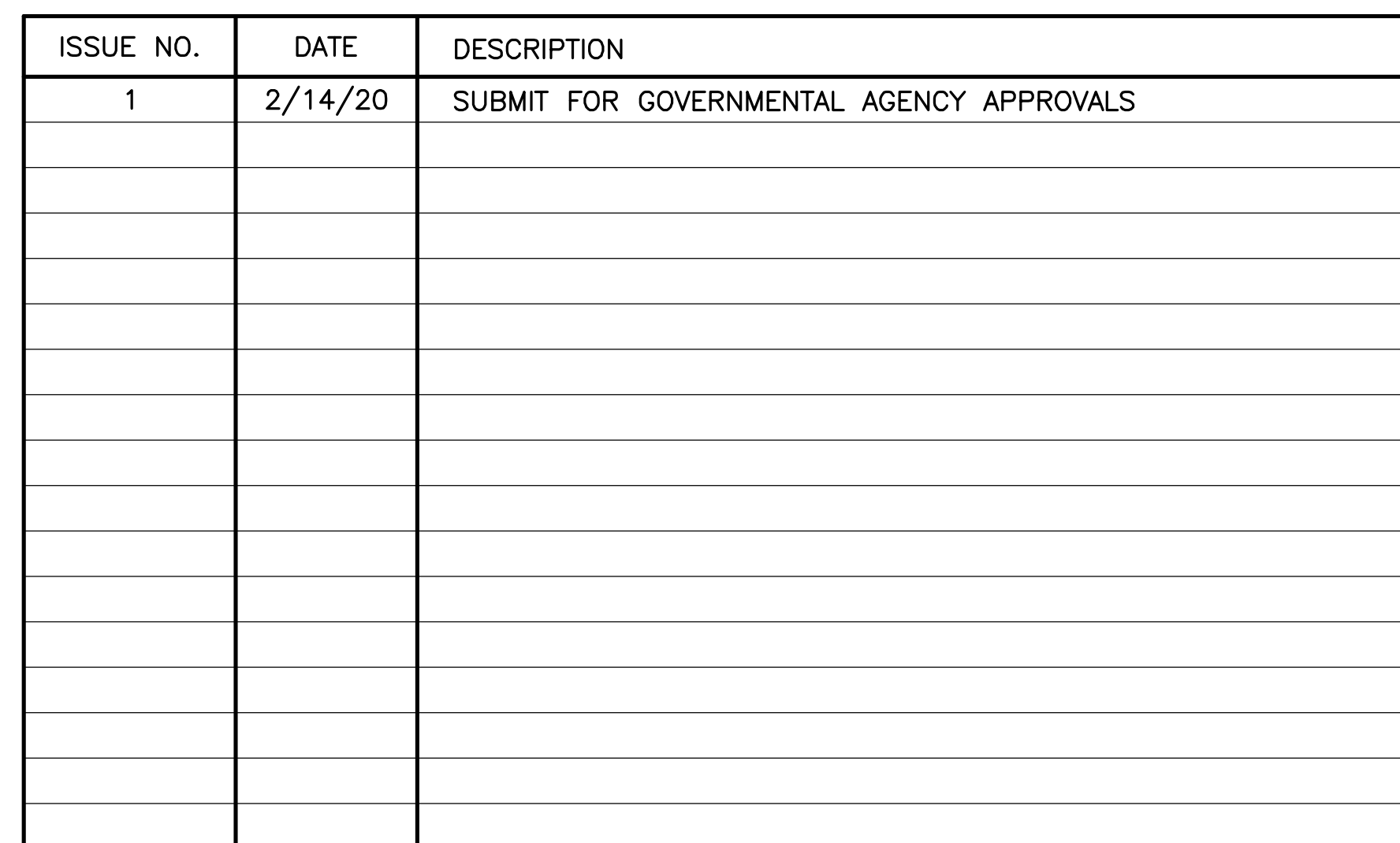
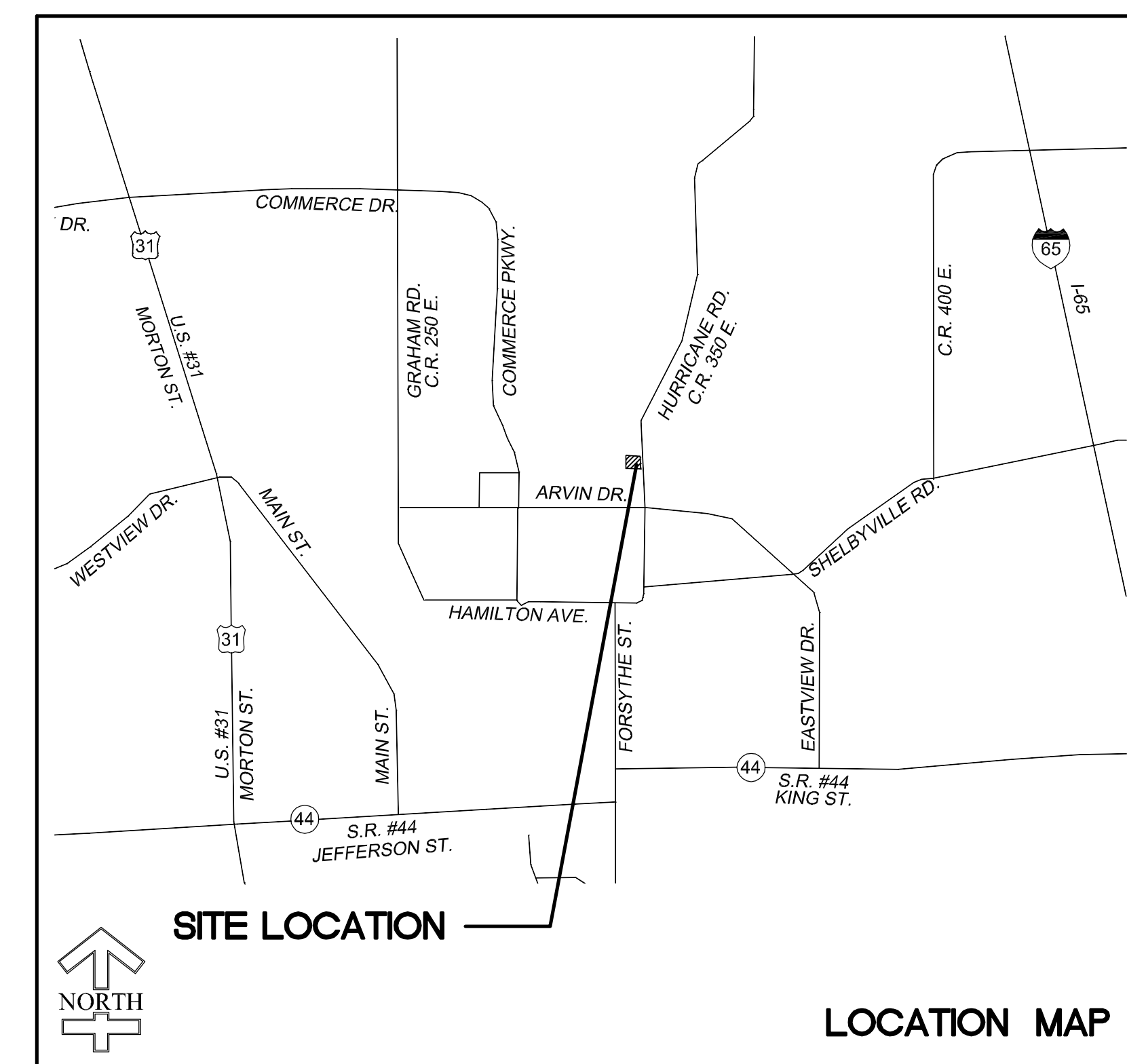


PREPARED FOR:
S & D PROPERTY'S LLC
4983 WEST ROAD 100 NORTH,
BARGERSVILLE, IN 46106
PHONE: 317-308-9025

PREPARED FOR:
S & D PROPERTY'S LLC
4983 WEST ROAD 100 NORTH,
BARGERSVILLE, IN 46106
PHONE: 317-308-9025

[illegible]

**SITE ADDRESS: 1691 AMY LN.
FRANKLIN, IN 46131**

DATES:

EST. PROPOSED START DATE: SPRING 2020
EST. COMPLETION DATE: FALL 2020

USE:

PROPOSED USE: INDUSTRIAL BUSINESS
EXISTING ZONING: IBD

UTILITY CONTACT INFORMATION

SANITARY SEWERS
FRANKLIN PUBLIC WORKS
796 SOUTH STATE ST.
FRANKLIN, IN 46131
PHONE #: (317) 736-3640
CONTACT: SALLY BROWN
SBROWN@FRANKLIN.IN.GOV

ELECTRIC
DUKE ENERGY
2515 N. MORTON ST.
FRANKLIN, IN 46131
PHONE #: (317) 736-2014
CONTACT: REECE HEILERS
REECE.HEILERS@DUKE-ENERGY.COM

TELEPHONE
CENTURYLINK
1147 NORTH MORTON STREET
FRANKLIN, IN 46131
PHONE #: (317) 736-4863
CONTACT: JOHN C. UNVERFERT
JOHN.C.UNVERFERT@CENTURYLINK.COM

TELEPHONE
METRONET
111 COMMERCE DRIVE
FRANKLIN, IN 46131
PHONE #: (317) 465-1046
CONTACT: CHRISTOPHER BLUTO
CHRISTOPHER.BLUTO@METRONETINC.COM

WATER
INDIANA—AMERICAN WATER CO.
153 N. EMERSON AVE.
GREENWOOD, IN 46143
PHONE #: (317) 893-3560
CONTACT: ADAM BOONE
ADAM.BOONE@AMWATER.COM

CABLE
COMCAST
1600 WEST VERNAL PIKE
BLOOMINGTON IN 47404
PHONE #: (812) 355-7822
CONTACT: STEVE MCARTOR
STEVE_MCARTOR@CABLE.COMCAST.COM

GAS
VECTREN ENERGY
600 INDUSTRIAL DRIVE
FRANKLIN, IN 46131
PHONE #: (317) 776-5585
CONTACT: RANDY CRUTCHFIELD
RCRUTCHFIELD@VECTREN.COM

LEGAL DESCRIPTION

LOT NUMBER THIRTEEN (13) IN HURRICANE INDUSTRIAL PARK, SECTION 3, A SUBDIVISION IN JOHNSON COUNTY, INDIANA, AS PER PLAT THEREOF RECORDED DECEMBER 14, 2005 IN PLAT BOOK D, PAGES 619A-B; SCRIVENERS CORRECTION RECORDED JUNE 1, 2011 AS INSTRUMENT NUMBER 2011-010796, IN THE OFFICE OF THE RECORDER OF JOHNSON COUNTY, INDIANA.

FLOOD ZONE DESIGNATION

THIS LOT LIES ENTIRELY IN FLOOD HAZARD ZONE X (AREA OUTSIDE 500 YR. FLOODPLAIN) AS SCALE FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR JOHNSON COUNTY, INDIANA, COMMUNITY NUMBER, 18081, PANEL NUMBER, 0231 D. DATED 8/2/07

BENCHMARKS:

SITE ELEVATIONS ARE BASED ON GPS GEOID "G2012bu7" USING A PROJECTION OF "INDIANA EAST" AND DATUM NAD83 NO TRANS.

ONSITE BENCHMARK - ELEVATION 742.82 (NAVD 1983)
METAL REBAR FOUND FLUSH IN THE PAVEMENT, 39.8' EAST OF INTERSECTION OF
HURRICANE ROAD AND AMY LANE

PROPERTY LINES, DIMENSIONS AND EASEMENTS ARE PER THE PLAT OF HURRICANE INDUSTRIAL PARK - SECTION THREE PREPARED BY FRANKLIN ENGINEERING COMPANY, DATED DECEMBER 14, 2006, RECORDED AS INSTRUMENT NUMBER 2005-034659, PLAT BOOK D, PAGES 619 A&B, IN THE OFFICE OF THE RECORDER OF JOHNSON COUNTY, INDIANA. ALSO PER SCRIVENERS CORRECTION RECORDED JUNE 1, 2011 AS INSTRUMENT NUMBER 2011-010796, RECORDED IN SAID RECORDERS OFFICE

TOPOGRAPHICAL INFORMATION, INCLUDING UTILITIES, ARE PER THE TOPOGRAPHIC SURVEY PREPARED BY PROJECTS PLUS

CERTIFIED BY:

Jeffery K. Smith 2/14/20
JEFFERY K. SMITH
REGISTERED ENGINEER NO. 19419
STATE OF INDIANA



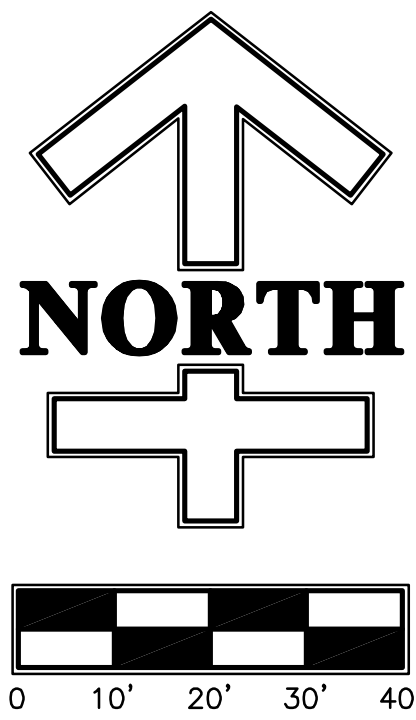
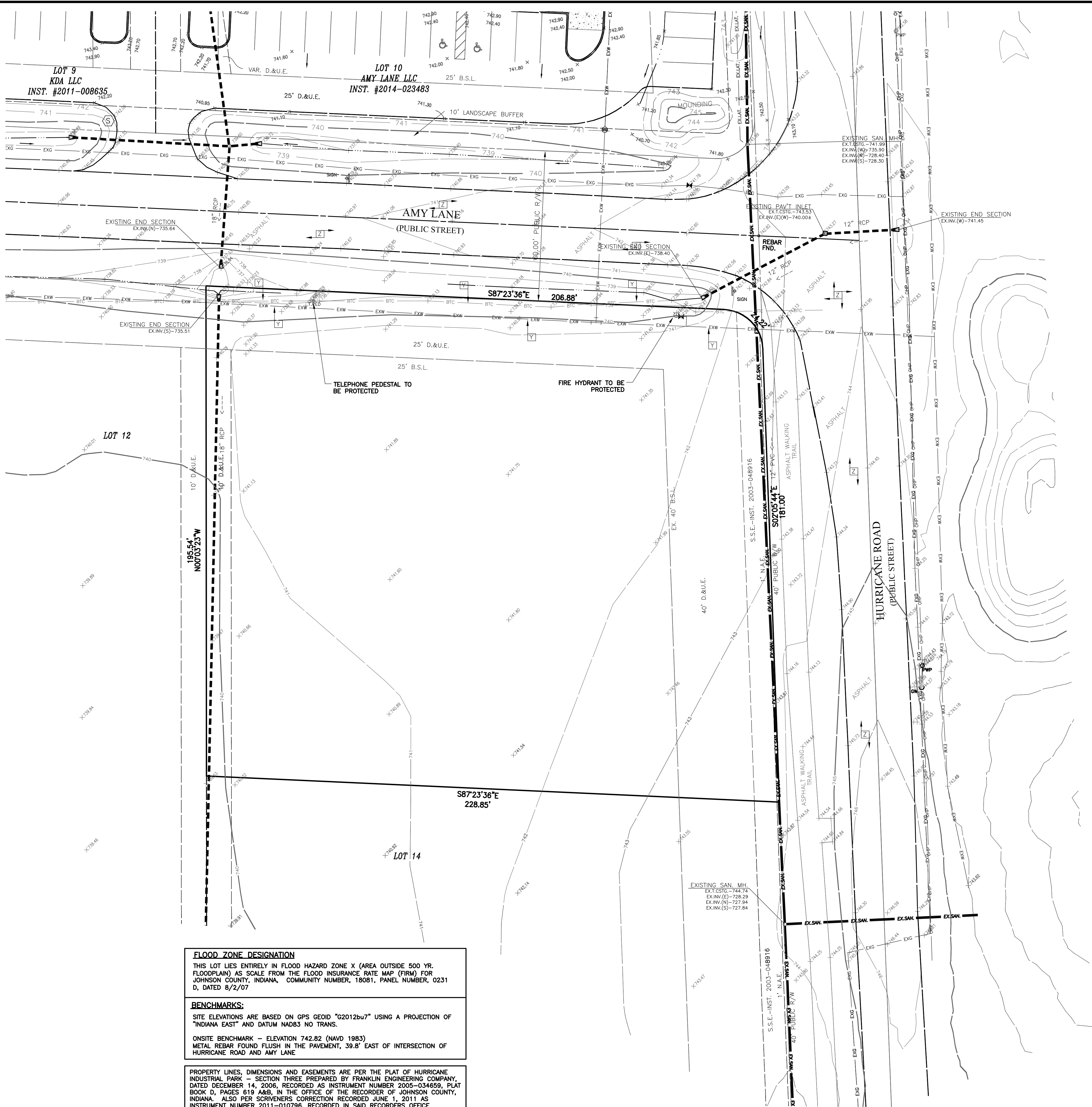
PREPARED BY:

