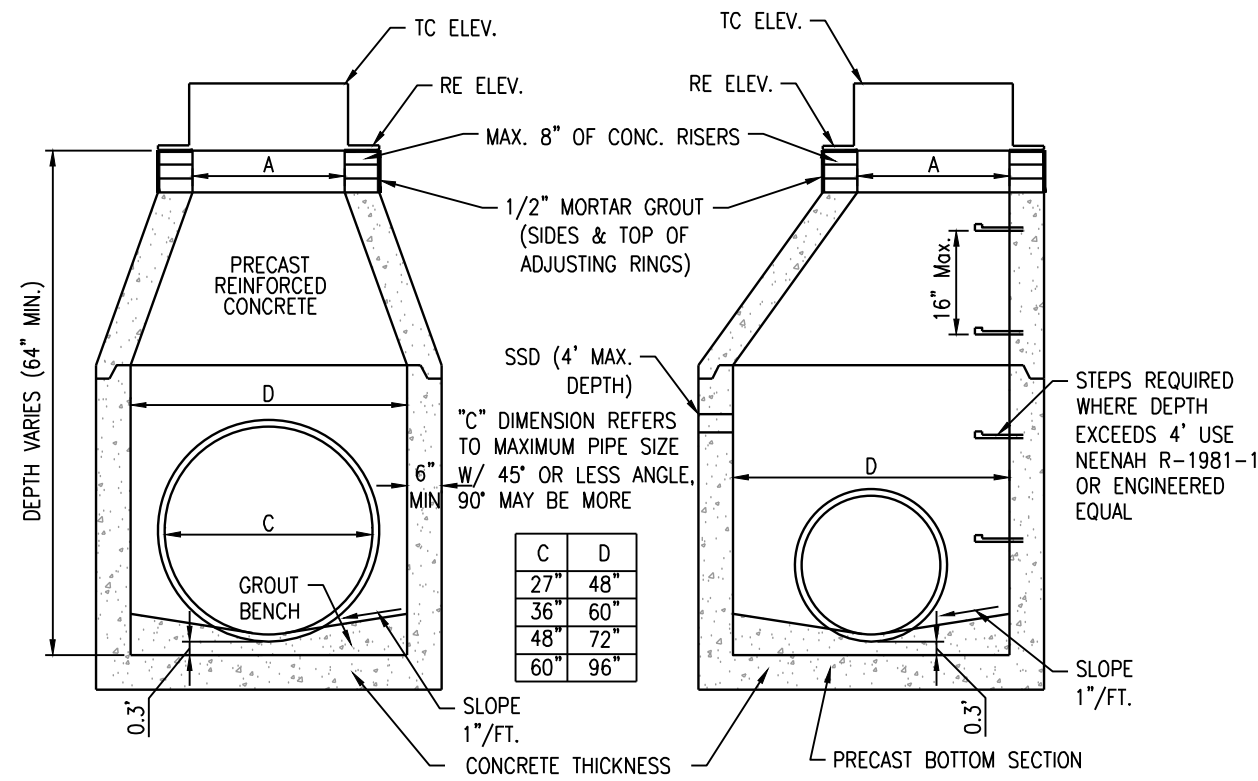
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OUTLET CONTROL STRUCTURE STR 700A

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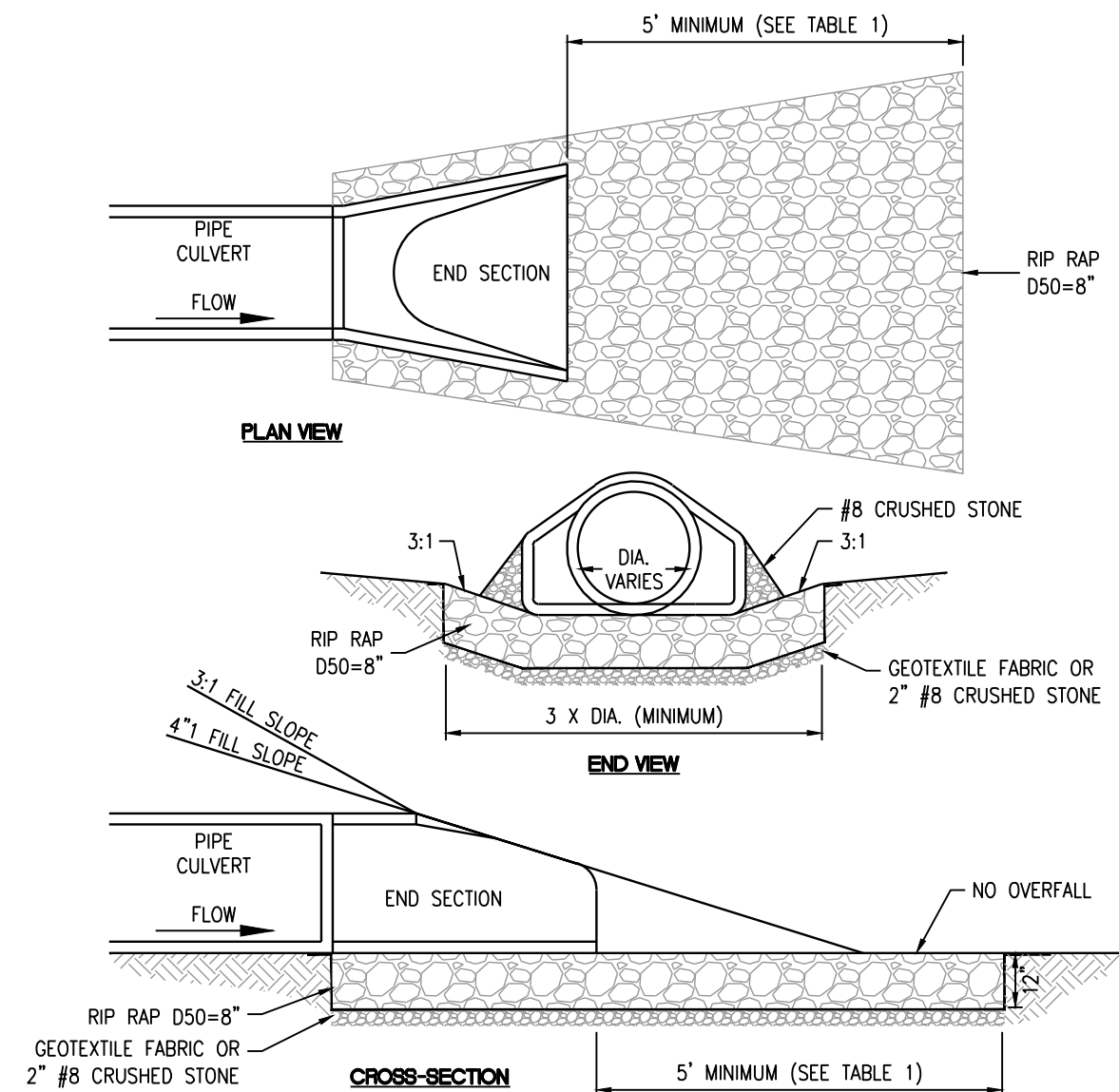
EJW	NEENAH	TYPE	USE	A
1022-1 HD	R-1772-A	MANHOLE	GRADED AREAS	24"
1022-3 HD	R-1772-C	MANHOLE	TRAFFIC AREAS	24"
-	R-2501	GRATE	TRAFFIC AREAS	28"
-	R-2560-C2	BEEHIVE	SWALES	24"
6489	R-4342	DITCH GRATE	SWALES	24"