PROJECTS *plus*

GREENWOOD SURVEYING COMPANY

CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING - CONSTRUCTION MANAGEMENT
2650 Fairview Place Suite W - Greenwood, Indiana 46142
(317)-882-5003

SHEET **C101**
JOB # 19028



- DEMOLITION PLAN NOTES**
1. NOTIFY ENGINEER IMMEDIATELY IF THERE ARE QUESTIONS REGARDING THE DRAWINGS AND/OR THE SPECIFICATIONS, OR IF THERE ARE ANY CONFLICTS BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS.
 2. ALL PERIMETER EROSION CONTROL AND/OR CONSTRUCTION FENCING SHALL BE IN PLACE PRIOR TO ANY SOIL DISTURBANCE
 3. THE EXISTING UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND PROJECTS PLUS MAKES NO GUARANTEES THAT THE UTILITY INFORMATION SHOWN COMPRISES ALL SUCH UTILITIES IN THE AREA, IN SERVICE OR ABANDONED. PROJECTS PLUS FURTHER STATES THAT THE UNDERGROUND UTILITY DATA SHOWN DOES NOT INDICATE PRECISE LOCATIONS. ANY CONTRACTOR DOING ANY EXCAVATION WILL CALL IN THEIR OWN UTILITY LOCATES PRIOR TO COMMENCING WORK. ANY DAMAGE SHALL BE REPAIRED TO SATISFACTION OF STORAGE EXPRESS AND OPERATING AUTHORITY AT NO COST TO STORAGE EXPRESS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UNDERGROUND UTILITIES TO BE REMOVED, RELOCATED OR ABANDONED PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
 4. THE CONTRACTOR SHALL COORDINATE WORK ASSOCIATED WITH THE REMOVAL, RELOCATION OR ABANDONMENT OF UTILITIES WITH THE UTILITY COMPANY OR ENTITY HAVING OWNERSHIP OF EACH RESPECTIVE UTILITY. COSTS FOR DISCONNECTION, REMOVAL, AND/OR RELOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS OR AS NECESSARY TO ALLOW FOR EXECUTION OF THE WORK SHALL BE PAID BY THE CONTRACTOR.
 5. ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL OR SHOULD THEY INTERFERE WITH PROJECT CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN. ALL UTILITIES WITHIN THE PROPOSED BUILDING FOOTPRINT WILL BE REMOVED UNLESS OTHERWISE NOTED.
 6. REMOVE EXISTING UTILITIES ONLY AFTER CRITICAL NEW SYSTEMS ARE IN PLACE AND OPERATIONAL (I.E. STORM DRAINAGE, SERVICES TO EXISTING STRUCTURES). IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE PROPER REMOVAL, INCLUDING SAFE SEQUENCING OF REMOVAL FOR UTILITIES. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
 7. THE OWNER HAS FIRST SALVAGE RIGHTS ON ALL ITEMS REMOVED. IF OWNER FORFEITS RIGHTS THEN ALL DEMOLISHED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF OFF-SITE UNLESS OTHERWISE SHOWN.
 8. UNLESS SCHEDULED FOR DEMOLITION ON THE DRAWINGS, ALL TREES AND VEGETATION SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE PROJECT. PROTECTIVE MEASURES SHALL INCLUDE INSTALLATION AND MAINTENANCE OF TREE PROTECTION FENCING TO BE LOCATED WHERE SHOWN AND AT THE DRIPLINE OF ALL TREES LOCATED WITHIN CLOSE PROXIMITY OF AREAS WHERE HEAVY EQUIPMENT WILL OPERATE.
 9. A CLEAN, STRAIGHT EDGE SHALL BE SAWCUT BETWEEN ALL CONCRETE AND ASPHALT SURFACES SCHEDULED FOR DEMOLITION AND CONCRETE AND ASPHALT SURFACES TO REMAIN IN-PLACE. TERMINAL ENDS OF UNDERGROUND UTILITIES ABANDONED IN-PLACE SHALL BE CUT, CAPPED AND PLUGGED. THE ENDS OF DISCONNECTED UNDERGROUND UTILITIES SHALL BE MARKED FOR FUTURE IDENTIFICATION WITH DETECTABLE LOCATOR TAPE OR A METAL ROD.
 9. ALL FOUNDATIONS, SLABS, STRUCTURAL STEEL, MASONRY, SIDEWALKS, RETAINING WALLS, CURBS, APPARATUSES, ETC., WITHIN THE DESIGNATED DEMOLITION LINES SHALL BE DEMOLISHED ACCORDING TO SPECIFICATIONS. ALL DEMOLITION WITHIN PROPOSED FOOTPRINT SHALL BE COORDINATED WITH THE BUILDING DRAWINGS. NO OPEN BURNING SHALL BE PERMITTED ON THE SITE.
 10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SAFE ACCESS FOR PEDESTRIANS AND VEHICLE TRAFFIC. THE CONTRACTOR WILL MAINTAIN ALL UTILITY SERVICES TO ALL BUSINESSES. IF UTILITY SERVICES MUST BE INTERRUPTED, THE CONTRACTOR SHALL COORDINATE THAT SHUTDOWN TO MINIMIZE IMPACT TO THE BUSINESSES AND EXISTING FACILITIES. COORDINATE SHUTDOWN AT LEAST ONE WEEK IN ADVANCE WITH BUSINESS OWNERS REPRESENTATIVE AND FACILITY MANAGER.
 11. MANHOLES, CATCH BASINS, CLEANOUTS, VALVE BOXES, FRAMES COVERS AND GRATES REMAINING IN USE SHALL BE PROTECTED AND ADJUSTED TO FINAL GRADES.
- NOTICES AND PERMITS**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY OR STATE AGENCIES PRIOR TO STARTING ANY CONSTRUCTION.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING ANY CONSTRUCTION.
 3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

EXISTING KEYNOTE LEGEND:

- EXISTING UTILITIES TO BE PROTECTED
- EXISTING ASPHALT TO BE PROTECTED

LEGEND :

- EXISTING SANITARY SEWER W/ MANHOLE
- EXISTING STORM SEWER W/ END SECTION, DITCH INLET AND PAVEMENT INLET
- EXISTING WATER LINE W/ FIRE HYDRANT
- EXISTING GAS LINE
- EXISTING BURIED ELECTRIC CABLE
- EXISTING BURIED TELEPHONE CABLE
- EXISTING OVERHEAD POWERLINE
- EXISTING UTILITY POLE
- EXISTING PEDESTAL
- EXISTING MAILBOX
- EXISTING TRAFFIC SIGN
- EXISTING AREA LIGHT
- EXISTING TREELINE
- EXISTING CHAINLINK FENCE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR LINE



CALL 2 HOURS BEFORE YOU DIG
THIS DRAWING/COMPUTER FILE IS THE PROPERTY OF PROJECTS PLUS
ANY REPRODUCTION OR REUSE OF THIS DOCUMENT WITHOUT WRITTEN
PERMISSION FROM PROJECTS PLUS IS PROHIBITED. ANY PERSON OR ENTITY
USING THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THE PROJECT
FOR WHICH IT WAS ORIGINALLY INTENDED, WITH OR WITHOUT PERMISSION
FROM PROJECTS PLUS, BY ITS USE AGREES TO INDEMNIFY AND HOLD
HARMLESS PROJECTS PLUS FROM ANY LOSS, INCLUDING BUT NOT LIMITED
TO ATTORNEY'S FEES, OCCURRING FROM THEIR USE.

FLOOD ZONE DESIGNATION
THIS LOT LIES ENTIRELY IN FLOOD HAZARD ZONE X (AREA OUTSIDE 500 YR. FLOODPLAIN) AS SCALE FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR JOHNSON COUNTY, INDIANA, COMMUNITY NUMBER, 18061, PANEL NUMBER, 0231 D, DATED 8/2/07

BENCHMARKS:
SITE ELEVATIONS ARE BASED ON GPS GEOID "G2012bu7" USING A PROJECTION OF "INDIANA EAST" AND DATUM NAD83 NO TRANS.
ONSITE BENCHMARK - ELEVATION 742.82 (NAVD 1983)
METAL REBAR FOUND FLUSH IN THE PAVEMENT, 39.8' EAST OF INTERSECTION OF HURRICANE ROAD AND AMY LANE

PROPERTY LINES, DIMENSIONS AND EASEMENTS ARE PER THE PLAT OF HURRICANE INDUSTRIAL PARK - SECTION THREE PREPARED BY FRANKLIN ENGINEERING COMPANY, DATED DECEMBER 14, 2006, RECORDED AS INSTRUMENT NUMBER 2005-034859, PLAT BOOK D, PAGES 619 A&B, IN THE OFFICE OF THE RECORDER OF JOHNSON COUNTY, INDIANA. ALSO PER SCRIVENERS CORRECTION RECORDED JUNE 1, 2011 AS INSTRUMENT NUMBER 2011-010796, RECORDED IN SAID RECORDERS OFFICE

TOPOGRAPHICAL INFORMATION, INCLUDING UTILITIES, ARE PER THE TOPOGRAPHIC SURVEY PREPARED BY PROJECTS PLUS

DATE	
REVISION	
SYMBOL	
SCALE	1"=20'
DRAWN	JPH
CHECKED	JKS
CERTIFIED	JKS
PROJECT	ESI ELECTRIC INC., BUILDING AT HURRICANE INDUSTRIAL PARK - LOT 13
TITLE	CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA
EXISTING SITE PLAN	

PROJECTS plus
GREENWOOD SURVEYING COMPANY
CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING - CONSTRUCTION MANAGEMENT
2859 Fairview Plaza Suite 100 - Greenwood, Indiana 46142
(317)-882-5003

SEAL
JEFFERY K. SMITH
REGISTERED
No. 19419
STATE OF INDIANA
PROFESSIONAL ENGINEER
Jeffery K. Smith
2/14/20

JOB NUMBER
19028
SHEET

C201
DATE
FEBRUARY 14, 2020



LEGEND :

- | | |
|-----------|----------------------------------|
| — OHP — | EXISTING OVERHEAD POWER LINE |
| ← PMP | EXISTING UTILITY POLE W/ GUYWIRE |
| PED | EXISTING UTILITY PEDESTAL |
| MB | EXISTING MAILBOX |
| SIGN | EXISTING TRAFFIC SIGN |
| LIGHT | EXISTING AREA LIGHT |
| — X — X — | EXISTING CHAINLINK FENCE |
| B.S.L. | BUILDING SETBACK LINE |
| R/W | RIGHT-OF-WAY |

PROPOSED KEYNOTES:

- | | |
|---|---|
| A | RIGHT-OF-WAY PAVEMENT SECTION (7" BITUMINOUS OVER 8" STONE BASE) |
| B | HEAVY DUTY INTERNAL PARKING PAVEMENT SECTION (4" BITUMINOUS OVER 8" STONE BASE) |
| C | 4" WHITE PAVEMENT STRIPING |
| D | ADA BLUE HANDICAP PARKING STRIPING |
| E | ADA HANDICAP ACCESS RAMP |
| F | 6" EXTRUDED CONCRETE CURB |
| G | 4" CONCRETE SIDEWALK |
| H | LANDSCAPING AND LAWN |
| I | 'STOP' SIGN ON SQUARE POST |
| J | 'HANDICAP PARKING' SIGN ON SQUARE POST |
| K | PARKING BUMPER (STYLE BY OWNER/CONTRACTOR) |
| L | BIWHEEL RACK, FOR A MINIMUM OF TWO BIWHEELS |
| M | 7" CLASS "A" CONCRETE OVER 4" COMPACTED STONE BASE |

EXISTING KEYNOTES:

- 2 EXISTING ASPHALT PAVEMENT (PROTECT)**

SITE DATA:

GENERAL:

BUILDING AREA - 5,760 S.F.
SITE AREA - 1.009 AC.
PROPOSED IMPERVIOUS IMPROVEMENTS - 0.726 AC.

REQUIRED PARKING DATA:

PER CITY COMMERCIAL ZONING ORDINANCE SEC. 7.10
PARKING STANDARDS
1 PER 300 S.F. OF OFFICE SPACE
REQUIRED PARKING: 1,440 S.F. / 300 = 5 SPACES
NOTE: ADDITIONAL UNSTRIPPED PARKING IN REAR OF
BUILDING FOR EMPLOYEES

PROPOSED PARKING DATE:

STANDARD PARKING: 6 SPACES (10'x20')
HANDICAP PARKING: 1 SPACE (12'x20')
TOTAL PARKING: 7 SPACES

ZONING DATA:

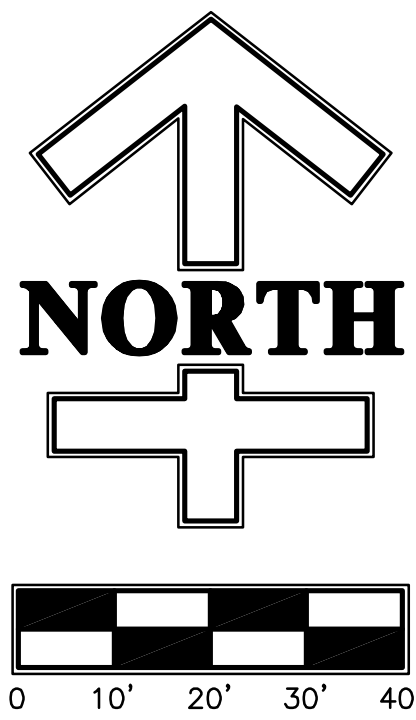
PROPOSED USE: INDUSTRIAL
ZONING DISTRICT: IBD (INDUSTRIAL: BUSINESS
DEVELOPMENT)

ADJACENT ZONING CLASSIFICATIONS:

NORTH: IBD (INDUSTRIAL: BUSINESS DEVELOPMENT)
WEST: IL (INDUSTRIAL: LIGHT)
SOUTH: IBD (INDUSTRIAL: BUSINESS DEVELOPMENT)
EAST: PUD (PLANNED UNIT DEVELOPMENT - USE: GOLF COURSE)

BUILDING SETBACK

FRONT: 50' (HURRICANE RD.) - 25' (AMY LANE)
SIDE: 25'
REAR: 25'



GENERAL NOTES:

1. CONTRACTOR SHALL RECOGNIZE RESPECTIVE WORK AND RESPONSIBILITY TO VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. NOTIFY ARCHITECT/ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUAINT HIMSELF WITH SUBSOLL CONDITIONS.
 3. THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE CONTRACT AREA. THE CONTRACTOR, ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES, PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS, SHALL BE RESPONSIBLE TO VERIFY THE ACCURACY OF THE INFORMATION IS NOT GUARANTEED.
 4. CONTRACTORS SHALL CONSULT ARCHITECTURAL, PLUMBING AND ELECTRICAL PLANS FOR: INVERT ELEVATIONS AND EXACT LOCATION OF EXISTING WATER, GAS, SEWER, AND TELEPHONE LINES, GAS PIPES, AND BUILDING DIMENSIONS.
 5. ALL PAVEMENT PATCHING DUE TO UTILITIES INSTALLATION; CONSTRUCTION OF CURBS, ETC., OR DAMAGE TO EXISTING PAVEMENT DUE TO CONSTRUCTION OF UTILITIES SHALL BE PATCHED WITH A PAVEMENT SECTION WHICH MEETS OR EXCEEDS JOHNSON COUNTY STANDARDS AS APPROVED BY THE ENGINEERING DEPARTMENT.
 6. ALL GRASS AND/OR SHRUBBERY DISTURBED BY NEW CONSTRUCTION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
 7. ALL EXISTING MANHOLE AND CATCH BASIN GRATES, WATER OR GAS VALVES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATION
 8. ALL PIPE LENGTHS SHOWN ON DRAWINGS ARE FOR HYDRAULIC CALCULATION PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE EXACT LENGTHS REQUIRED FOR ACTUAL INSTALLATION.
 9. CONSTRUCTION OF ALL SEWER LINES AND STRUCTURES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE CODE, RULES AND REGULATIONS
 10. WHERE WATER LINES AND SEWERS CROSS AND THE WATER LINE CANNOT BE MOVED OR DEPTHER, THE SEWER SHALL BE CONSTRUCTED WITH 18" VERTICAL CLEARANCE. THE SEWER MUST BE CONSTRUCTED OF WATER WORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR PLASTIC (SDR 26) SCHEDULE 40 PIPE WITH GASKETED, COMPRESSION-TYPE JOINTS WITHIN 10' OF THE WATER LINE.
 11. WHERE WATER LINES AND SEWERS RUN PARALLEL, AND A MINIMUM SEPARATION DISTANCE OF 10' CANNOT BE MAINTAINED, THE SEWER MUST BE CONSTRUCTED OF WATER WORKS GRADE DUCTILE IRON PIPE WITH GASKETED JOINTS OR 12" (SDR 26) SEWER WITH GASKETED COMPRESSION-TYPE JOINTS.
 12. ANY FIELD TIES ENCOUNTERED DURING THE COURSE OF CONSTRUCTION SHALL BE PERPETUATED IN COMPLIANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.
 13. ALL STORM CASTINGS ARE TO BE OF THE "ENVIRONMENTAL" TYPE AND EMBOSSED WITH THE APPROPRIATE LANGUAGE AND SYMBOLS. USE NPDES PHASE III COMPLIANT CASTING (NOUP NO WASTE; DRAINS TO RIVER) WHERE AVAILABLE
 14. DIMENSIONS TO FACE OF CURB.
 15. CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED CONCRETE SIDEWALK OR CONCRETE CURB DISTRIBUTED BY CONSTRUCTION.
- NOTICES AND PERMITS**
1. THE CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING OR SECURING ALL NECESSARY PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY OR STATE AGENCIES PRIOR TO STARTING ANY CONSTRUCTION.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXISTING CONDITIONS AND OBTAIN ALL NECESSARY PERMITS FOR THE CONSTRUCTION AREA PRIOR TO STARTING ANY CONSTRUCTION.
 3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL RELEVANT UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

NOTICES AND PERMITS

1. THE CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY OR STATE AGENCIES PRIOR TO STARTING ANY CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING ANY CONSTRUCTION.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

FLOOD_ZONE DESIGNATION

THIS LOT LIES ENTIRELY IN FLOOD HAZARD ZONE X (AREA OUTSIDE 500 YR. FLOODPLAIN) AS SCALE FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR JOHNSON COUNTY, INDIANA, COMMUNITY NUMBER, 18081, PANEL NUMBER, 0231 D, DATED 8/2/07

BENCHMARKS:

SITE ELEVATIONS ARE BASED ON GPS GEOID "G2012bu7" USING A PROJECTION OF
"INDIANA EAST" AND DATUM NAD83 NO TRANS.

ONSITE BENCHMARK - ELEVATION 742.82 (NAVD 1983)
METAL REBAR FOUND FLUSH IN THE PAVEMENT, 39.8' EAST OF INTERSECTION OF
HURRICANE ROAD AND AMY LANE

PROPERTY LINES, DIMENSIONS AND EASEMENTS ARE PER THE PLAT OF HURRICANE INDUSTRIAL PARK - SECTION THREE PREPARED BY FRANKLIN ENGINEERING COMPANY, DATED DECEMBER 14, 2006, RECORDED AS INSTRUMENT NUMBER 2005-034659, PLAT BOOK D, PAGES 619 A&B, IN THE OFFICE OF THE RECORDER OF JOHNSON COUNTY, INDIANA. ALSO PER SCRIVENERS CORRECTION RECORDED JUNE 1, 2011 AS INSTRUMENT NUMBER 2011-010796, RECORDED IN SAID RECORDERS OFFICE

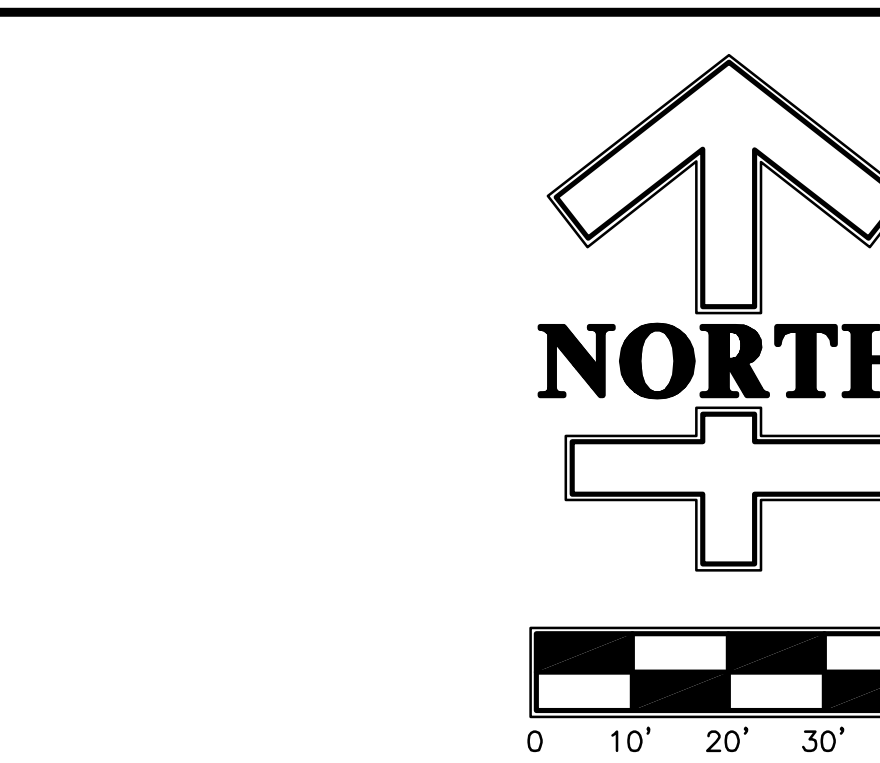
TOPOGRAPHICAL INFORMATION, INCLUDING UTILITIES, ARE PER THE TOPOGRAPHIC SURVEY PREPARED BY PROJECTS PLUS



**Know what's below.
Call before you dig.
"IT'S THE LAW"**
CALL 2 WORKING DAYS BEFORE YOU DIG

THIS DRAWING/COMPUTER FILE IS THE PROPERTY OF PROJECTS PLUS
ANY REPRODUCTION OR REUSE OF THIS DOCUMENT WITHOUT WRITTEN
PERMISSION FROM PROJECTS PLUS IS PROHIBITED. ANY PERSON OR ENT
USING THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THE PROJECT
FOR WHICH IT WAS ORIGINALLY INTENDED, WITH OR WITHOUT PERMISSION
FROM PROJECTS PLUS, BY ITS USE AGREES TO INDEMNIFY AND HOLD
HARMLESS PROJECTS PLUS FROM ANY LOSS, INCLUDING BUT NOT LIMITED
TO ATTORNEY'S FEES, OCCURRING FROM THEIR USE.

PROJECTS <i>plus</i> GREENWOOD SURVEYING COMPANY CIVIL ENGINEERING — LAND SURVEYING PLANNING — CONSTRUCTION MANAGEMENT 2659 Fairview Place Suite W — Greenwood, Indiana 46142 (317) — 892 — 5003		PROJECT ESI ELECTRIC INC., BUILDING AT HURRICANE INDUSTRIAL PARK — LOT 13 CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA		SCALE 1" = 20'	SYMBOL	REVISION	DATE
		TITLE GEOMETRIC PLAN		DRAWN JPH			
				CHECKED			
				JKS			
				CERTIFIED JKS			



1. CONTRACTOR SHALL RECOGNIZE RESPECTIVE WORK AND RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN ON PLANS, PAVEMENT, AND RECORDS. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUAINT HIMSELF WITH SUBSOIL CONDITIONS.
3. THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE CONTRACT AREA ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES. PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE UTILITIES ARE NOT TO BE RELIED UPON BY THE CONTRACTOR. THE ACCURACY OF INFORMATION IS NOT GUARANTEED.
4. CONTRACTORS SHALL CONSULT ARCHITECTURAL, PLUMBING AND ELECTRICAL PLANS FOR: INVERT ELEVATIONS AND EXACT LOCATION OF WATER, GAS, GAS LINES, TRANSFORMER'S PAD OR POLE, AND BUILDING DIMENSIONS.
5. ALL PAVEMENT PATCHING DUE TO UTILITIES INSTALLATION/ CONSTRUCTION OF CURBS, ETC., OR DAMAGE TO EXISTING PAVEMENT DURING CONSTRUCTION SHALL BE PATCHED WITH A PAVEMENT SECTION WITHIN THE CITY OR COUNTY STANDARDS AS APPROVED BY THE ENGINEERING DEPARTMENT.
6. ALL GRASS AND/OR SHRUBBERY DISTURBED BY NEW CONSTRUCTION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
7. ALL EXISTING MANHOLE AND CATCH BASIN GRATES, WATER OR GAS VALVES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATION.
8. ALL PIPE LENGTHS SHOWN ON DRAWINGS ARE FOR HYDRAULIC CALCULATION PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE EXACT LENGTHS REQUIRED FOR ACTUAL INSTALLATION.
9. CONSTRUCTION OF ALL SEWER LINES AND STRUCTURES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE CODE, RULES AND REGULATIONS.
10. WHERE WATER LINES AND SEWERS CROSS AND THE WATER LINE CANNOT BE PLACED ABOVE OR BELOW THE SEWER WITH A MINIMUM OF 18" VERTICAL CLEARANCE, THE SEWER SHALL BE MAINTAINED. THE SEWER MUST BE CONSTRUCTED OF WATER WORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR PLASTIC (SD 26) SEWER PIPE WITH GASKETED, COMPRESSION-TYPE JOINTS WITHIN 10' OF THE WATER LINE.
11. WHERE WATER LINES AND SEWERS RUN PARALLEL, THE SEWER MUST BE MAINTAINED IF 10' CANNOT BE MAINTAINED. THE SEWER MUST BE CONSTRUCTED OF WATER WORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR PLASTIC (SD 26) SEWER PIPE WITH GASKETED, COMPRESSION-TYPE JOINTS.
12. ANY FIELD FILES ENCOUNTERED DURING THE COURSE OF CONSTRUCTION SHALL BE PERPETUATED IN COMPLIANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.
13. ALL STORM CASTINGS ARE TO BE OF THE "ENVIRONMENTAL" TYPE AND EMBOSSED WITH THE APPROPRIATE LANGUAGE AND SYMBOLS. USE NPDES PHASE III COMPLIANT CASTINGS (DUMP NO WASTE; DRAINS TO RIVER) WHERE AVAILABLE.
14. CONTRACTOR TO CONTRACT ARCHITECTURAL/ OR DEVELOPER TO PROVIDE THE FOLLOWING: SIDEWALK OR CONCRETE CURB DISTRIBUTED BY CONSTRUCTION. CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED CONCRETE SIDEWALK OR CONCRETE CURB DISTRIBUTED BY CONSTRUCTION.

1. THE CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY OR STATE AGENCIES PRIOR TO STARTING ANY CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING ANY CONSTRUCTION.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

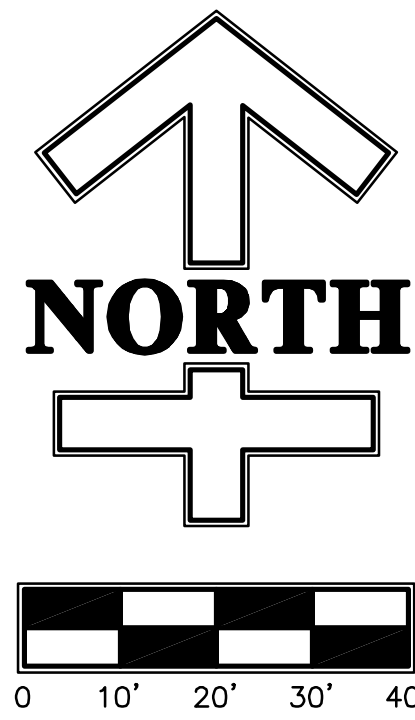
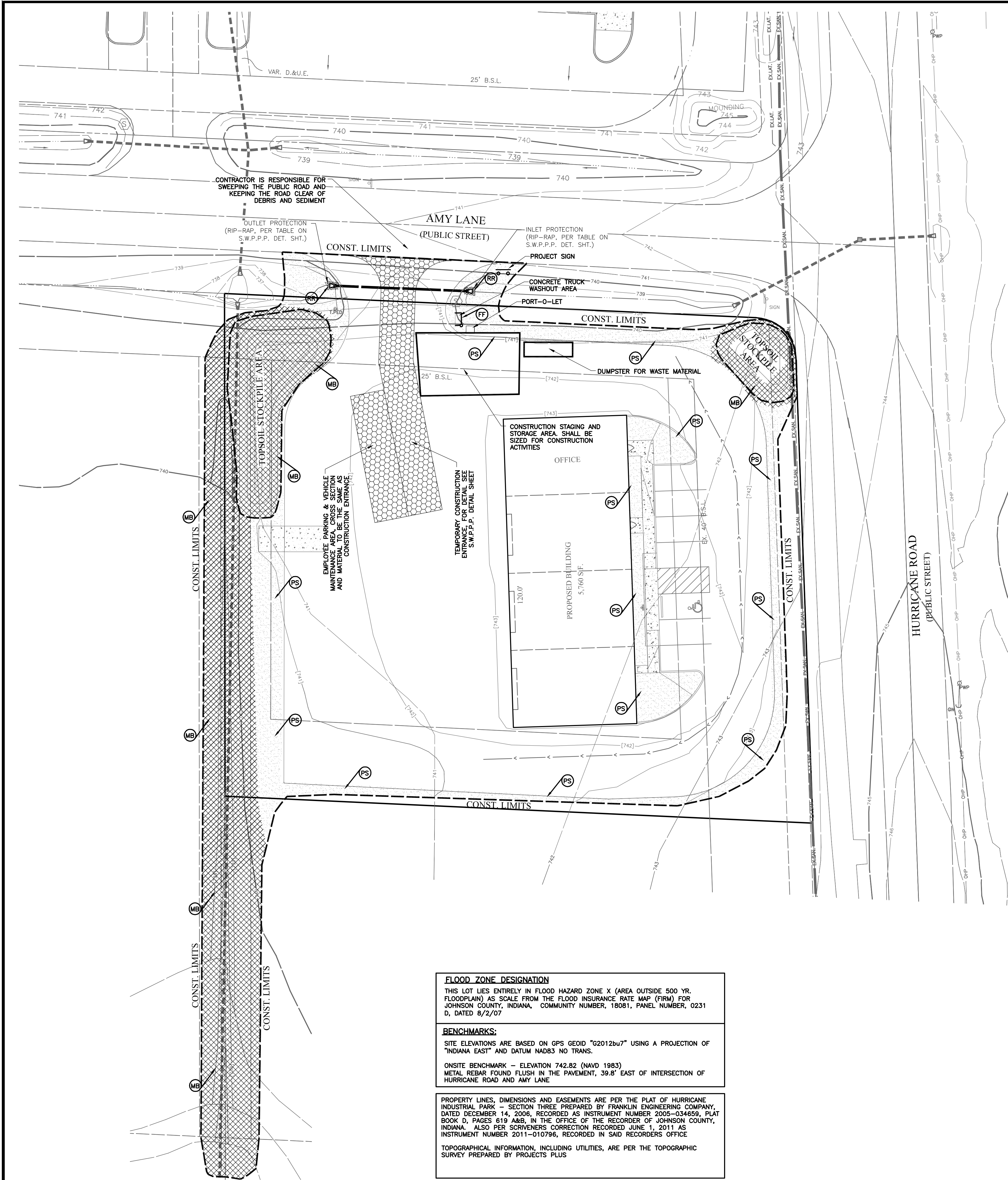