TC = TOP OF CASTING ELEVATION

RE = RIM OF CASTING ELEVATION

STORM MANHOLE WITH CONE TYPE REDUCER

NOT TO SCALE



INSTALLATION

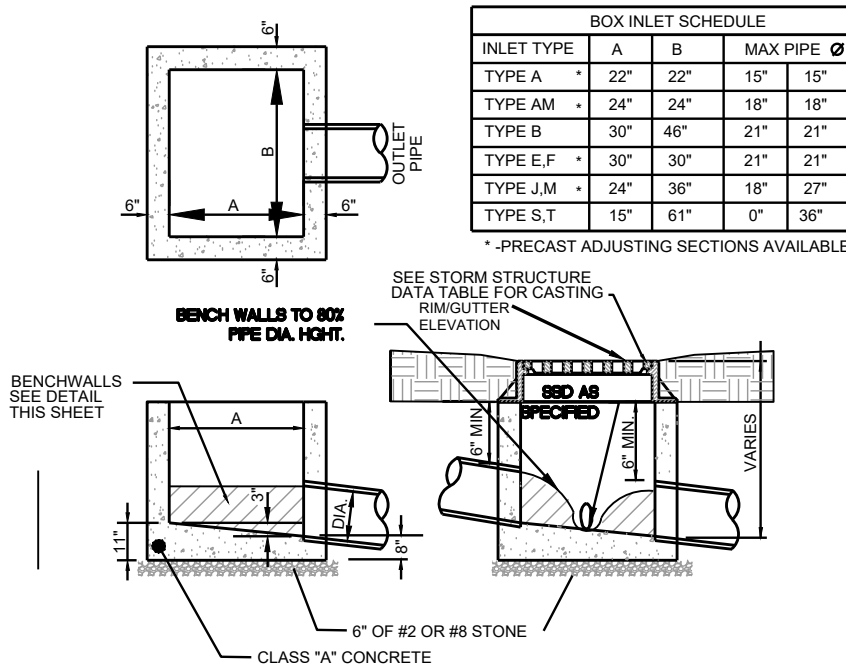
- DIVERT SURFACE WATER RUNOFF AROUND THE STRUCTURE DURING CONSTRUCTION SO THAT THE SITE CAN BE PROPERLY Dewatered FOR FOUNDATION PREPARATION.
- EXCAVATE FOUNDATION AND APRON AREA SUBGRADES BELOW DESIGN ELEVATION TO ALLOW FOR THICKNESS OF THE FILTER MEDIUM AND RIPRAP.
- COMPACT ANY FILL USED IN SUBGRADE PREPARATION TO THE DENSITY OF SURROUNDING UNDISTURBED SOIL.
- SMOOTH SUBGRADE ENOUGH TO PROTECT GEOTEXTILE FABRIC FROM TEARING.
- PLACE GEOTEXTILE FABRIC OR AGGREGATE BEDDING MATERIAL (FOR STABILIZATION AND FILTRATION) ON THE COMPACTED AND SMOOTHED FOUNDATION.
- INSTALL RIPRAP TO THE LINES AND ELEVATIONS SHOWN IN THE CONSTRUCTION PLANS. BLEND RIPRAP SMOOTHLY TO SURROUNDING GRADE. IF THE CHANNEL IS WELL DEFINED, EXTEND THE APRON ACROSS THE CHANNEL BOTTOM AND UP THE CHANNEL BANKS TO AN ELEVATION OF SIX INCHES ABOVE THE MAXIMUM TAILWATER DEPTH OR THE TOP OF BANK, WHICHEVER IS LESS.
- IF GEOTEXTILE FABRIC TEARS WHEN PLACING RIPRAP, REPAIR IMMEDIATELY BY LAYING AND STAPLING A PIECE OF FABRIC OVER DAMAGED AREA, OVERLAPPING THE UNDAAGED AREAS BY AT LEAST 12 INCHES.
- CONSTRUCT A SMALL PLUNGE POOL WITHIN THE OUTLET APRON (RIPRAP APRONS MUST BE LEVEL WITH OR SLIGHTLY LOWER THAN THE RECEIVING CHANNEL AND SHOULD NOT PRODUCE AN OVERFALL OR RESTRICT FLOW OF THE WATER CONVEYANCE STRUCTURE).

MAINTENANCE

- INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
- INSPECT FOR STONE DISPLACEMENT; REPLACE STONES ENSURING PLACEMENT AT FINISHED GRADE.
- CHECK FOR EROSION OR SCOURING AROUND SIDES OF THE APRON; REPAIR IMMEDIATELY.
- CHECK FOR PIPING UNDERCUTTING; REPAIR IMMEDIATELY.

CONCRETE END SECTION RIPRAP (LOWER INVERT)

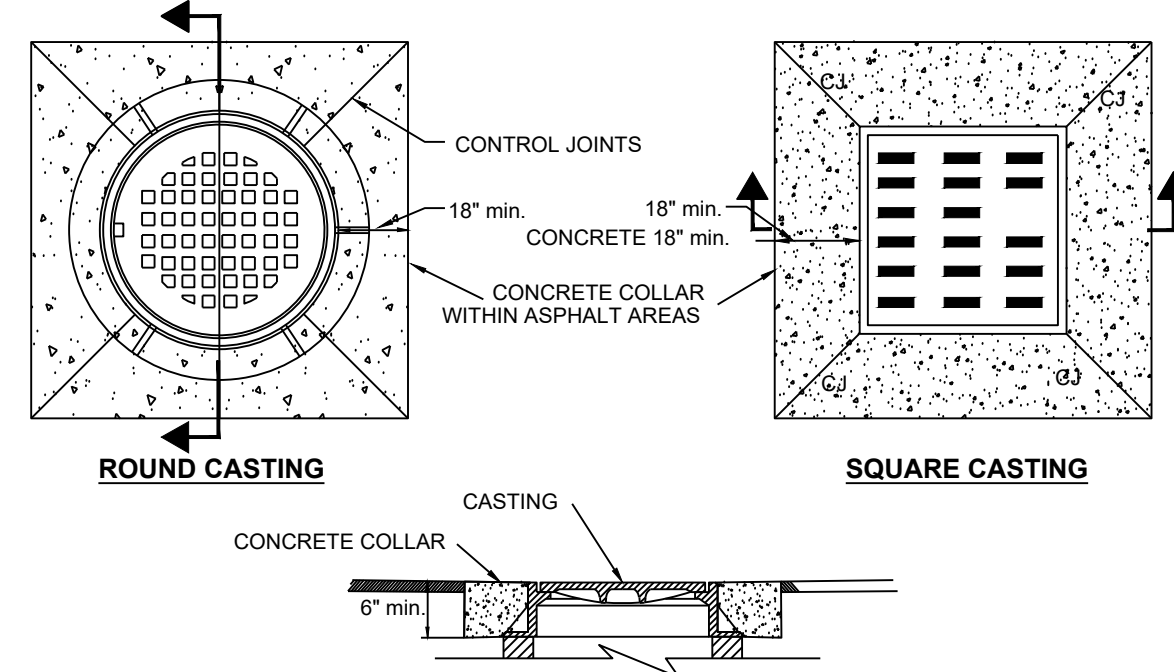
NOT TO SCALE



THE MAXIMUM ALLOWABLE DEPTH FOR TYPE A OR TYPE A MODIFIED BOX INLET IS 4' FROM THE CASTING TO THE LOWEST INVERT. WHERE DEPTH IS GREATER THAN 4', A MANHOLE STRUCTURE MUST BE INSTALLED. BENCHWALLS SHALL FORM A DEFINED CHANNEL TO A MINIMUM HEIGHT OF 80% OF THE INSIDE DIAMETER OF THE INLET AND OUT PIPES.