Know what's below.
Call before you dig
"IT'S THE LAW"

CALL 2 WORKING DAYS BEFORE YOU DIG

THIS DRAWING/COMPUTER FILE IS THE PROPERTY OF PROJECTS PLUS. ANY REPRODUCTION OR REUSE OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION FROM PROJECTS PLUS IS PROHIBITED. ANY PERSON OR ENTITY USING THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THE PROJECT FOR WHICH IT WAS ORIGINALLY INTENDED, WITH OR WITHOUT PERMISSION FROM PROJECTS PLUS, BY ITS USE AGREES TO INDEMNIFY AND HOLD HARMLESS PROJECTS PLUS FROM ANY LOSS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, OCCURRING FROM THEIR USE.

<h1>PROJECTS <i>plus</i></h1> <div> GREENWOOD SURVEYING COMPANY CIVIL ENGINEERING — LAND SURVEYING LAND PLANNING — CONSTRUCTION MANAGEMENT 2850 Fairview Place Suite W — Greenwood, Indiana 46142 (317) — 882-5003 </div>		PROJECT ESI ELECTRIC INC., BUILDING AT HURRICANE INDUSTRIAL PARK — LOT 13 CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA	SCALE 1" = 20'	SYMBOL	REVISION	DATE
		TITLE				
		GRADING PLAN				
			JKS			
			CERTIFIED			
			JKS			



NOTICES AND PERMITS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY OR STATE AGENCIES PRIOR TO STARTING ANY CONSTRUCTION.
- 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF ALL UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING ANY CONSTRUCTION.
- 3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

NOTES:

- 1. ALL EROSION CONTROL MEASURES INDICATED SHALL BE MAINTAINED BY THE CONTRACTOR AND OWNER.
- 2. THE CITY ENGINEER AND MS4/EROSION CONTROL INSPECTOR HAS THE RIGHT TO REVOKE ANY EROSION CONTROL MEASURES IN THE FIELD AS CONDITIONS WARRANT.
- 3. FOR EROSION CONTROL IMPLEMENTATION AND MAINTENANCE SCHEDULE SEE "EROSION CONTROL REQUIREMENTS" ON STORMWATER POLLUTION PREVENTION PLAN DETAIL SHEET.
- 4. ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL AND THE SCS FIELD OFFICE TECHNICAL GUIDE".

GENERAL NOTES:

- 1. ALL EROSION CONTROL MEASURES ARE REQUIRED TO BE PER INDIANA STORMWATER QUALITY MANUAL SPECIFICATION, DATED OCTOBER 2007, OR MOST CURRENT.
- 2. TEMPORARY SEEDING - THE AREAS WHERE STRIPPING, CUTS OR FILLS HAVE BEEN GRADED SHALL BE SEED FOR SLOTT AND EROSION PROTECTION SHALL BE AS PER I.S.W.Q.M. SPECIFICATIONS (TEMPORARY SEEDING). SEEDING SHALL BE WITH ONE OF THE FOLLOWING METHODS:
 - A. EARLY SPRING MIX: 100% SPRING DATS SEEDING RATE: 100 LBS./ACRE
 - B. SPRING OR LATE FALL MIX: 100% ANNUAL RYEGRASS SEEDING RATE: 40 LBS./ACRE
 - C. FALL MIX: 100% PERENNIAL RYE SEEDING RATE: 150 LBS./ACRE
- 3. MULCHING - MULCHING IS REQUIRED FOR ALL TEMPORARY AND PERMANENT SEEDING AREAS AS TO PREVENT REMOVAL BY WIND OR WATER. MULCHING SHALL BE ANCHORED AS OUTLINED IN I.S.W.Q.M. SPECIFICATIONS (MULCHING), BY A COMBINATION OF THE FOLLOWING:
 - A. MULCH ANCHORING TOOL OR FARM DISK
 - B. CREATING WITH DOZER TRACKS
 - C. WOOD HYDROLOHIC FIBERS
 - D. SYNTHETIC TACKIFIERS, BINDER OR SOIL STABILIZERS
 - E. NETTING
- 4. EROSION CONTROL BLANKET/NETTING - BLANKET IS REQUIRED AT SLOPED AREAS AND CONVEYANCE CHANNELS TO PREVENT EROSION AND PROTECT SOIL AND SEEDING FROM WATER RUNOFF. EROSION CONTROL BLANKETS SHALL BE INSTALLED PER CURRENT I.S.W.Q.M. SPECIFICATIONS (SURFACE STABILIZATION).
- 5. WATER QUALITY MAINTENANCE - AT THE COMPLETION OF CONSTRUCTION ALL EXCESS SOIL AND OTHER MATERIAL SHALL BE REMOVED FROM THE SITE, TO ENSURE PROPER WATER QUALITY THE SITE AND ITS STORM WATER CONVEYANCE FACILITIES SHALL BE INSPECTED AT REGULAR INTERVALS AND AFTER ALL MAJOR RAIN EVENTS, THE STORM WATER CONVEYANCE SYSTEMS SHALL BE KEPT FREE OF DEBRIS AND FLUIDS THAT COULD POTENTIALLY POLLUTE STORM WATER RUNOFF.
- 6. PROJECT SITE OWNER OR THEIR REPRESENTATIVE, KNOWLEDGEABLE IN EROSION AND SEDIMENT CONTROL, SHALL INSPECT THE SITE FOR STORM WATER POLLUTION PREVENTION DEFICIENCIES AT LEAST WEEKLY AND AGAIN WITHIN 24 HOURS OF EVERY 1/2" INCH RAIN EVENT.
- 7. ALL HAZARDOUS MATERIALS USED DURING THE CONSTRUCTION OF THIS SITE SHALL BE HANDLED AT ALL TIMES ACCORDING TO RECOMMENDATIONS IN THE MATERIAL SAFETY DATA SHEETS PROVIDED BY THE MANUFACTURER. SITE CONTRACTOR TO IMPLEMENT A SPILL PREVENTION PLAN PRIOR TO START OF CONSTRUCTION.

- A SELF-MONITORING PROGRAM THAT INCLUDE THE FOLLOWING MUST BE IMPLEMENTED:
- A) A TRAINED INDIVIDUAL SHALL PERFORM A WRITTEN EVALUATION OF THE PROJECT SITE
- 1. BY THE END OF THE NEXT BUSINESS DAY FOLLOWING EACH MEASURABLE STORM EVENT AND
 - 2. AT LEAST ONE (1) TIME PER WEEK
- B) THE EVALUATION MUST ADDRESS:
- 1. THE MAINTENANCE OF EXISTING STORM WATER QUALITY MEASURES TO ENSURE THEY ARE FUNCTIONING PROPERLY AND
 - 2. IDENTIFY ADDITIONAL MEASURES NECESSARY TO REMAIN IN COMPLIANCE WITH ALL APPLICABLE STATUTES AND RULES.
- C) WRITTEN EVALUATION REPORTS MUST INCLUDE:
- 1. THE NAME OF THE INDIVIDUAL PERFORMING THE ACTION
 - 2. THE DATE OF THE EVALUATION
 - 3. PROBLEMS IDENTIFIED AT THE PROJECT SITE AND
 - 4. DETAILS OF CORRECTIVE ACTIONS RECOMMENDED AND COMPLETED.

LEGEND :

- PROPOSED STORM SEWER W/ END SECTION, DITCH INLET AND PAVEMENT INLET
- EXISTING STORM SEWER W/ END SECTION, DITCH INLET AND PAVEMENT INLET
- EXISTING SANITARY SEWER W/ MANHOLE
- EXISTING CONTOUR LINE
- DRAINAGE AND UTILITY EASEMENT
- PROPOSED FLOWLINE
- MULCH-SEEDING WITH NORTH AMERICAN GREEN D1-150 BLANKET OR EQUIVALENT (REQUIRED TO THE TOP OF BANKS FOR ALL SWALES)
- FILTER FENCE
- PERMANENT-SEEDING
- HAND LAID RIP-RAP REQUIRED
- EROSION CONTROL PROJECT SIGN: INCLUDES NO LITTER, NAME & PHONE NO. OF CONTACT PERSON, LOCATION OF CONSTRUCTION PLANS

INDEX OF REQUIRED INFORMATION FOR CONSTRUCTION
STORM WATER POLLUTION PREVENTION FOR
ESI ELECTRIC INC., BUILDING AT HURRICANE INDUSTRIAL PARK - LOT 13

EROSION CONTROL PLAN INDEX											
A1	ELEMENT	SHEET	A2	ELEMENT	SHEET	A3	ELEMENT	SHEET	A4	ELEMENT	SHEET
A1	C501	A12	N/A	A23	C401	B10	C501	C801			
A2	ATTACHED	A13	N/A	B1	C501	B11	C501	C801			
A3	C501	A14	C501	B1	C501	B12	C501	C801			
A4	C101	A15	C501	B2	C501	B13	C501	C801			
A5	C101	A16	C501	B3	C501	B14	C501	C801			
A6	C401	A17	C201	B4	C501	B15	C501	C801			
A7	C501	A18	C801	B5	C901	C1	C501				
A8	N/A	A19	C601	B6	C501	C2	A101				
A9	C501	A20	C401	B7	C501	C3	C801				
A10	N/A	A21	C501	B8	C501	C4	C801				
A11	C501	A22	C201	B9	N/A	C5	C501				

- A2. INCLUDED IN SUBMITTAL PACKET.
- A3. ESI ELECTRIC INC., BUILDING AT HURRICANE INDUSTRIAL PARK - LOT 13 IS LOCATED ON A TOTAL OF 1.0095 ACRES. THE CONSTRUCTION IMPROVEMENTS SHALL CONSIST OF DIRT WORK, ONE BUILDING, ASPHALT PAVEMENT, CONCRETE CURBS, STORM SEWER, AND UTILITY SERVICE LINES.
- A4. VICINITY MAP ON TITLE SHEET - SEE SHEET C101
- A5. LEGAL DESCRIPTION - NW 1/4, SEC. 12-T12N-R4E
- A6. LOTS AND IMPROVEMENTS SHOWN ON PROPOSED SITE CONDITIONS - SEE SHEET C401
- A7. HYDROLOGIC UNIT CODE: 05120204000050
- A8. NO STATE OR FEDERAL WATER QUALITY PERMITS ARE REQUIRED FOR THIS PROJECT.
- A9. THE STORMWATER WILL DISCHARGE ACROSS THIS SITE FROM EAST TO WEST INTO AN EXISTING DETENTION POND, THIS POND WILL RELEASE TO AN EXISTING STORM SEWER SOUTHEASTERLY. THIS PIPE ULTIMATELY DISCHARGES TO HURRICANE CREEK
- A10. NO WETLANDS EXIST ON SITE
- A11. RECEIVING WATERS: EXISTING POND, ULTIMATELY HURRICANE CREEK
- A12. WE ANTICIPATE NO POTENTIAL AREAS WERE DISCHARGE WILL ENTER GROUNDWATER.
- A13. NO 100 YEAR FLOODPLAINS, FLOODWAYS OF FLOODWAY FRINGES EXIST ON THIS SITE
- A14. PRE-CONSTRUCTION 10 YEAR OUTFLOW (OVERALL HURRICANE PARK PER FRANKLIN ENG. DRA. REP.)= 30 C.F.S.
- A15. POST-CONSTRUCTION 10 YEAR ROUTED OUTFLOW (OVERALL HURRICANE PARK PER FRANKLIN ENG. DRA. REP.)= 26 C.F.S.
- A16. LAND USE OF ADJACENT PROPERTIES:
 - NORTH: INDUSTRIAL
 - WEST: INDUSTRIAL
 - SOUTH: INDUSTRIAL
 - EAST: PUD/GOLF COURSE
- A17. BOUNDARY OF DISTURBED AREA SHOWN ON PLANS - SEE SHEET C501
- A18. EXISTING SITE IS A GRASS FIELD- SEE SHEET C201
- A19. SOIL MAP LOCATED ON STORMWATER POLLUTION PREVENTION DETAIL SHEET - SEE SHEET C801
- A20. LOCATION, SIZE AND DIMENSIONS OF STORM WATER SYSTEMS SHOWN ON UTILITY PLAN - SEE SHEET C501
- A21. OFFSITE CONSTRUCTION ACTIVITIES CONSISTS OF A DIRT SWALE TO THE EXISTING DETENTION POND AS SHOWN ON THE PROPOSED SITE CONDITIONS - SEE SHEET C401
- A22. SOIL STOCKPILE, BOTTOMROW AND DISPOSAL AREAS SHALL BE CONTAINED WITHIN THE CONSTRUCTION BOUNDARY AND INCLUDE PERIMETER PROTECTION, I.E. FILTER FENCE, AS SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEET C501
- A23. EXISTING SITE TOPOGRAPHY SHOWN ON EXISTING SITE CONDITION PLANS - SEE SHEET C201
- A24. EXISTING FINAL SITE TOPOGRAPHY SHOWN ON PROPOSED SITE CONDITION PLANS - SEE SHEET C401

- B1. POTENTIAL STORM WATER POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITY INCLUDE GASOLINE, OIL AND OTHER FLUIDS FROM CONSTRUCTION EQUIPMENT, CONCRETE, ASPHALT AND SEDIMENT LADEN RUNOFF. CONTRACTOR SHALL ESTABLISH AN EMPLOYEE PARKING AREA AND VEHICLE MAINTENANCE AREA AS SHOWN ON THE PLANS. A PROPER CONCRETE WASHOUT AREA SHALL ALSO BE ESTABLISHED AS SHOWN ON THE PLANS.
- B2. STORM WATER QUALITY MEASURES SHOWN ON PLANS - SEE GENERAL NOTE #5 THIS SHEET. IMPLEMENTATION SCHEDULE SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEET C801
- B3. CONSTRUCTION ENTRANCE LOCATION SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEETS C501, C801
- B4. SEDIMENT CONTROL MEASURES FOR SHEET FLOW SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEET C501
- B5. SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEET C501. CONTRACTOR TO GRADE DIVERSIONARY DITCHES TO CHANNEL WATER TO DETENTION PONDS AS CONSTRUCTION PROCEEDS SO THAT SEDIMENT IS NOT ALLOWED TO FLOW OFFSITE.
- B6. STORM SEWER INLET PROTECTION MEASURES SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEETS C501, C801
- B7. RUNOFF CONTROL MEASURES SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEETS C501, C801
- B8. STORM WATER OUTLET PROTECTION SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEETS C501, C801
- B9. NO GRADE STABILIZATION MEASURES ARE NECESSARY
- B10. DETAILS FOR STORM WATER QUALITY MEASURES ARE SHOWN ON THE STORMWATER POLLUTION PREVENTION PLAN - SEE SHEETS C501, C801
- B11. SURFACE STABILIZATION METHODS SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEETS C501, C801
- B12. PERMANENT SURFACE STABILIZATION SPECIFICATIONS SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEETS C501, C801
- B13. MATERIAL HANDLING AND STORAGE ASSOCIATED WITH CONSTRUCTION ACTIVITY SHALL MEET THE SPILL PREVENTION AND SPILL RESPONSE REQUIREMENTS IN 327 IAC 2-6.1. FULL EMERGENCY PLAN SHOWN ON SHEET C801. ALL MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH GUIDELINES SET FORTH IN MATERIAL SAFETY DATA SHEETS PROVIDED BY MANUFACTURER.
- B14. SHOWN ON STORMWATER POLLUTION PREVENTION PLAN - SEE SHEETS C501, C801
- B15. EROSION CONTROL FOR INDIVIDUAL BUILDING LOTS CONSTRUCTION SEQUENCE AS FOLLOWS:
 - 1. CONSTRUCT STONE DRIVEWAY.
 - 2. LIMIT ALL DELIVERIES TO THE STONE DRIVEWAY.
 - 3. PRESERVE AS MUCH OF THE EXISTING VEGETATION AS POSSIBLE.
 - 4. LARGE EXPOSED AREAS ON OR NEAR SLOPES WILL REQUIRE A SILT FENCE.
 - 5. AFTER CONSTRUCTION OF FOUNDATION, ROUGH GRADE AND SEED LOT.
 - 6. AFTER BUILDING GUTTERS ARE INSTALLED, USE TEMPORARY EXTENSIONS TO LET WATER PASS EXPOSED AREAS.
 - 7. AFTER FINAL GRADING, SEED OR SOD THE YARD AS SOON AS POSSIBLE.
- C1. EXPECTED POLLUTANTS ASSOCIATED WITH THE PROPOSED LAND USE INCLUDE FLUIDS FROM VEHICULAR TRAFFIC (I.E. OIL, GREASE, ANTIFREEZE, GASOLINE, ETC.), SAND AND GRIT FROM ROADWAY SURFACES AND SUBSTANCES ASSOCIATED WITH THE MAINTENANCE OF LAWNS AND GARDENS. THE ONLY OTHER REASONABLY FORESEEN POLLUTION FROM THIS SITE WILL BE MINIMAL AMOUNT OF LITTER AND TRASH FROM IMPROPER DISPOSAL.
- C2. POST CONSTRUCTION STORMWATER QUALITY SHOULD BE INSTALLED PRIOR TO MAJOR LAND DISTURBANCE OCCURRING.
 - 1. EROSION CONTROL MEASURES SHOWN ON THIS PLAN TO BE INSTALLED FIRST.
 - 2. DETENTION PONDS AND ANY WATER QUALITY BEST MANAGEMENT PRACTICE (BMP) STRUCTURES TO BE UTILIZED FOR SEDIMENT CONTROL
 - 3. INSTALL RIP RAP PROTECTION AT ALL END SECTIONS ENTERING POND AS SOON AS PIPES ARE IN PLACE.
 - 4. INSPECT AND RE-SEED SWALES AS NEEDED AFTER COMPLETION OF FINAL GRADING.
 - 5. MONITOR AND MAINTAIN SWALE AREAS UNTIL A MATURE STAND OF GRASS EXISTS.
 - 6. CLEAN ALL CATCH BASINS OF DEBRIS WHEN GRADING IS COMPLETE.
 - 7. SWEEP STREETS REGULARLY AND KEEP FREE OF DEBRIS.
 - 8. FINAL STABILIZATION OF THE SITE USING PERMANENT SEEDING OF ALL OPEN AREAS.
- C3. POST-CONSTRUCTION STORM WATER QUALITY WILL BE ACCOMPLISHED BY ROUTING THE SITE RUNOFF THROUGH A DRY DETENTION POND DESIGNED TO DETAIN, FOR AT LEAST 24 HOURS AFTER PEAK RUNOFF, 20 % OF THE RUNOFF GENERATED FROM EITHER A 1-1/4" STORM EVENT OR 1/2" OF DIRECT RUNOFF, WHICHEVER IS GREATER. THE DETENTION FACILITY ACTS AS A PERMANENT STORMWATER CONTROL STRUCTURE PROVIDING BOTH DETENTION AND TREATMENT OF CONTAMINATED STORMWATER RUNOFF. THE POND'S NATURAL PHYSICAL, BIOLOGICAL, AND CHEMICAL PROCESSES THEN WORK TO REMOVE POLLUTANTS. SEDIMENTATION PROCESSES REMOVE PARTICULATES, ORGANIC MATTER, AND METALS, WHILE DISSOLVED METALS AND NUTRIENTS ARE REMOVED THROUGH BIOLOGICAL UPTAKE. FURTHER MAINTENANCE INCLUDES SWEEPING OF ALL PAVED SURFACES AS WELL AS COLLECTION OF ANY LITTER. ALL DRAINAGE SWALES AND GREEN SPACES WILL BE MAINTAINED WITH REGULAR MOWING DURING GROWING SEASONS.
- C4. WATER QUALITY MEASURES ARE SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN - SEE SHEET C501.
- C5. MAINTENANCE OF ALL STORM WATER POLLUTION PREVENTION MEASURES WILL BE THE RESPONSIBILITY OF THE PROJECT OWNER UTILIZING PROCEDURES OUTLINED ON THESE PLANS. ANY GRASSSED OR VEGETATED AREAS THAT EXPERIENCE EROSION FROM RAINFALL EVENTS SHOULD BE REPAIRED AND REVEGETATED AS SOON AS POSSIBLE.
 - A. EROSION OF THE DETENTION POND BANKS SHOULD BE ADDRESSED AS SOON AS IT BECOMES VISIBLE BY FILLING THE ERODED AREA WITH SUITABLE SOIL AND ESTABLISHING VEGETATION IMMEDIATELY, PREFERABLY BY SODDING. THE SAME MEASURE SHOULD BE USED FOR STEEP BANKS OR ANY BERMS OR SWALES. THE PONDS SHOULD ALSO BE MONITORED FOR SEDIMENT. IF THE BOTTOM OF THE POND RECEIVED SIGNIFICANT SEDIMENT (LESS THAN 2 FEET DEEP), THE SEDIMENT SHOULD BE REMOVED AND REPLACED ON SITE. AN ENGINEER SHOULD BE CONTACTED TO IDENTIFY THE SOURCE AND RECOMMEND REPAIRS.
 - B. PAVEMENT AREAS SHOULD BE MONITORED FOR POLLUTANTS, ANY LARGE QUANTITIES OF FLUID SUCH AS OIL, ANTIFREEZE, BRAKE FLUID, ETC. FOUND ON THE PAVEMENT SHOULD BE REPORTED TO THE OWNER. THE OWNER SHOULD CLEAN THE POLLUTANTS AND PREVENT THE SOURCE FROM ENTERING THE SITE IN THE FUTURE. FINALLY, PAVEMENTS SHOULD ALSO BE MONITORED FOR SEDIMENT COMING FROM VEGETATIVE AREAS. IF POST CONSTRUCTION EROSION IS OCCURRING, THE SOURCE SHOULD BE RE-STABILIZED AS SOON AS POSSIBLE BY SEEDING, SODDING OR MULCHING.

- 1. CONSTRUCT STONE DRIVEWAY.
- 2. LIMIT ALL DELIVERIES TO THE STONE DRIVEWAY.
- 3. PRESERVE AS MUCH OF THE EXISTING VEGETATION AS POSSIBLE.
- 4. LARGE EXPOSED AREAS ON OR NEAR SLOPES WILL REQUIRE A SILT FENCE.
- 5. AFTER CONSTRUCTION OF FOUNDATION, ROUGH GRADE AND SEED LOT.
- 6. AFTER BUILDING GUTTERS ARE INSTALLED, USE TEMPORARY EXTENSIONS TO LET WATER PASS EXPOSED AREAS.
- 7. AFTER FINAL GRADING, SEED OR SOD THE YARD AS SOON AS POSSIBLE.

- 1. EROSION CONTROL MEASURES SHOWN ON THIS PLAN TO BE INSTALLED FIRST.
- 2. DETENTION PONDS AND ANY WATER QUALITY BEST MANAGEMENT PRACTICE (BMP) STRUCTURES TO BE UTILIZED FOR SEDIMENT CONTROL
- 3. INSTALL RIP RAP PROTECTION AT ALL END SECTIONS ENTERING POND AS SOON AS PIPES ARE IN PLACE.
- 4. INSPECT AND RE-SEED SWALES AS NEEDED AFTER COMPLETION OF FINAL GRADING.
- 5. MONITOR AND MAINTAIN SWALE AREAS UNTIL A MATURE STAND OF GRASS EXISTS.
- 6. CLEAN ALL CATCH BASINS OF DEBRIS WHEN GRADING IS COMPLETE.
- 7. SWEEP STREETS REGULARLY AND KEEP FREE OF DEBRIS.
- 8. FINAL STABILIZATION OF THE SITE USING PERMANENT SEEDING OF ALL OPEN AREAS.
- C3. POST-CONSTRUCTION STORM WATER QUALITY WILL BE ACCOMPLISHED BY ROUTING THE SITE RUNOFF THROUGH A DRY DETENTION POND DESIGNED TO DETAIN, FOR AT LEAST 24 HOURS AFTER PEAK RUNOFF, 20 % OF THE RUNOFF GENERATED FROM EITHER A 1-1/4" STORM EVENT OR 1/2" OF DIRECT RUNOFF, WHICHEVER IS GREATER. THE DETENTION FACILITY ACTS AS A PERMANENT STORMWATER CONTROL STRUCTURE PROVIDING BOTH DETENTION AND TREATMENT OF CONTAMINATED STORMWATER RUNOFF. THE POND'S NATURAL PHYSICAL, BIOLOGICAL, AND CHEMICAL PROCESSES THEN WORK TO REMOVE POLLUTANTS. SEDIMENTATION PROCESSES REMOVE PARTICULATES, ORGANIC MATTER, AND METALS, WHILE DISSOLVED METALS AND NUTRIENTS ARE REMOVED THROUGH BIOLOGICAL UPTAKE. FURTHER MAINTENANCE INCLUDES SWEEPING OF ALL PAVED SURFACES AS WELL AS COLLECTION OF ANY LITTER. ALL DRAINAGE SWALES AND GREEN SPACES WILL BE MAINTAINED WITH REGULAR MOWING DURING GROWING SEASONS.
- C4. WATER QUALITY MEASURES ARE SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN - SEE SHEET C501.
- C5. MAINTENANCE OF ALL STORM WATER POLLUTION PREVENTION MEASURES WILL BE THE RESPONSIBILITY OF THE PROJECT OWNER UTILIZING PROCEDURES OUTLINED ON THESE PLANS. ANY GRASSSED OR VEGETATED AREAS THAT EXPERIENCE EROSION FROM RAINFALL EVENTS SHOULD BE REPAIRED AND REVEGETATED AS SOON AS POSSIBLE.
 - A. EROSION OF THE DETENTION POND BANKS SHOULD BE ADDRESSED AS SOON AS IT BECOMES VISIBLE BY FILLING THE ERODED AREA WITH SUITABLE SOIL AND ESTABLISHING VEGETATION IMMEDIATELY, PREFERABLY BY SODDING. THE SAME MEASURE SHOULD BE USED FOR STEEP BANKS OR ANY BERMS OR SWALES. THE PONDS SHOULD ALSO BE MONITORED FOR SEDIMENT. IF THE BOTTOM OF THE POND RECEIVED SIGNIFICANT SEDIMENT (LESS THAN 2 FEET DEEP), THE SEDIMENT SHOULD BE REMOVED AND REPLACED ON SITE. AN ENGINEER SHOULD BE CONTACTED TO IDENTIFY THE SOURCE AND RECOMMEND REPAIRS.
 - B. PAVEMENT AREAS SHOULD BE MONITORED FOR POLLUTANTS, ANY LARGE QUANTITIES OF FLUID SUCH AS OIL, ANTIFREEZE, BRAKE FLUID, ETC. FOUND ON THE PAVEMENT SHOULD BE REPORTED TO THE OWNER. THE OWNER SHOULD CLEAN THE POLLUTANTS AND PREVENT THE SOURCE FROM ENTERING THE SITE IN THE FUTURE. FINALLY, PAVEMENTS SHOULD ALSO BE MONITORED FOR SEDIMENT COMING FROM VEGETATIVE AREAS. IF POST CONSTRUCTION EROSION IS OCCURRING, THE SOURCE SHOULD BE RE-STABILIZED AS SOON AS POSSIBLE BY SEEDING, SODDING OR MULCHING.

SITE CONTACT:
S & D PROPERTY'S LLC
4983 WEST ROAD 100 NORTH,
BARGERSVILLE, IN 46106
PHONE: 317-308-9025
STACEY MALOTT
SMALOTT@ESI-ELECTRICINC.COM



Know what's below.
Call before you dig.
IT'S THE LAW
CALL 811 MORNING DAYS BEFORE YOU DIG
THIS DRAWING/COMPUTER FILE IS THE PROPERTY OF PROJECTS PLUS
ANY REPRODUCTION OR RELEASE OF THIS DOCUMENT WITHOUT WRITTEN
PERMISSION FROM PROJECTS PLUS IS PROHIBITED. ANY PERSON OR ENTITY
USING THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THE PROJECT
FOR WHICH IT WAS ORIGINALLY INTENDED, WITH OR WITHOUT PERMISSION
FROM PROJECTS PLUS, BY ITS USE AGREES TO INDEMNIFY AND HOLD
HARMLESS PROJECTS PLUS FROM ANY LOSS, INCLUDING BUT NOT LIMITED
TO ATTORNEY'S FEES, OCCURRING FROM THEIR USE.