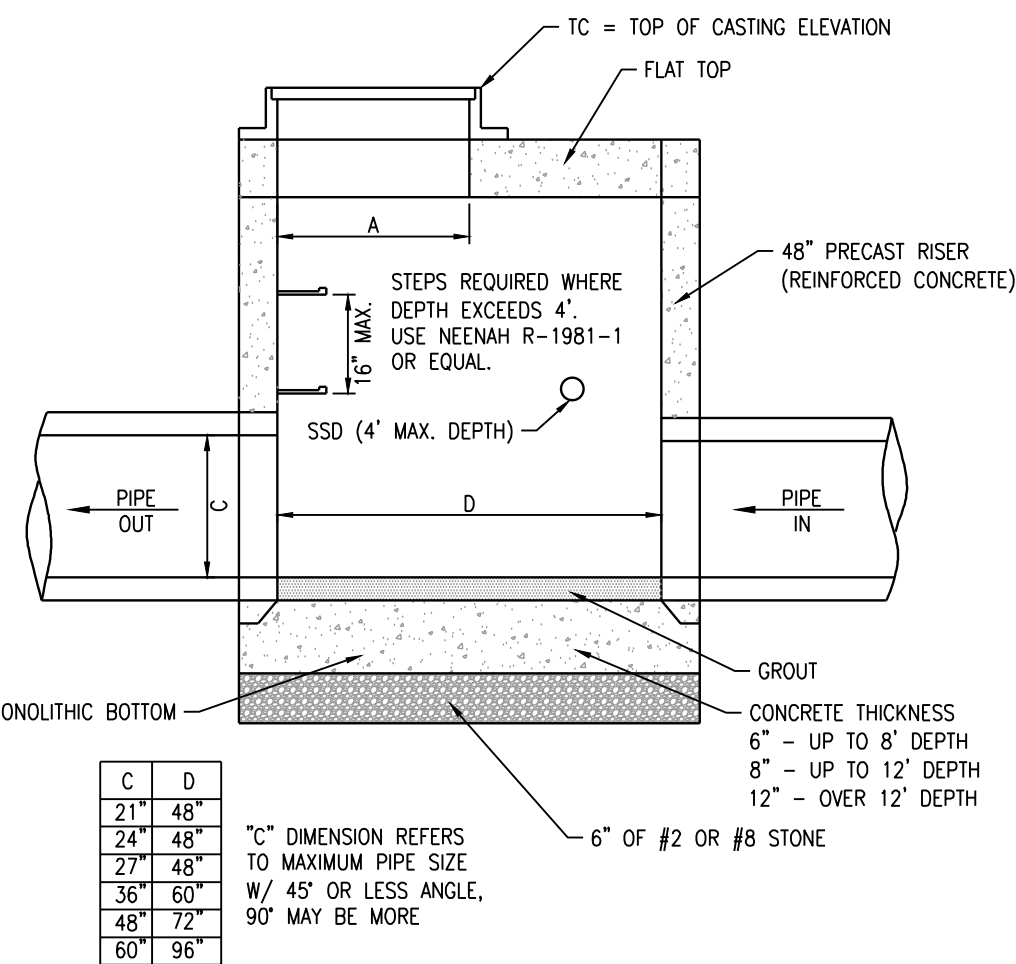
BOX INLET DETAIL

SCALE: NONE



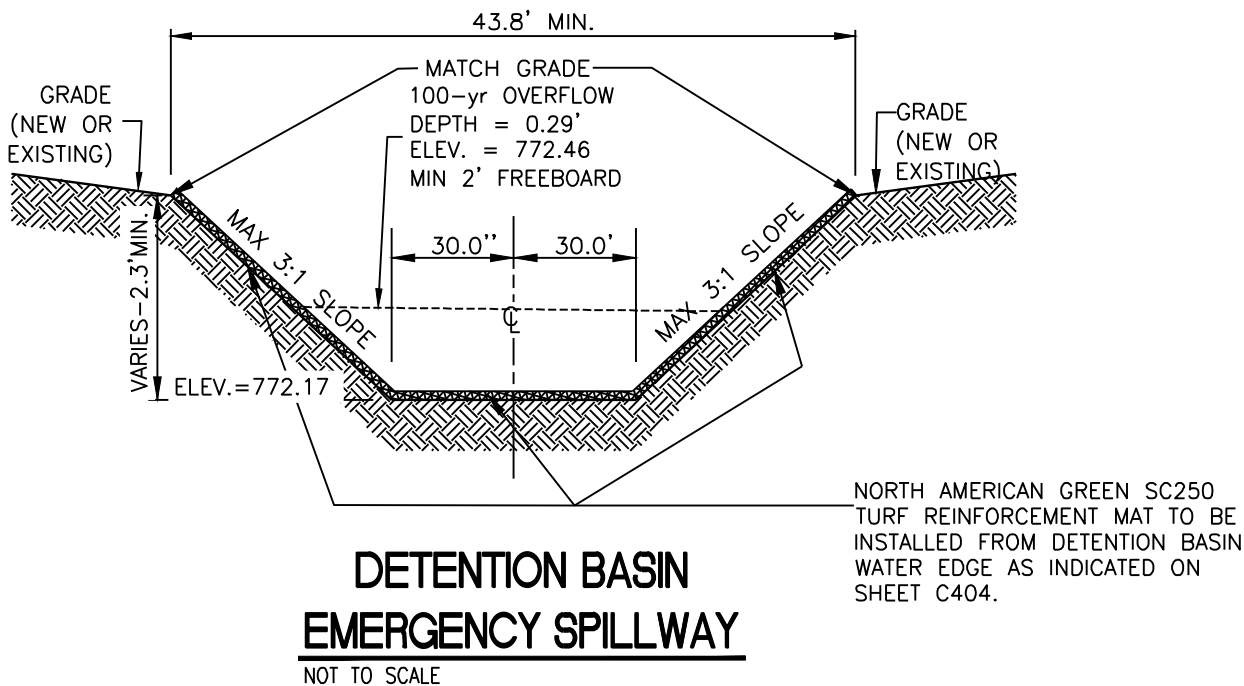
NOTES:

- ALL INLET CASTINGS SHALL HAVE "NO DUMPING DRAINS TO STREAM" AND A FISH SYMBOL CAST INTO



STORM MANHOLE WITH FLAT TOP REDUCER

NOT TO SCALE



DETENTION BASIN EMERGENCY SPILLWAY

NOT TO SCALE

NORTH AMERICAN GREEN SC250
TURF REINFORCEMENT MAT TO BE
INSTALLED FROM DETENTION BASIN
WATER EDGE AS INDICATED ON
SHEET C404.

- DIVERT SURFACE WATER RUNOFF AROUND THE STRUCTURE DURING CONSTRUCTION SO THAT THE SITE CAN BE PROPERLY Dewatered FOR FOUNDATION PREPARATION.
- EXCAVATE FOUNDATION AND APRON AREA SUBGRADES BELOW DESIGN ELEVATION TO ALLOW FOR THICKNESS OF THE FILTER MEDIUM AND RIPRAP.
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MAINTENANCE

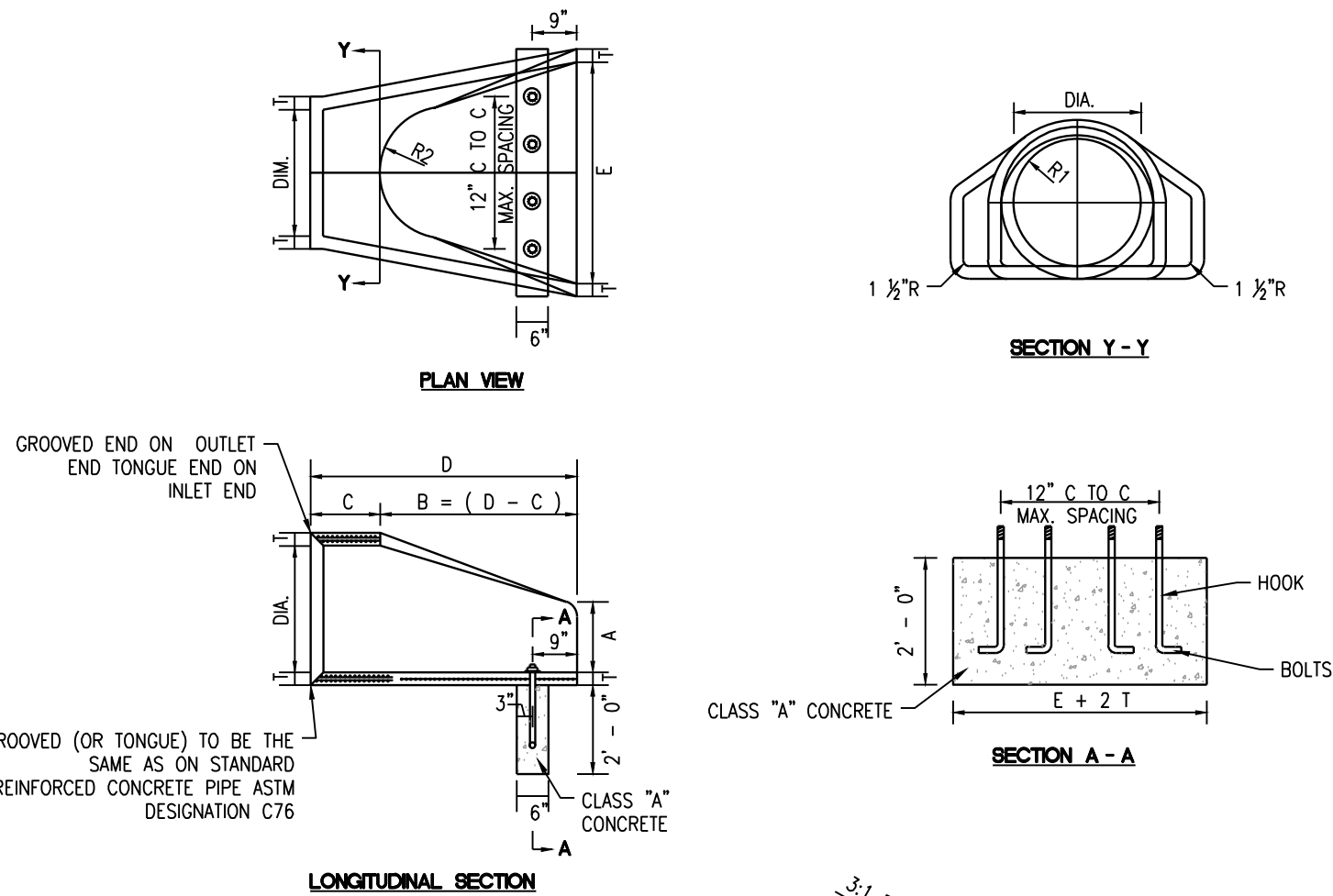
- INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
- INSPECT FOR STONE DISPLACEMENT; REPLACE STONES ENSURING PLACEMENT AT FINISHED GRADE.
- CHECK FOR EROSION OR SCOURING AROUND SIDES OF THE APRON; REPAIR IMMEDIATELY.
- CHECK FOR PIPING OR UNDERCUTTING; REPAIR IMMEDIATELY.