FLOOD ZONE DESIGNATION
THIS LOT LIES ENTIRELY IN FLOOD HAZARD ZONE X (AREA OUTSIDE 500 YR. FLOODPLAIN) AS SCALE FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR JOHNSON COUNTY, INDIANA, COMMUNITY NUMBER, 18081, PANEL NUMBER, 0231 D, DATED 8/2/07

BENCHMARKS:
SITE ELEVATIONS ARE BASED ON GPS GEOID "G2012bu7" USING A PROJECTION OF "INDIANA EAST" AND DATUM NAD83 NO TRANS.
ONSITE BENCHMARK - ELEVATION 742.82 (NAVD 1983)
METAL REBAR FOUND FLUSH IN THE PAVEMENT, 39.8' EAST OF INTERSECTION OF HURRICANE ROAD AND AMY LANE

PROPERTY LINES, DIMENSIONS AND EASEMENTS ARE PER THE PLAT OF HURRICANE INDUSTRIAL PARK - SECTION THREE PREPARED BY FRANKLIN ENGINEERING COMPANY, DATED DECEMBER 14, 2006, RECORDED AS INSTRUMENT NUMBER 2005-034689, PLUS BOOK D, PAGES 619 A&B, IN THE OFFICE OF THE RECORDER OF JOHNSON COUNTY, INDIANA. ALSO PER SCRIVENERS CORRECTION RECORDED JUNE 1, 2011 AS INSTRUMENT NUMBER 2011-010796, RECORDED IN SAID RECORDERS OFFICE

TOPOGRAPHICAL INFORMATION, INCLUDING UTILITIES, ARE PER THE TOPOGRAPHIC SURVEY PREPARED BY PROJECTS PLUS

DATE

REVISION

SYMBOL

SCALE

1"=20'

DRAWN

JPH

CHECKED

JKS

CERTIFIED

JKS

PROJECT

ESI ELECTRIC INC., BUILDING AT HURRICANE INDUSTRIAL PARK - LOT 13

CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA

TITLE

STORMWATER POLLUTION PREVENTION PLAN

SEAL

JEFFERY K. SMITH
REGISTERED
No. 19419
STATE OF INDIANA
PROFESSIONAL ENGINEER

Jeffery K. Smith
2/14/20

JOB NUMBER

19028

SHEET

C501

DATE

FEBRUARY 14, 2020

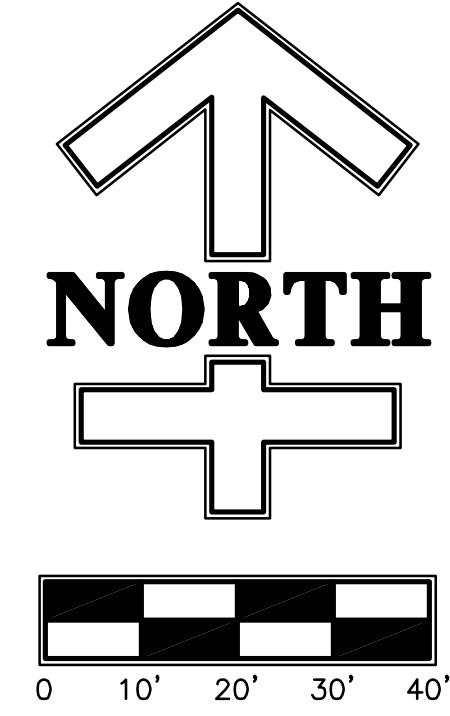
PROJECTS plus

GREENWOOD SURVEYING COMPANY

CIVIL ENGINEERING - LAND SURVEYING
LAND PLANNING - CONSTRUCTION MANAGEMENT
2859 Fairview Plaza Suite 100 - Greenwood, Indiana 46142
(317)-882-5003



- LEGEND :**
- PROPOSED WATER SERVICE LINE W/ WATER METER
 - PROPOSED WATER LINE W/ VALVE AND FIRE HYDRANT AND ASSEMBLY
 - PROPOSED ELECTRIC SERVICE LINE
 - PROPOSED GAS SERVICE LINE
 - PROPOSED SANITARY SEWER LATERAL W/ CLEANOUT
 - EXISTING SANITARY SEWER W/ MANHOLE
 - PROPOSED STORM SEWER W/ END SECTION, MANHOLE, DITCH INLET AND PAVEMENT INLET
 - EXISTING WATER LINE
 - EXISTING OVERHEAD POWERLINE
 - EXISTING UTILITY POLE
 - EXISTING TRAFFIC SIGN
 - EXISTING CONTOUR LINE
 - B.S.L.
 - R/W



- GENERAL NOTES:**
- CONTRACTOR SHALL RECOGNIZE RESPECTIVE WORK AND RESPONSIBILITY TO VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES, STRUCTURES, PIPES, PAVEMENTS, ETC. AS RELATED TO THEIR WORK. NOTIFY ARCHITECT/ENGINEER OF ANY CONFLICT AND/OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUAINT HIMSELF WITH SUBSOIL CONDITIONS.
 - THE PLANS SHOW THE LOCATION OF ALL KNOWN UTILITIES LOCATED WITHIN THE LIMITS OF THE CONTRACT ACCORDING TO INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES. PREVIOUS CONSTRUCTION PLANS AND AS EVIDENCED BY OBSERVATION OF ABOVE GROUND CONDITIONS BY THE SURVEYOR. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED.
 - CONTRACTORS SHALL CONSULT ARCHITECTURAL, PLUMBING AND ELECTRICAL PLANS FOR INVERT ELEVATIONS AND EXACT LOCATION OF DOWNSPOUTS, WATER LINES GAS LINES, TRANSFORMER'S PAD OR POLE, AND BUILDING DIMENSIONS.
 - ALL PAVEMENT PATCHING DUE TO UTILITIES INSTALLATION, CONSTRUCTION OF CURBS, ETC., OR DAMAGE TO EXISTING PAVEMENT DURING CONSTRUCTION SHALL BE PATCHED WITH A PAVEMENT SECTION WHICH MEETS OR EXCEEDS JOHNSON COUNTY STANDARDS AS APPROVED BY THE ENGINEERING DEPARTMENT.
 - ALL GRASS AND/OR SHRUBBERY DISTURBED BY NEW CONSTRUCTION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
 - ALL EXISTING MANHOLE AND CATCH BASIN GRATES, WATER OR GAS VALVES SHALL BE ADJUSTED TO NEW FINISH GRADE ELEVATION
 - ALL PIPE LENGTHS SHOWN ON DRAWINGS ARE FOR HYDRAULIC PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE EXACT LENGTHS REQUIRED FOR ACTUAL INSTALLATION.
 - CONSTRUCTION OF ALL SEWER LINES AND STRUCTURES SHALL BE IN ACCORDANCE WITH LOCAL AND STATE CODE, RULES AND REGULATIONS
 - WHERE WATER LINES AND SEWERS CROSS AND THE WATER LINE CANNOT BE PLACED ABOVE OR BELOW THE SEWER WITH A MINIMUM OF 18" VERTICAL CLEARANCE THE SEWER MUST BE CONSTRUCTED WITH WATER WORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR PLASTIC (SDR 26) SEWER PIPE WITH GASKETED, COMPRESSION-TYPE JOINTS WITHIN 10' OF THE WATER LINE.
 - WHERE WATER LINES AND SEWERS RUN PARALLEL AND A MINIMUM SEPARATION DISTANCE OF 10' CANNOT BE MAINTAINED THE SEWER MUST BE CONSTRUCTED OF WATER WORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR PLASTIC (SDR 26) SEWER PIPE WITH GASKETED, COMPRESSION-TYPE JOINTS.
 - ANY FIELD TILES ENCOUNTERED DURING THE COURSE OF CONSTRUCTION SHALL BE PERPETUATED IN COMPLIANCE WITH STATE AND LOCAL LAWS AND REGULATIONS.
 - ALL STORM CASTINGS ARE TO BE OF THE "ENVIRONMENTAL" TYPE AND EMBOSSED WITH THE APPROPRIATE LANGUAGE AND SYMBOLS. USE NPDES PHASE II COMPLIANT CASTINGS (DUMP NO WASTE; DRAINS TO RIVER) WHERE AVAILABLE
 - CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED CONCRETE SIDEWALK OR CONCRETE CURB DISTRIBUTED BY CONSTRUCTION.

- NOTICES AND PERMITS**
- THE CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY OR STATE AGENCIES PRIOR TO STARTING ANY CONSTRUCTION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXISTING LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY CONSTRUCTION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

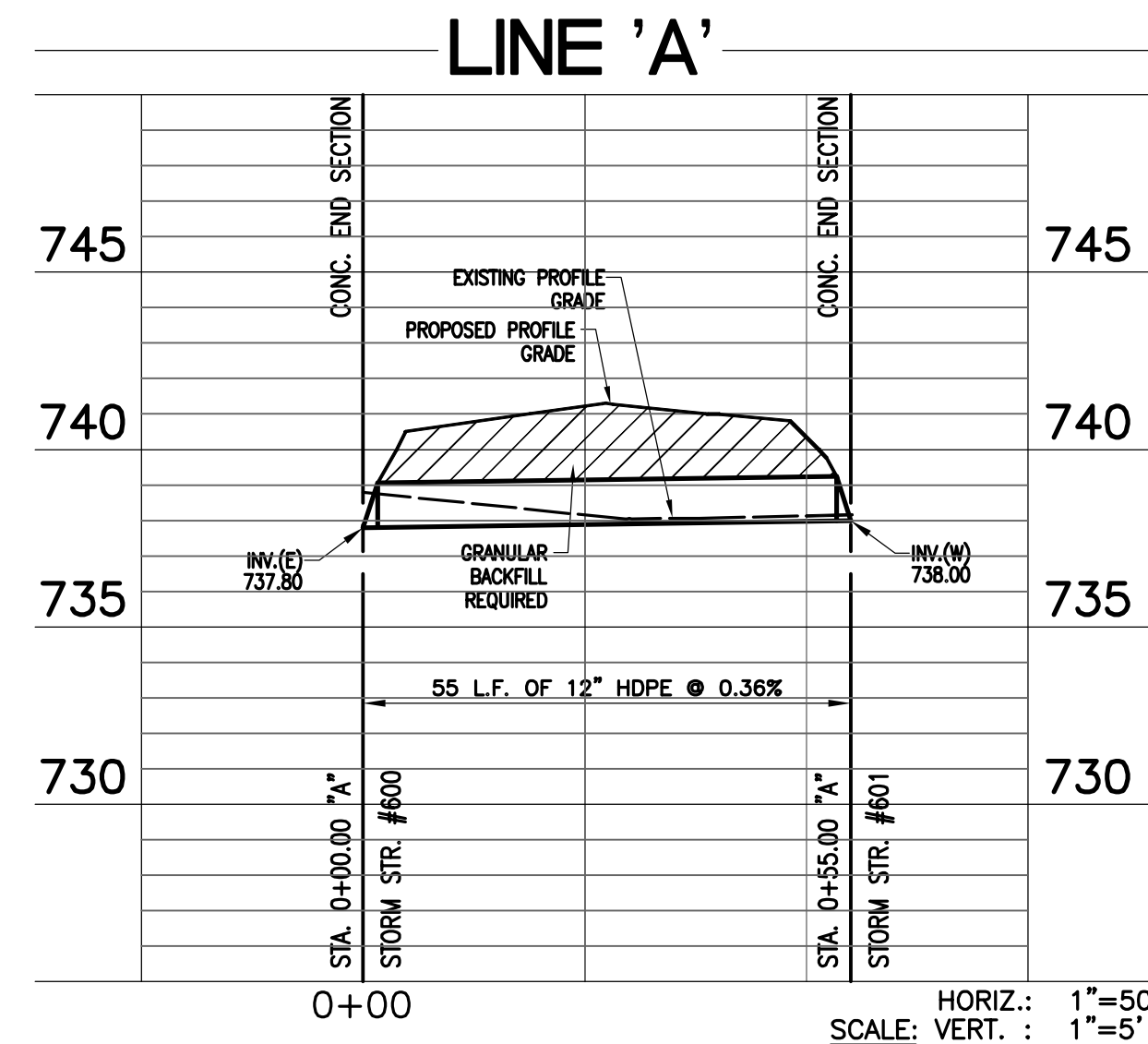
FLOOD ZONE DESIGNATION
THIS LOT LIES ENTIRELY IN FLOOD HAZARD ZONE X (AREA OUTSIDE 500 YR. FLOODPLAIN) AS SCALE FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR JOHNSON COUNTY, INDIANA, COMMUNITY NUMBER, 18081, PANEL NUMBER, 0231 D, DATED 8/2/07

BENCHMARKS:
SITE ELEVATIONS ARE BASED ON GPS GEOID "G2012bu7" USING A PROJECTION OF "INDIANA EAST" AND DATUM NAD83 NO TRANS.

ONSITE BENCHMARK - ELEVATION 742.82 (NAVD 1983)
METAL REBAR FOUND FLUSH IN THE PAVEMENT, 39.8' EAST OF INTERSECTION OF HURRICANE ROAD AND AMY LANE