CONCRETE END SECTION RIPRAP (UPPER INVERT)

NOT TO SCALE

PRECAST CONCRETE END SECTION

NOT TO SCALE



DIMENSIONS OF PRECAST CONCRETE END SECTIONS

DIA	T (min)	A x C	D x E	X x K	R1	R2	Approx. Weight
12"	2"	5"	4'-3"	6'-2"	2'-0"	1.3	10 1/8"
15"	2 1/4"	7"	4'-0"	6'-2"	2'-6"	1.5	12 1/2"
18"	2 1/2"	11"	4'-1"	6'-2"	3'-0"	1.8	15 1/2"
21"	2 3/4"	11"	3'-6"	6'-2"	3'-6"	2.1	16 1/8"
24"	3"	1'-0"	2'-6"	6'-2"	4'-0"	2.1	16 3/4"
27"	3 1/4"	1'-1"	2'-5"	6'-2"	4'-6"	2.6	18 9/16"
30"	3 1/2"	1'-2"	1'-10"	6'-2"	5'-0"	2.9	18 1/2"
33"	3 3/4"	1'-5"	1'-5"	6'-2"	5'-6"	3.1	22 5/4"
36"	4"	1'-5"	3'-1"	6'-2"	6'-0"	3.4	24 3/16"

NOTES:

- CONCRETE IN THESE END SECTIONS SHALL BE THE SAME GRADE AND STRENGTH AS SPECIFIED FOR REINFORCED CONCRETE PIPE, ASTM DESIGNATION C-76 CLASS II, (AS SET OUT IN THE STANDARD SPEC'S.)
- REINFORCEMENT IN THE "C" PORTION SHALL BE THE SAME AS SPECIFIED FOR REINFORCED CONCRETE, ASTM DESIGNATION C-76, CLASS II FOR THE SIZE OF CONNECTING PIPE.
- REINFORCEMENT IN THE "B" PORTION SHALL HAVE A CROSS-SECTIONAL AREA EQUAL TO THAT OF ONE LAYER OF STEEL IN THE "C" SECTION.
- THE END OF PIPE CULVERT SHALL BE PLACED IN THE CONCRETE END SECTION SO THAT THE FLOW LINES ARE FLUSH. THE JOINT SHALL BE COMPLETELY FILLED WITH MORTAR.
- IN 3:1 OR 4:1 FILL SLOPE, CHANGE TO THE SLOPE OF THE END SECTION IN A SMOOTH, PLEASING TRANSITION APPROXIMATELY 10'-0" IN LENGTH.
- VARIATIONS IN DIMENSIONS - THE THICKNESS OF THE CONCRETE, THE POSITION OF STEEL, AND THE INTERNAL DIAMETER OF THE PIPE SHALL CONFORM WITH THE VARIATIONS IN DIMENSIONS AS PROVIDED IN THE SPECIFICATIONS FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE, ASTM DESIGNATION C-76.
- WHERE VITRIFIED CLAY CULVERT OR CAST IRON CULVERT PIPE IS USED, A "PIPE END SECTION" COMPARABLE TO THAT AS SHOWN FOR METAL OR CONCRETE SHALL BE FURNISHED AND SHALL BE AS APPROVED BY THE PROJECT ENGINEER.
- END SECTIONS WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR "PIPE END SECTION" COMPLETE IN PLACE AND ACCEPTED.
- CONCRETE PIPE TOE ANCHORS SHALL BE REQUIRED ON ALL CONCRETE PIPE SECTIONS. THE COST THEREOF SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE PER EACH FOR "PIPE END SECTIONS".

Revisions	By	Date	Description

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STORM SEWER DETAILS
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2990 North Morton Street
Franklin, Indiana

CERTIFIED BY:
Ray E. Murray
RAY E. MURRAY
REGISTERED PROFESSIONAL ENGINEER
No. 100000000
Date: 10-06-21

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Quality Assurance: G. MURPHY, P.E. LEED AP
Sheet: C702
Date: 10-06-21
Project Number: 210092-200000

STORM SEWER STRUCTURE DATA TABLE				
STRUCTURE #	STRUCTURE TYPE	SIZE	CASTING	NOTES
STR 700	15" PRECAST CONCRETE END SECTION			
STR 700A	MANHOLE		NEENAH R-1772	
STR 701	15" PRECAST CONCRETE END SECTION			
STR 702	21" PRECAST CONCRETE END SECTION			
STR 703	MANHOLE	48"	NEENAH R-1772	
STR 704	MANHOLE	48"	NEENAH R-3405	
STR 705	MANHOLE	48"	NEENAH R-3405	
STR 706	MANHOLE	48"	NEENAH R-3405	
STR 707	MANHOLE	48"	NEENAH R-3405	
STR 708	INLET	24" X 24"	NEENAH R-3405	
STR 709	15" PRECAST CONCRETE END SECTION			
STR 710	INLET	24" X 36"	NEENAH R-3287-10V	
STR 711	INLET	24" X 24"	NEENAH R-1772	

STORM SEWER DETAILS

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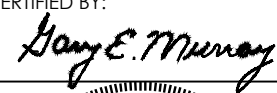
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Quality Assurance:
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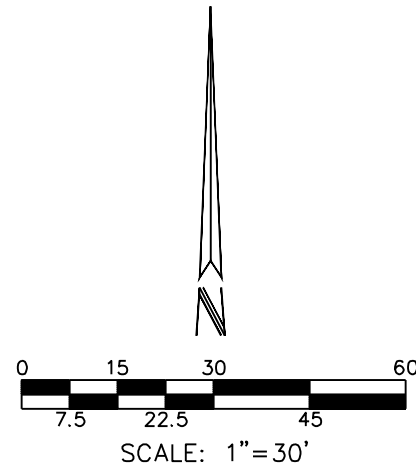
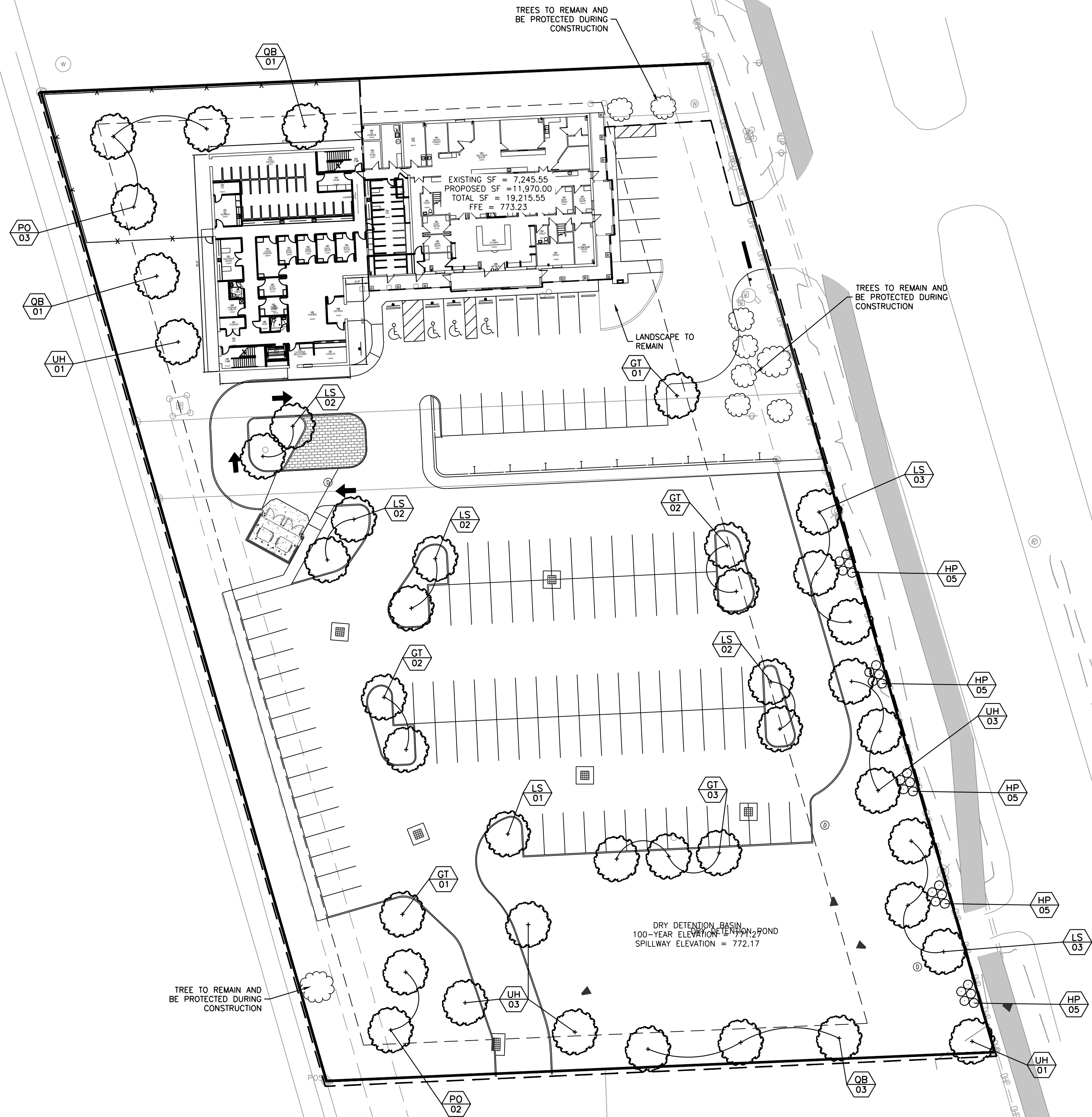
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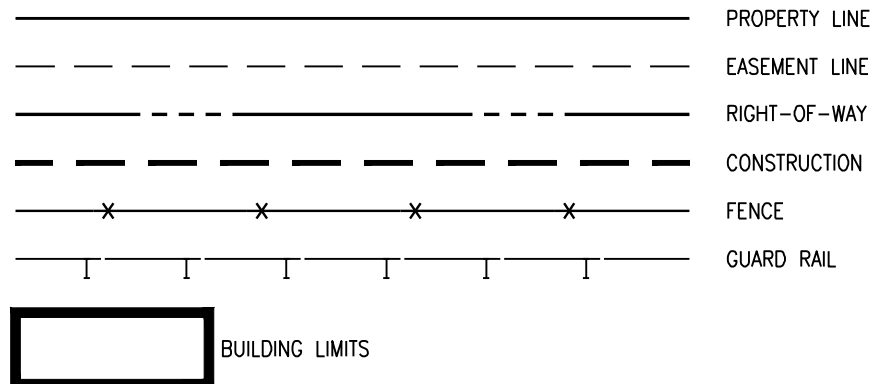
Date
10-06-21

Project Number
210092-20000

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SITE PLAN LEGEND



SITE WORK GENERAL NOTES AND SPECIFICATIONS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND ANY OTHER REGULATORY AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY AND OBTAIN APPROVAL FROM EACH RESPECTIVE UTILITY COMPANY PRIOR TO PERFORMING ANY WORK ON OR IN THE VICINITY OF EXISTING UTILITIES LINES AND APPURTENANCES.
4. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT. FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK. IT IS RECOMMENDED THAT THE DEVELOPER HAVE A QUALIFIED INSPECTOR ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
5. ALL QUANTITIES GIVEN ON THE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR.
6. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
7. EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
8. IT IS ESSENTIAL THAT THE WORK TO BE COMPLETED IN CONJUNCTION WITH THIS PROJECT SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS. THE ENGINEER WILL BE REQUIRED TO CERTIFY TO CERTAIN PORTIONS OF THIS PROJECT UPON COMPLETION. THEREFORE, IT IS NECESSARY TO OBTAIN APPROVAL AND ACCEPTANCE BY THE CITY THAT CONSTRUCTION WAS COMPLETED IN COMPLIANCE WITH THESE PLANS AND SPECIFICATIONS.
9. LOCATIONS & ELEVATIONS OF "FLOODWAY LIMITS" AND "100 YEAR FLOOD LIMITS" ARE SHOWN FOR REFERENCE ONLY. DEVELOPER/BUILDER/INDIVIDUAL LOT OWNER TO REFER TO NATIONAL FLOOD HAZARD INSURANCE MAP (F.E.M.A.) TO DETERMINE FLOOD HAZARD POTENTIAL PRIOR TO PROJECT CONSTRUCTION.

LANDSCAPE PLAN NOTES

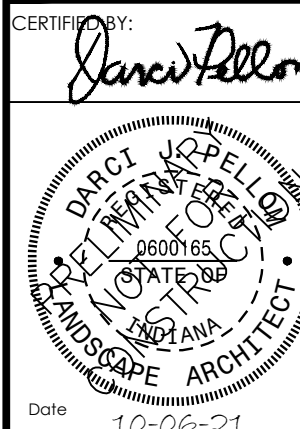
1. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS.
2. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT "AMERICAN ASSOCIATION OF NURSERY STOCK 1996, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
4. ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN 1"-2" ABOVE GRADE OR AS IN THE CONTAINER. ROOT FLARE SHOULD BE VISIBLE AT PLANTING COMPLETION.
5. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. ALL TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDELING OF TREE.
6. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
7. THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
8. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
9. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE AND MAINTAIN PLANT MATERIAL FOR 3 MONTHS AFTER PROVISIONAL ACCEPTANCE.
10. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL TAKE PRECEDENCE.
11. CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
12. STAKES AND GUY WIRES SHALL BE REMOVED AFTER ONE YEAR.
13. ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO THE OWNER.
14. ALL EXISTING LANDSCAPING SHALL BE PRESERVED. NO SOIL STOCKPILING OR STRIPPING, NO EQUIPMENT OR MATERIAL STORAGE SHALL BE ALLOWED. AN ORANGE CONSTRUCTION FENCE SHALL BE CONSTRUCTED TO A DISTANCE OF NO LESS THAN 10 FEET OUTSIDE THE DRIP LINE OF THE EXISTING TREES. CONTACT LANDSCAPE ARCHITECT FOR ADDITIONAL INFORMATION.
15. IRRIGATION, IF REQUIRED, OF SITE LANDSCAPING TO BE COMPLETED DESIGN BUILD PER DIRECTION FROM OWNER. UNDERGROUND IRRIGATION SYSTEMS SHALL BE INSTALLED AND PROPERLY MAINTAINED AND OPERATED TO WATER PLANT MATERIAL IN ALL REQUIRED PLANTING AREAS.
16. ALL PLANTS BEDS SHALL RECEIVE AT MINIMUM OF 3" TOPSOIL AND 3" MINIMUM OF AA HARDWOOD BULK MULCH WITH NO DYES. MULCH MAY EXTEND ONE FOOT BEYOND PLANTS TO FORM THE EDGE OF THE PLANTING BEDS.

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Checked by:
D. PELLOM, PLA

Quality Assurance:
G. MURRAY, PE LEED AP

Scale: 1" = 30'

Sheet:
L100

Date:
10-06-21

Project Number:
210092-20000



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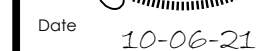
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Checked By:
D. BELLON

D. FELLOW
Quality Assurance

G. MURRAY

[illegible]

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Sheet 1

Date 1

Project Number
310

210



Franklin Animal Clinic

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	1	Industrial Lighting Products Inc	SAS-15L-U-40-T4	Skyline Small, 15,000 Lumens, 4000K, Type 4 Optic	1	16185	0.9	110.5
	B	4	Industrial Lighting Products Inc	SAS-15L-U-40-T5S	Skyline Small, 15,000 Lumens, 4000K, Type 5 Square Optic	1	16863	0.9	221
	C	8	Industrial Lighting Products, LLC	SWP-8L-U-40-BRZ	SWP-8L-U-40-BRZ	1	8678	0.9	58
	D	1	Industrial Lighting Products Inc	SAS-9L-U-40-T2	Skyline Small, 9,000 Lumens, 4000K, Type 2 Optic	1	10205	0.9	66.3

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building Perimeter		1.9 fc	11.9 fc	0.1 fc	119.0:1	19.0:1
Parking Area		2.2 fc	4.8 fc	0.2 fc	24.0:1	11.0:1

Note

1. Dimensions:
2. Mounting Height: 25, 12
3. Calc Zone: 0
4. Reflectances:

Calculations provided are estimates only.