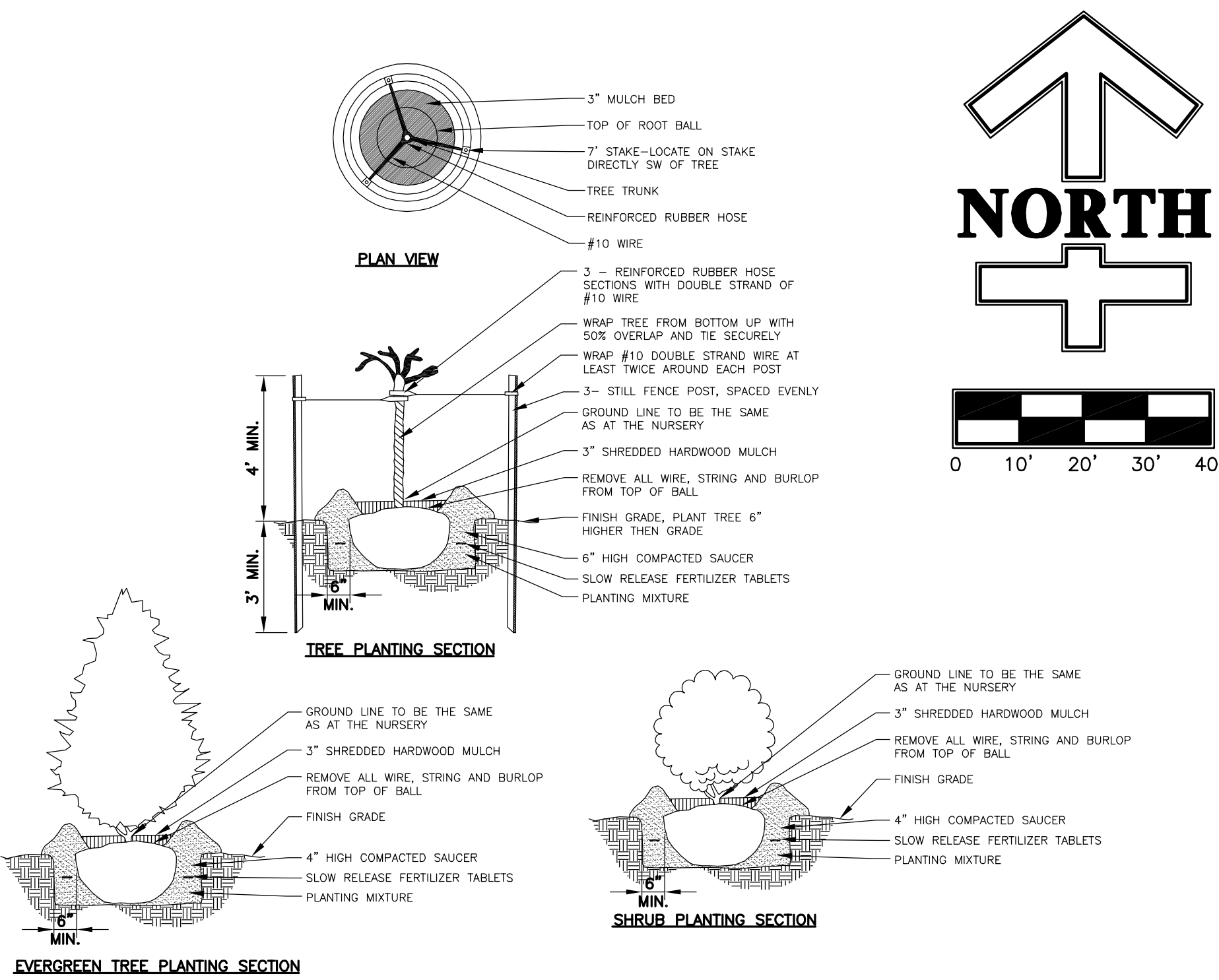
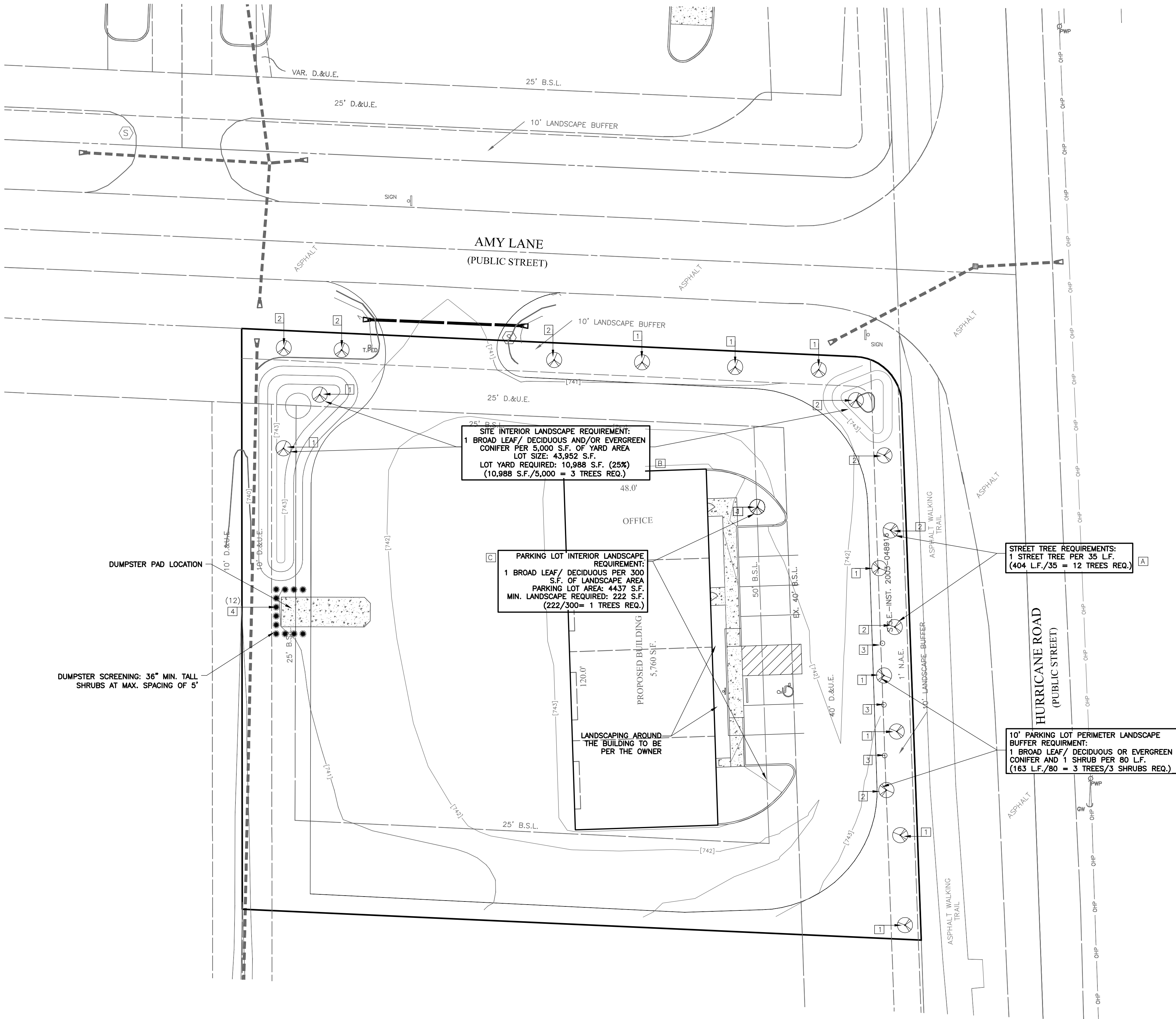
PROPERTY LINES, DIMENSIONS AND EASEMENTS ARE PER THE PLAT OF HURRICANE INDUSTRIAL PARK - SECTION THREE, PREPARED BY FRANKLIN ENGINEERING COMPANY, DATED DECEMBER 14, 2006, RECORDED AS INSTRUMENT NUMBER 2005-034859, PLAT BOOK D, PAGES 619 A&B, IN THE OFFICE OF THE RECORDER OF JOHNSON COUNTY, INDIANA. ALSO PER SURVEYORS CORRECTION RECORDED JUNE 1, 2011 AS INSTRUMENT NUMBER 2011-010796, RECORDED IN SAID RECORDERS OFFICE

TOPOGRAPHICAL INFORMATION, INCLUDING UTILITIES, ARE PER THE TOPOGRAPHIC SURVEY PREPARED BY PROJECTS PLUS



HORIZ.: 1"=50'
SCALE: VERT.: 1"=5'

DATE		REVISION		SYMBOL		SCALE	1"=20'	DRAWN	JPH	CHECKED	JKS	CERTIFIED	JKS
PROJECT ESI ELECTRIC INC., BUILDING AT HURRICANE INDUSTRIAL PARK - LOT 13 CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA													
TITLE UTILITY PLAN													
PROJECTS plus GREENWOOD SURVEYING COMPANY CIVIL ENGINEERING - LAND SURVEYING LAND PLANNING - CONSTRUCTION MANAGEMENT 2859 Fairview Plaza Suite W - Greenwood, Indiana 46142 (317)-882-5003													
SEAL JEFFERY K. SMITH REGISTERED No. 19419 STATE OF INDIANA PROFESSIONAL ENGINEER Jeffery K. Smith 2/14/20													
JOB NUMBER 19028 SHEET													
C601													
DATE FEBRUARY 14, 2020													



LANDSCAPE LEGEND		
SYMBOL	REQUIREMENT	QUANTITY
	1. PARKING LANDSCAPE PLANTING SHALL BE MODIFIED ONLY UNDER THE PLANNING DIRECTORS WRITTEN APPROVAL. 2. LANDSCAPING NOT TO OBSTRUCT LINE OF SIGHT FOR MOTOR VEHICLES.	
A	STREET TREE - TO BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF FRANKLIN SUBDIVISION CONTROL ORDINANCE 6.15. a. MIN. OF 2 1/2" CALIBER AT 6" FROM TOP OF ROOT BALL. b. NOT WITHIN 25' OF AN INTERSECTION. c. NOT WITHIN 10' OF HYDRANT OR LATERAL. d. PERMITTED TREE TYPES PER APPROVED SPECIES LIST DESCRIBED IN THE PERMITTED STREET TREE TABLE.	12 TREES
B	SITE INTERIOR LANDSCAPE REQUIREMENTS - TO BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF FRANKLIN ZONING ORDINANCE 7.16. a. 1 BROAD LEAF/ DECIDUOUS AND/OR EVERGREEN CONIFER PER THE FOLLOWING LAND TYPE: 1. 1 FOR EVERY 1,000 S.F. OF YARD AREA MULTI FAMILY RESIDENTIAL 2. 1 FOR EVERY 1,500 S.F. OF YARD AREA COMMERCIAL USE 3. 1 FOR EVERY 2,500 S.F. OF YARD AREA INSTITUTIONAL USE 4. 1 FOR EVERY 5,000 S.F. OF YARD AREA INDUSTRIAL USE b. ALL BROAD LEAF/ DECIDUOUS TREE MIN. OF 2 1/2" CALIBER AT 6" FROM TOP OF ROOT BALL. TREES MAY BE LOCATED IN CLUSTERS OR DISPERSED THROUGHOUT THE SITE. c. ALL EVERGREEN TREE MIN. OF 5' IN HEIGHT. d. PERMITTED TREE TYPES PER APPROVED SPECIES LIST DESCRIBED IN THE LANDSCAPE STANDARDS.	3 TREES
C	PARKING LOT INTERIOR TREE - TO BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF FRANKLIN ZONING ORDINANCE 7.16. a. 1 BROAD LEAF/ DECIDUOUS PER 300 S.F. OF LANDSCAPE AREA. b. ALL BROAD LEAF/ DECIDUOUS TREE MIN. OF 2 1/2" CALIBER AT 6" FROM TOP OF ROOT BALL. c. PERMITTED TREE TYPES PER APPROVED SPECIES LIST DESCRIBED IN THE LANDSCAPE STANDARDS.	1 TREES
D	PARKING LOT PERIMETER TREE/SHRUB - TO BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF FRANKLIN ZONING ORDINANCE 7.16. a. 1 BROAD LEAF/ DECIDUOUS OR EVERGREEN TREE AND 1 SHRUB PER 80 L.F. OF LANDSCAPE AREA. b. ALL BROAD LEAF/ DECIDUOUS TREE MIN. OF 2 1/2" CALIBER AT 6" FROM TOP OF ROOT BALL. c. ALL EVERGREEN TREE MIN. OF 5' IN HEIGHT. d. ALL SHRUBS MIN. OF 18" IN HEIGHT. e. PERMITTED TREE TYPES PER APPROVED SPECIES LIST DESCRIBED IN THE LANDSCAPE STANDARDS.	3 TREES 3 SHRUBS

KEY	PLANT COMMON NAME	MIN. SIZE	PLANT BOTANIC NAME	QUANTITY	CATEGORY
1	SKYLINE HONEYLOCUST	2 1/2"	GLEDITSIA TRIACANTHOS	11	SHADE TREE
2	RED MAPLE	2 1/2"	ACER RUBRUM	8	SHADE TREE
3	SEA GREEN JUNIPER	5 GAL	JUNIPERUS CHINENSIS "SEA GREEN"	3	EVERGREEN SHRUB
4	EMERALD GREEN ARBORVITAE	36" TALL	THUJA OCCIDENTALIS. "EMERALD GREEN"	12	EVERGREEN SHRUB



Know what's below.
Call before you dig.
IT'S THE LAW®

CALL 2 HOURS BEFORE YOU DIG
THIS DRAWING/COMPUTER FILE IS THE PROPERTY OF PROJECTS PLUS
ANY REPRODUCTION OR REUSE OF THIS DOCUMENT WITHOUT WRITTEN
PERMISSION FROM PROJECTS PLUS IS PROHIBITED. ANY PERSON OR ENTITY
USING THIS DOCUMENT FOR ANY PURPOSE OTHER THAN THE PROJECT
FOR WHICH IT WAS ORIGINALLY INTENDED, WITH OR WITHOUT PERMISSION
FROM PROJECTS PLUS, BY ITS USE AGREES TO INDEMNIFY AND HOLD
HARMLESS PROJECTS PLUS FROM ANY LOSS, INCLUDING BUT NOT LIMITED
TO ATTORNEY'S FEES, OCCURRING FROM THEIR USE.

DATE

REVISION

SYMBOL

SCALE
1"=20'

PROJECT
ESI ELECTRIC INC., BUILDING AT
HURRICANE INDUSTRIAL PARK - LOT 13
CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA

TITLE
LANDSCAPE PLAN

PROJECTS plus

GREENWOOD SURVEYING COMPANY

CIVIL ENGINEERING
LAND PLANNING
CONSTRUCTION MANAGEMENT
2850 Fairview Plaza Suite 100
Greenswood, Indiana 46142
(317) 882-5003

SEAL

JEFFERY K. SMITH
REGISTERED
No. 19419
STATE OF INDIANA
PROFESSIONAL ENGINEER
Jeffery K. Smith
2/14/20

JOB NUMBER
19028

SHEET

C701

DATE
FEBRUARY 14, 2020

BACKFILL REQUIREMENT
FOR RESIDENTIAL STREETS ONLY

EXISTING SURFACE

5'-0"

3":1

TOP SOIL, SEED OR SOD AS REQUIRED TO MATCH EXISTING GRADE

2 COMPACTED EARTH BACKFILL, USING MECHANICAL COMPACTION EQUIPMENT

TYPICAL SECTION

GRANULAR BACKFILL WILL NOTE REQUIRED WHEN ENTIRE TRENCH AREA IS 3'-0" OR MORE BEYOND THE EDGE OF ROADWAY SURFACE.

EXISTING SURFACE

5'-0"

3":1

TOP SOIL, SEED OR SOD AS REQUIRED TO MATCH EXISTING GRADE

2 COMPACTED EARTH BACKFILL, USING MECHANICAL COMPACTION EQUIPMENT

NOTE: ALL PAINT TO BE NON-SOIL SURFACE APPLICATION OF GLOSS WHITE OR GLOSS BLACK BY METHOD OF MIXTURE AND OR BROADCASTING.

PROPOSED ADA SIGNS ON 3" DIAMETER POST (SEE SIGN DETAILS)

PER PLAN

4" WIDE BLUE PAINT STRIPES (TYP.)

(5' CIR)

8" MIN. 8" MIN. VAN

SEE SITE PLAN FOR ACTUAL DIMENSIONS

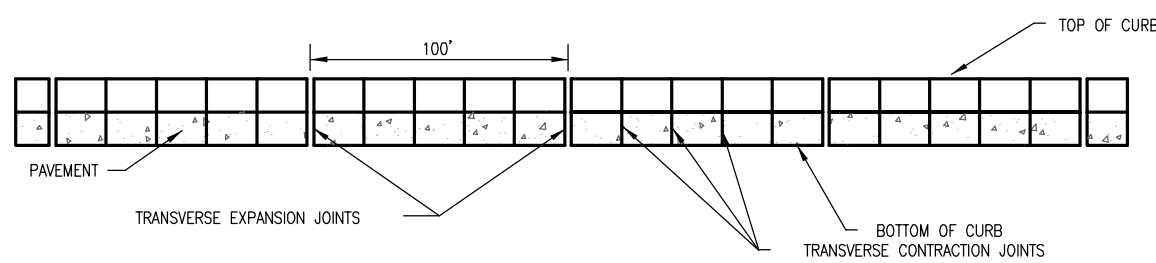
NOTE: ONE IN EIGHT ACCESSIBLE SPACES SHALL BE VAN ACCESSIBLE

The diagram illustrates a cross-section of a pavement structure. At the top, an 'EXTRUDED CONCRETE CURB' is shown with a width of 6 inches and a height of 4 inches. A vertical dimension of 1/4 inch is indicated on the right side of the curb. Below the curb, a layer of 'EPOXY REQUIRED' is shown, which is 7 inches wide and 1/4 inch thick. The epoxy layer is depicted with a cross-hatched pattern. The entire assembly is supported by a base layer, which is shown with a brick-like pattern. The base layer is labeled 'PAVEMENT SECTION'.

The diagram illustrates a cross-section of a concrete deck with various joints. From left to right, it shows a 1/2" preformed joint filler, a 4"-6" maximum gap, a transverse joint, a 6"-6" gap between transverse joints, another transverse joint, and a final 1/2" preformed joint filler. A dimension line at the bottom indicates a maximum 48"-6" gap between expansion joints. A vertical arrow points to the bottom surface of the deck.

*** WHEN BUILT IN CONJUNCTION WITH CONCRETE PAVEMENT EXPANSION AND CONTRACTION JOINTS SHOULD BE PLACED AT THE SAME LOCATIONS AS IN THE PAVEMENT SLAB. THE CURB AND GUTTER SHOULD BE TIED TO THE PAVEMENT BY 1/2" ROUND DEFORMED BARS AT ABOUT 3 FOOT INTERVALS. NO CONCRETE PAVEMENT IS BEING BUILT, AT THE TIME, THE CURB IS CONSTRUCTED. EXPANSION JOINTS SHOULD BE PLACED AT THE ENDS OF ALL RETURNS AND AT INTERVALS NOT TO EXCEED 100 FEET. CONTRACTION JOINT SHOULD BE INSTALLED AT 20 FOOT SPACING.