Designer

Bryan Schneider

Date

10/06/2021

Scale

Not to Scale

Drawing No.

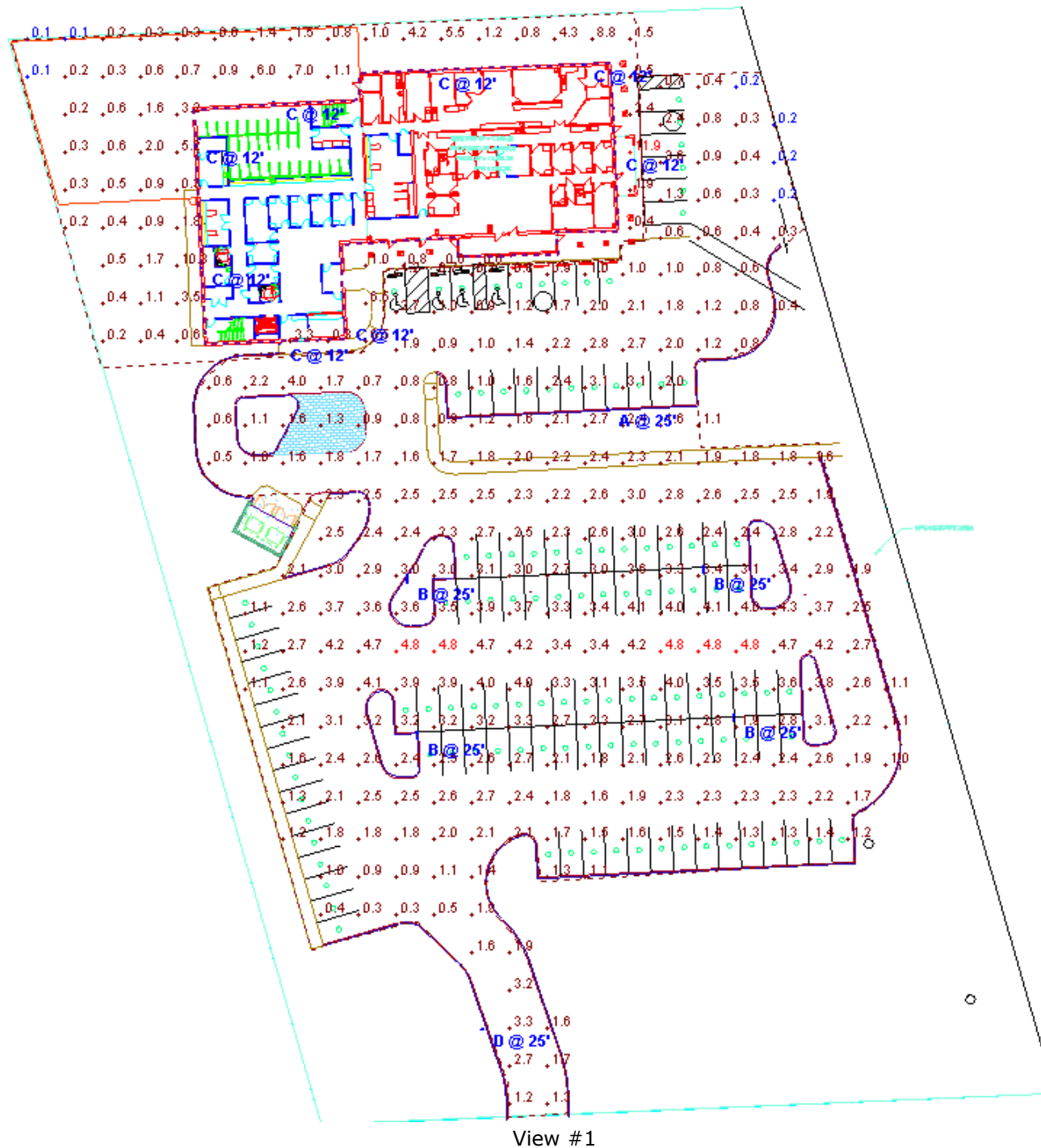
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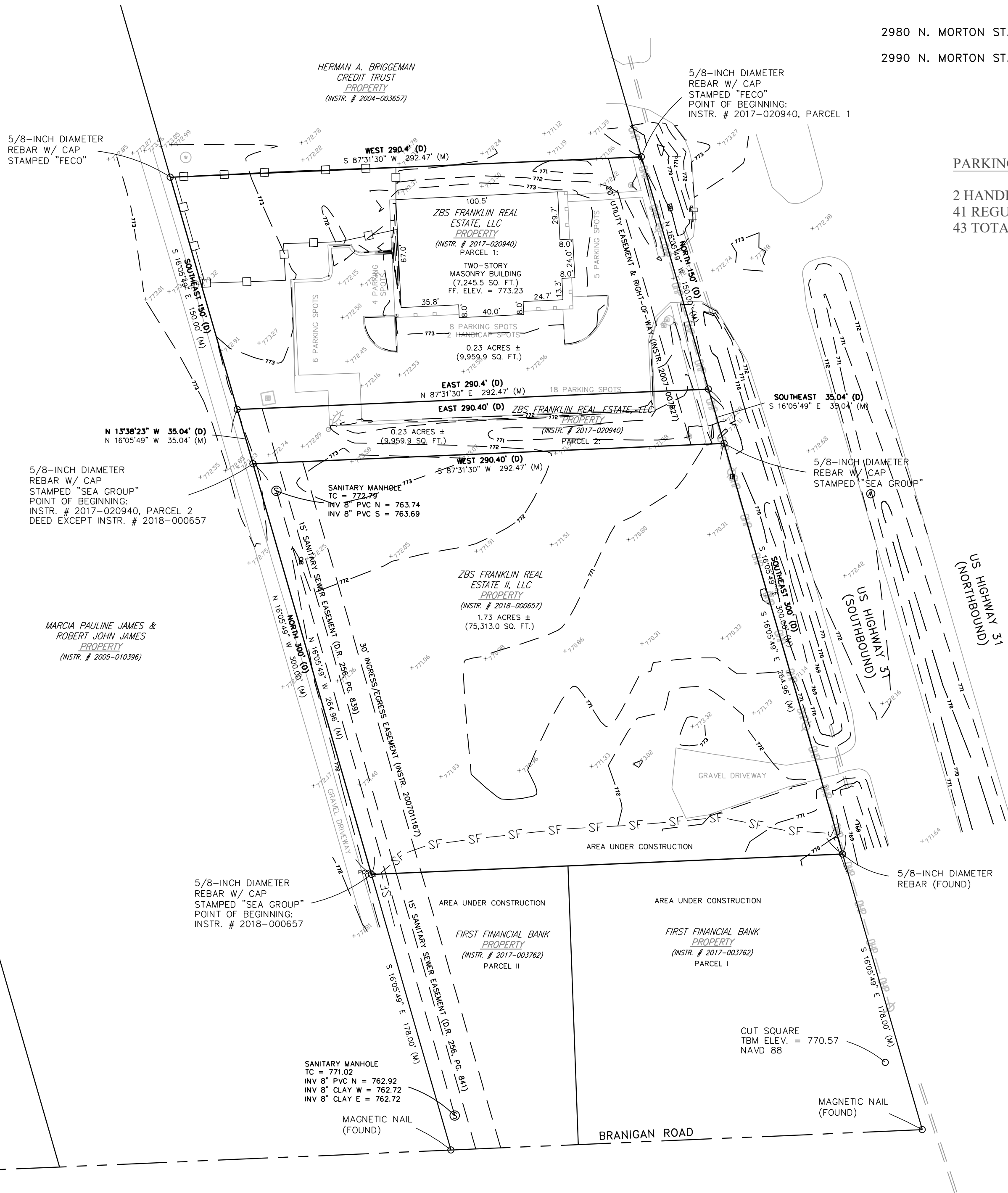


Designer	Bryan Schneider
Date	10/06/2021
Scale	Not to Scale
Drawing No.	

Summary

2 of 2

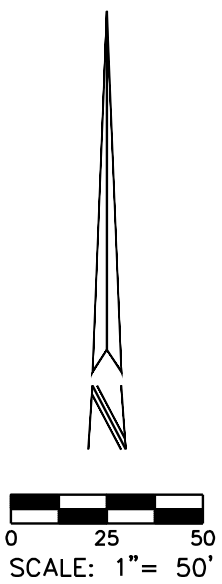




2980 N. MORTON ST., FRANKLIN, IN 46131
&
2990 N. MORTON ST., FRANKLIN, IN 46131

PARKING SPOTS:

2 HANDICAP SPACES
41 REGULAR SPACE
43 TOTAL SPACES



LEGEND

- AS APPLICABLE
- 5/8-inch REBAR w/ CAP
STAMPED "HAUSE PLS20600040"
 - MAGNETIC NAIL w/ WASHER
STAMPED "HAUSE PLS20600040"
 - UTILITY POLE
 - TELEPHONE PEDESTAL
 - WATER METER
 - LIGHT POLE
 - AIR CONDITIONER
 - PRIVACY FENCE
 - 6 FOOT CHAIN FENCE W/ BARBWIRE
 - CLEAN OUT
 - GUY WIRE
 - ELECTRIC METER/BOX
 - GAS ENTRANCE
 - SANITARY MANHOLE
 - TREE
 - (D) DEED BEARING AND DISTANCE
 - (M) MEASURED BEARING AND DISTANCE
 - WATER VALVE
 - FIRE HYDRANT
 - STORM MANHOLE
 - BEEHIVE INLET
 - CURB INLET
 - BOLLARD
 - SATELLITE DISH
 - FENCE POST

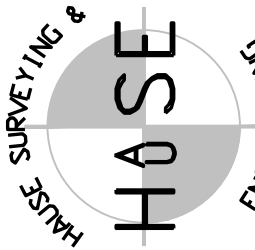
NOTES:

- 1.) All Improvements shown hereon are as they were located on February 13, 2018.
- 2.) This Document contains Three (3) Pages, all are required for this to be a Survey.

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DRAWN BY: DRH
CHECKED BY: JEH
DATE: 2/20/2018
SCALE: 1" = 50'

No.	Date	Revisions

ALTA/NSPS LAND TITLE SURVEY

ZBS FRANKLIN REAL ESTATE, LLC
PT. N 1/2, SEC. 3, T12N, R4E,
CITY OF FRANKLIN, JOHNSON CO., IN

SHEET NO. 1
OF 3 SHEETS
PROJECT NO. 18A025

CERTIFICATE OF SURVEY

I, the undersigned, hereby certify that this survey and the associated surveyor's report were executed under my supervision and to the best of my knowledge, information, and belief were performed in accordance with the current Indiana Minimum Survey Standards, 865 IAC 1-12, for the type of survey as indicated herein, on the following described real estate:

RECORD LAND DESCRIPTION: (INSTRUMENT NUMBER 2017-020940)

PARCEL 1: A part of the East Half fo the Northwest Quarter and a part of the West Half of the Northeast Quarter of Section 3, Township 12 North, Range 4 East, described as follows:

Beginning at a point 906.18 feet North and 1288.9 feet East of the Southwest corner of the East Half of the Northwest Quarter of said Section, Township and Range aforesaid, at a point on the West Right-of-way of U.S. Highway 31; thence Southeast upon and along the West line of said Right-of-way 300 feet to the Commencement; thence West 290.4 feet; thence Southeast parallel to the West line of said Right-of-way 150 feet; thence East 290.4 feet to a point of said West line of said Right-of-way; thence North upon and along said West Right-of-way line 150 feet to the Point of Commencement.

PARCEL 2: Part of the West Half of the Northeast Quarter and part of the East Half of the Northwest Quarter of Section 3, Township 12 North, Range 4 East:

Commencing at a point located 1258.35 feet East of the Southwest Quarter of the East Half of the Northwest Quarter on the South line thereof; thence North 13 degrees 38 minutes 23 seconds West a distance of 442.96 feet on and along a line parallel with the West Property line of U.S. Highway 31 to the Point of Beginning; thence continuing North 13 degrees 38 minutes 23 seconds West parallel with said West Right-of-way of said highway a distance of 35.04 feet; thence East a distance of 290.40 feet to said West Right-of-way line of said highway; thence Southeast upon and along said Right-of-way line of said highway a distance of 35.04 feet; thence West a distance of 290.40 feet to the Place of Beginning, containing 0.2273 acres, more or less.

RECORD LAND DESCRIPTION: (INSTRUMENT NUMBER 2018-000657)

Part of the West Half of the Northeast Quarter and part of the East Half of the Northwest Quarter of Section 3, Township 12 North, Range 4 East:

Beginning at a point located 1258.35 feet East of the Southwest corner of the East Half of the Northwest Quarter on the South line thereof; thence Northwest at approximately 15 1/2 degrees parallel with the West Property line of U.S. Highway No. 31 a distance of 178 feet to the Place of Commencement; thence continuing North parallel with said West property line of said highway 300 feet; thence East 290.4 feet to said West property line of said highway; thence Southeast upon and along said property line of said highway 300 feet; thence West 290.40 feet to the Place of Commencement.

EXCEPTING THEREFROM THE FOLLOWING:

Part of the West Half of the Northeast Quarter and part of the East Half of the Northwest Quarter of Section 3, Township 12 North, Range 4 East:

Commencing at a point located 1258.35 feet East of the Southwest Quarter of the East Half of the Northwest Quarter on the South line thereof; thence North 13 degrees 38 minutes 23 seconds West a distance of 442.96 feet on and along a line parallel with the West Property line of U.S. Highway 31 to the Point of Beginning; thence continuing North 13 degrees 38 minutes 23 seconds West parallel with said West Right-of-way of said highway a distance of 35.04 feet; thence East a distance of 290.40 feet to said West Right-of-way line of said highway; thence Southeast upon and along said Right-of-way line of said highway a distance of 35.04 feet; thence West a distance of 290.40 feet to the Place of Beginning, containing 0.2273 acres, more or less.

I further certify that points were found or set at the locations on the subject real estate, as shown, and that this survey correctly shows the location of all visible easements of which the undersigned has been advised, and all visible encroachments, if any, across the established survey lines.

2016 ALTA/NSPS LAND TITLE SURVEY CERTIFICATION

To ZBS Franklin Real Estate, LLC; ZBS Franklin Real Estate II, LLC; and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7a, 7b1, 8, 9, 11, 13, 16, 17, 18, 19 and 20 of Table A thereof.

The field work was completed on February 13, 2018

Date of Plat or Map, February 20, 2018

Jonathan E. Hause, P.L.S.
Professional Land Surveyor
Indiana No. LS20600040



This Document was prepared by Jonathan E. Hause, P.S. 20600040 on February 20, 2018.

I affirm, under penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law.

SURVEYOR'S REPORT

In accordance with Title 865, Article 1, Rule 12, of the Indiana Administrative Code (formerly Title 864, Article 1.1, Chapter 13), establishing minimum standards for the practice of land surveying in Indiana, currently in effect, the following observations and opinions are submitted regarding the various uncertainties in the location of the lines and corners established on this survey as a result of:

- a) Variances in the reference monuments;
- b) Discrepancies in record descriptions and plats;
- c) Inconsistencies in lines of occupation;
- d) Random Errors in Measurement (Relative Positional Accuracy):

The purpose of this survey was to retrace and monument the ZBS Franklin Real Estate, LLC Parcel described in Instrument Number 2017-020940 and the ZBS Franklin Real Estate II, LLC Parcel described in Instrument Number 2018-000657, both as recorded in the Office of the Recorder of Johnson County, Indiana per instructions from the client.

- The survey was controlled by the following monuments:
- 1.) The monuments called for as found or set on a Survey by Mr. Brian C. Rismiller, P.S. 202000083, dated November 9, 2016. Uncertainty in these monuments - 0.50 feet.
 - 2.) The monuments called for as found or set on a Survey by Mr. James A. Factanini, P.S. 21400003, dated October 31, 2017. Uncertainty in these monuments - 0.50 feet.
 - 3.) A 5/8-inch diameter rebar with plastic cap stamped "FECO" was found marking the Northeast corner of said ZBS Franklin Real Estate, LLC Parcel. This monument appears to have been set by Survey, however, none was found. Uncertainty in this monument - 0.75 feet.
 - 4.) A 5/8-inch diameter rebar with plastic cap stamped "FECO" was found marking the Northwest corner of said ZBS Franklin Real Estate, LLC Parcel. This monument appears to have been set by Survey, however, none was found. Uncertainty in this monument - 0.75 feet.

The basis of bearings for this survey is based upon GPS Observations performed on February 13, 2018, with the West line of U.S. Highway 31, bearing South 16 degrees 05 minutes 49 seconds East.

- Discrepancies in record descriptions and plats are as follow:
- 1.) The Record Descriptions contained in both parcels call for the East-West line 290.4 feet. This distance measures 292.47 feet between found monuments. These monuments agree with the current lines of occupation. This creates a deed discrepancy of 2.07 feet.

There are no inconsistencies in lines of occupation.

As a result of the above observations, it is my opinion that the uncertainties in locations of the lines and corners established on this survey are as follows:

- a) Variance in reference monuments: As Noted Above
- b) Discrepancies in record descriptions and plats: As Noted Above
- c) Inconsistencies in lines of occupation: Negligible
- d) Relative Positional Accuracy (RPA) of the corners of the subject tract established by this survey is within the specifications of an urban survey (+/- 0.06 feet plus 50 parts per million) as defined in I.A.C. 865.

NOTES:

- 1.) All Improvements shown hereon are as they were located on February 13, 2018.
- 2.) This Document contains Three (3) Pages, all are required for this to be a Survey.

105 N. MERIDIAN ST.
LEBANON, IN 46052
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INFO@HAUSESURVEYINGANDENGINEERING.COM

HAUSE SURVEYING & ENGINEERING

HAUSE

A SERVICE DISABLED VETERAN
OWNED SMALL BUSINESS

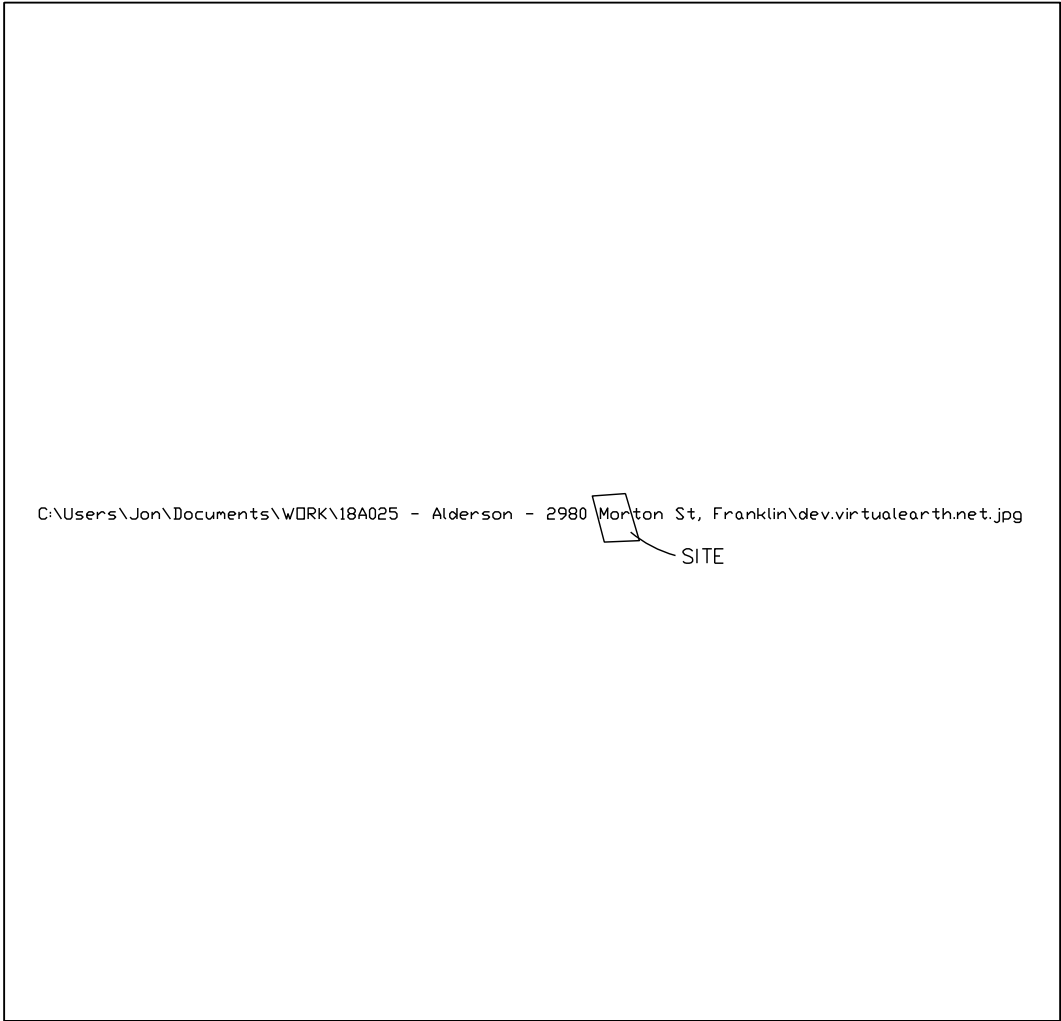
Revisions		Date		No.	
ALTA/NSPS LAND TITLE SURVEY		ZBS FRANKLIN REAL ESTATE, LLC PT. N 1/2, SEC. 3, T12N, R4E, CITY OF FRANKLIN, JOHNSON CO., IN			
SHEET NO.		2			
		OF 3 SHEETS			
PROJECT NO.		18A025			

ADDITIONAL ITEM:

- 1.) This Survey is based upon Title Commitment Policy No. 853771 and Title Commitment Policy NO. 868565B1, both by First American Title Insurance Company.
- 2.) These parcels do not lie within a Special Flood Hazard Zone "A" per the Flood Rate Insurance Map (FIRM) panel 18081C0139D, dated August 2, 2007.
- 3.) There is evidence of recent earth moving work located South of the silt fence on the Southern portion of the Subject Parcel.
- 4.) There appear to be no plans for changes to the street right-of-way lines by the City of Franklin, or the State of Indiana.
- 5.) No Wetland Delineation markers were found during the process of conducting the field work.

AREA MAP

NO SCALE



POLICY NO. 853771 O SCHEDULE B - PART II ITEMS:

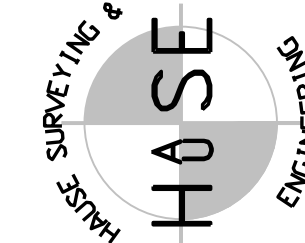
- 1.) This Items is Not a Survey Issues.
- 2.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 839, is located along the Western line of the ZBS Franklin Real Estate II, LLC Parcel as shown hereon.
- 3.) The 20 foot wide Utility Easement and Right-of-way recorded March 29, 2007 in Instrument Number 2007-007827, is located along the Eastern line of the entire ZBS Franklin Real Estate LLC Parcel as shown hereon.
- 4.) The 30 foot wide Ingress/Egress Easement recorded May 3, 2007 in Instrument Number 2007-011167, is located from the South line of the ZBS Franklin Real Estate Parcel to the center of Branigan Road along the Western lines of the adjoining parcels.
- 5.) The H O Canary Drain does not appear to be located on the Subject Parcel.
- 6.-9.) These Items are Not Survey Issues.
- 10.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 839, is located along the Western line of the ZBS Franklin Real Estate II, LLC Parcel as shown hereon.
- 11.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 841, is located along the Western line of the First Financial Barn Parcel 2 as shown hereon.
- 12.-14.) These Items are Not Survey Issues.

POLICY NO. 868565B1 SCHEDULE B - PART II ITEMS:

- 1.) This Items is Not a Survey Issues.
- 2.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 839, is located along the Western line of the ZBS Franklin Real Estate II, LLC Parcel as shown hereon.
- 3.) The 30 foot wide Ingress/Egress Easement recorded May 3, 2007 in Instrument Number 2007-011167, is located from the South line of the ZBS Franklin Real Estate Parcel to the center of Branigan Road along the Western lines of the adjoining parcels.
- 4.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 841, is located along the Western line of the First Financial Barn Parcel 2 as shown hereon.
- 5.) The H O Canary Drain does not appear to be located on the Subject Parcel.
- 6.-7.) These Items are Not Survey Issues.

NOTES:

- 1.) All Improvements shown hereon are as they were located on February 13, 2018.
- 2.) This Document contains Three (3) Pages, all are required for this to be a Survey.



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A SERVICE DISABLED VETERAN
OWNED SMALL BUSINESS

DRAWN BY: DRH
CHECKED BY: JEH
DATE: 2/20/2018
SCALE: 1" = 50'

Revisions		Date	No.

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