7. WHEN THE INTERSECTION IS NOT SIGNALIZED, DEADEND RAMPS SHALL BE PLACED AT THE END OF THE MAINLINE. WHEN THE INTERSECTION IS SIGNALIZED, DEADEND RAMP SHALL BE PLACED ON BOTH SIDES OF THE MAINLINE.
8. CURB CUT RAMP ARE TO BE LOCATED AS SHOWN ON THE PLANS OR AS DIRECTED.
9. RAMP SHALL BE PROVIDED AT ALL CORNERS OF STREET.
10. WHEN THE INTERSECTION IS NOT SIGNALIZED, RAMP SHALL BE PROVIDED ON BOTH SIDES OF THE MAINLINE. WHEN THE INTERSECTION IS SIGNALIZED, CURB RAMP SHALL ALSO BE PROVIDED AT MEDIAN CROSSOVERS IN MID-BLOCK.
11. MEDIAN CROSSOVERS OF HIGHWAYS, MEDIAN CROWNERS, AND ATHLETIC STRUCTURES.
12. SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COURSE BROODING MACHINE.
13. SIDEWALKS SHALL BE RAMPED WHERE THE DRAINAGE CURVE IS EXTENDED ACROSS THE WALK.
14. CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON ALL RAMP.
15. WHEN THE DRAINAGE OF THE RAMP IS TO BE CHANGED.
16. DRAINAGE STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMP; EXCEPT WHERE EXISTING DRAINAGE STRUCTURES ARE BENEATH THE RAMP.
17. WHEN THE DRAINAGE OF THE RAMP IS TO BE CHANGED, THE RAMP SHOULD TAKE PRECEDENCE OVER LOCATION OF DRAINAGE STRUCTURE.
18. THE NORMAL OUTLET LINE PROFILE SHALL BE MAINTAINED THROUGH THE RAMP.
19. EXPANSION JOINT FOR THE RAMP SHALL BE MAXIMUM 1/2" WIDE.
20. THE TOP OF THE JOINT FLARE FOR RAMP TYPES SHALL BE FLUSH WITH ADJACENT ADJACENT SIDEWALK.
21. CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE 50' TO 100' AWAY FROM STOP LINE OR STOP TRAFFIC STRIP OF RAMP CROSSINGS.
22. SLOPE OF RAMP MAY BE MODIFIED WHEN FIELD CONDITIONS WARRANT AND WHEN APPROVED BY THE ENGINEER.



ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

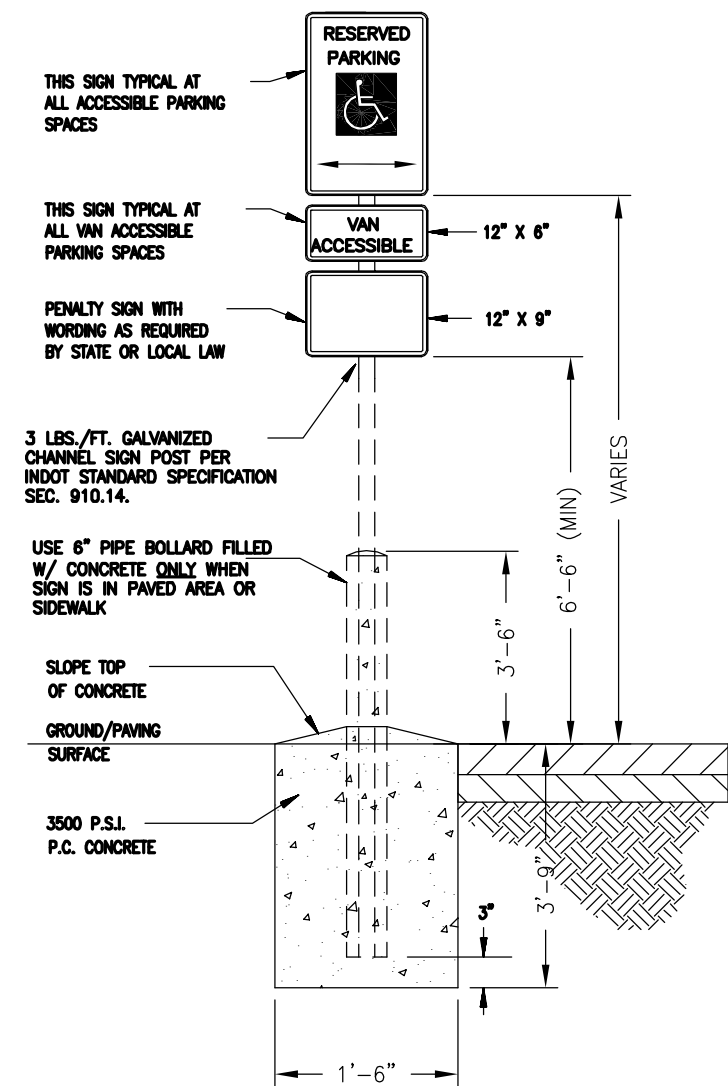


Diagram of a rectangular parking sign. The sign is 12" wide and 18" high. The text on the sign is: "CAR PARKING SIGN" at the top, "PARKING ONLY" in the center, and "1" RAD. ALL CORNERS" at the bottom. The sign has a blue surface with silkscreen white letters. A note indicates "1" RAD. ALL CORNERS".

18" 18 GAUGE HOT DIP GALVANIZED
REFLECTIVE SIGN WITH 12' POST DRIVEN 4'
GROUND. POST SHALL BE 12' LONG
2 1/2" OD STEEL POSTS PAINTED
MATCH LIGHT POLES SET BOTTOM OF
POLE GRADE

1" H.M.A. SURFACE

2" H.M.A. BINDER


4"-#5D HMA BASE

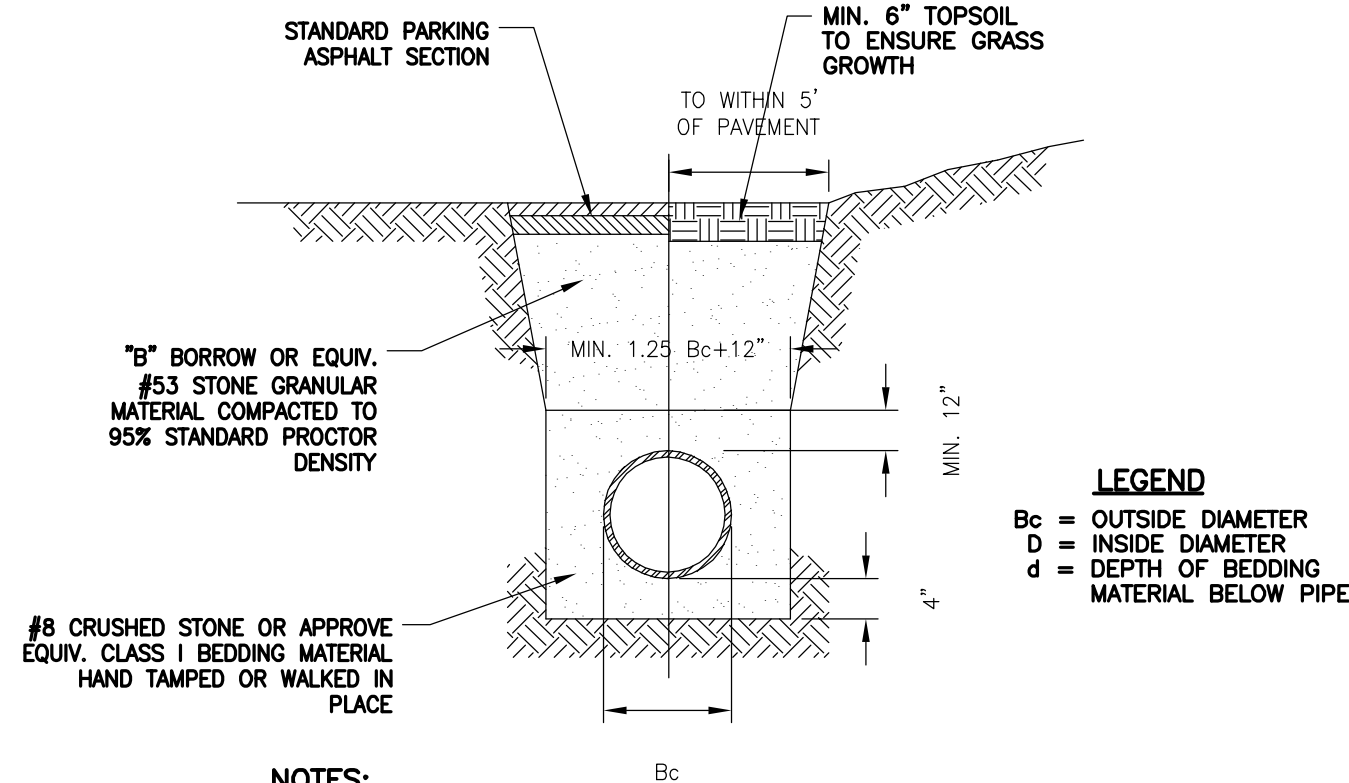
8" COMPACTED #53 STONE (IF 16" MINIMUM DEPTH LIME STABILIZATION OF SUBGRADE IS USED A REDUCTION OF 2" OF STONE WILL BE CREDITED)

PROOFROLLED SUBGRADE

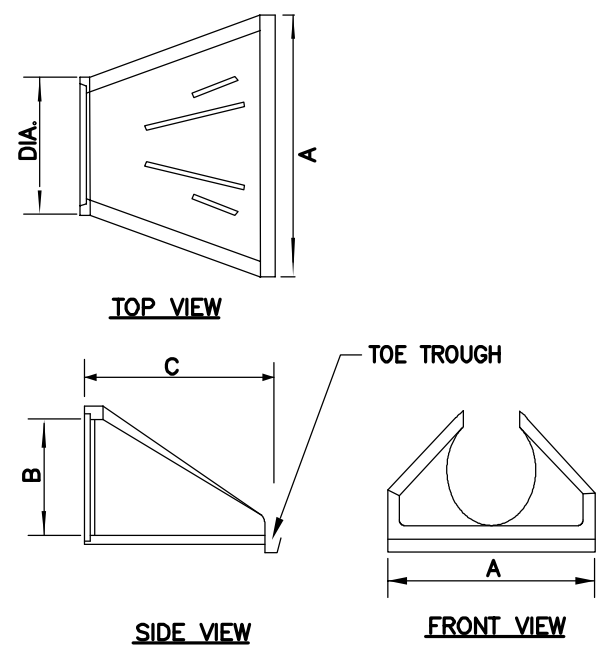
1" H.M.A. SURFACE
3" H.M.A. BINDER
8" COMPACTED #53 STONE
PROOFROLLED SUBGRADE

[illegible]

PROJECTS <i>plus</i> GREENWOOD SURVEYING COMPANY CIVIL ENGINEERING — LAND SURVEYING PLANNING CONSTRUCTION MANAGEMENT 2555 Fairview Place, Suite "A" — Greenwood, Indiana 46142 (317) — 882-5003	SEAL  <i>Jeffery K. Smith</i> 2/14/20		JOB NUMBER 19028		DATE FEBRUARY 14, 2020	
	SHEET		C901			
	PROJECT		TITLE			
	ESI ELECTRIC INC., BUILDING AT HURRICANE INDUSTRIAL PARK — LOT 13		SITE DETAILS			
	CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA					
SCALE	NONE	CHECKED	JKS	CERTIFIED	JKS	
DRAWN	JPH					
REVISION						
SYMBOL						
DATE						



NOTES:
1. A MINIMUM 9" CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE.
2. ALL BEDDING & INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS.
PLASTIC PIPE (PVC & HDPE) TRENCH DETAIL UNDER PAVEMENT AND WITHIN 5' OF EDGE OF PAVEMENT

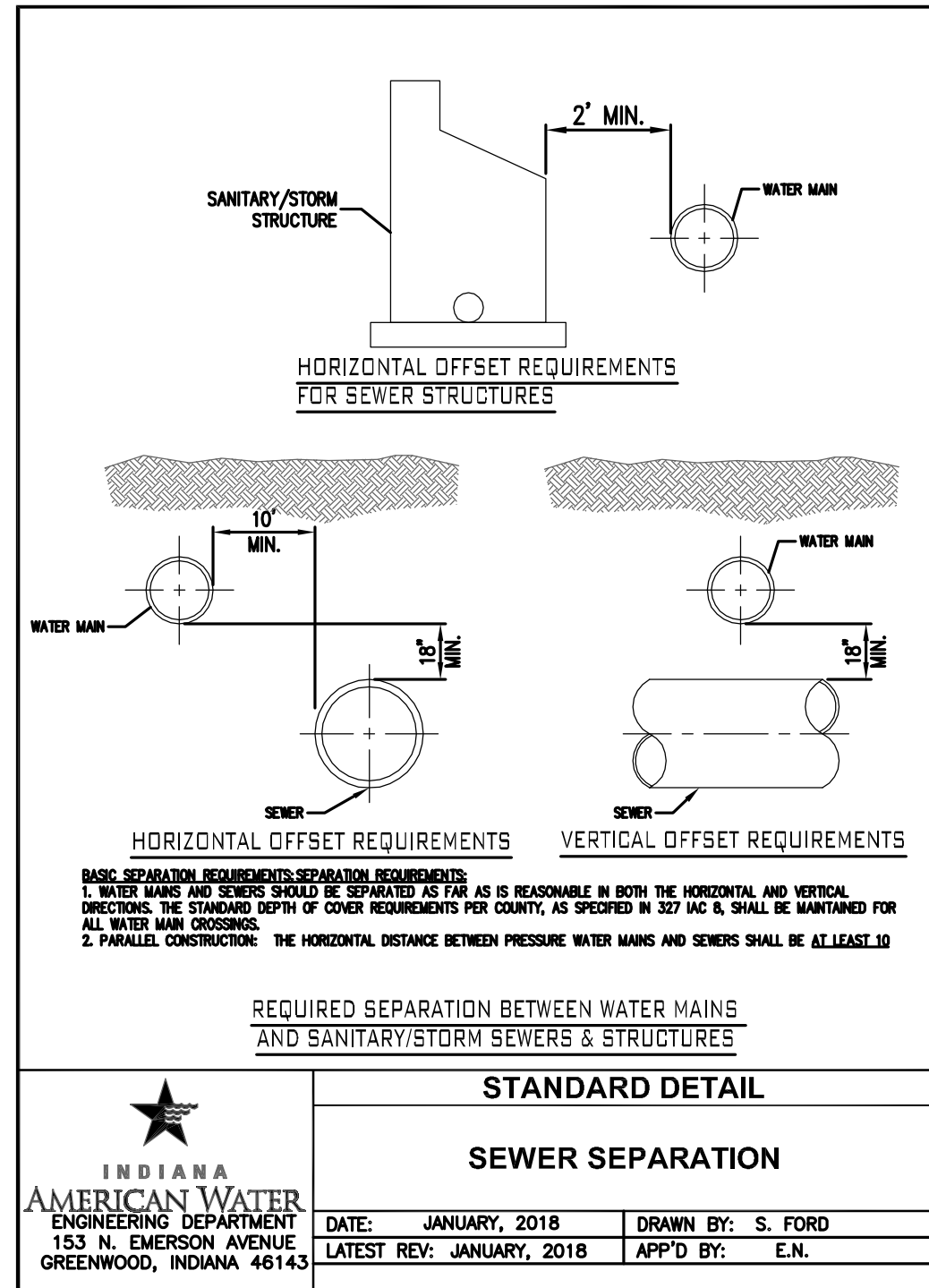


DI.	A	B	C
12"	42"	14"	34"
15"	42"	17"	34"
18"	50"	21"	48"
21"	50"	24"	48"
24"	50"	27"	48"
27"	62"	30"	58"
30"	62"	34"	58"
36"	62"	41"	58"

REQUIREMENTS
THE INVERT OF THE PIPE AND THE END SECTION SHALL BE AT THE SAME ELEVATION AS THE FLARED END SECTION AND SHALL BE HIGH DENSITY POLYETHYLENE MEETING ASTM D3500-00 WITH A MINIMUM CELL CLASSIFICATION OF 2133200. EACH END SECTION SHALL HAVE A CARBON BLACK ADDITIVE FOR UV PROTECTION.

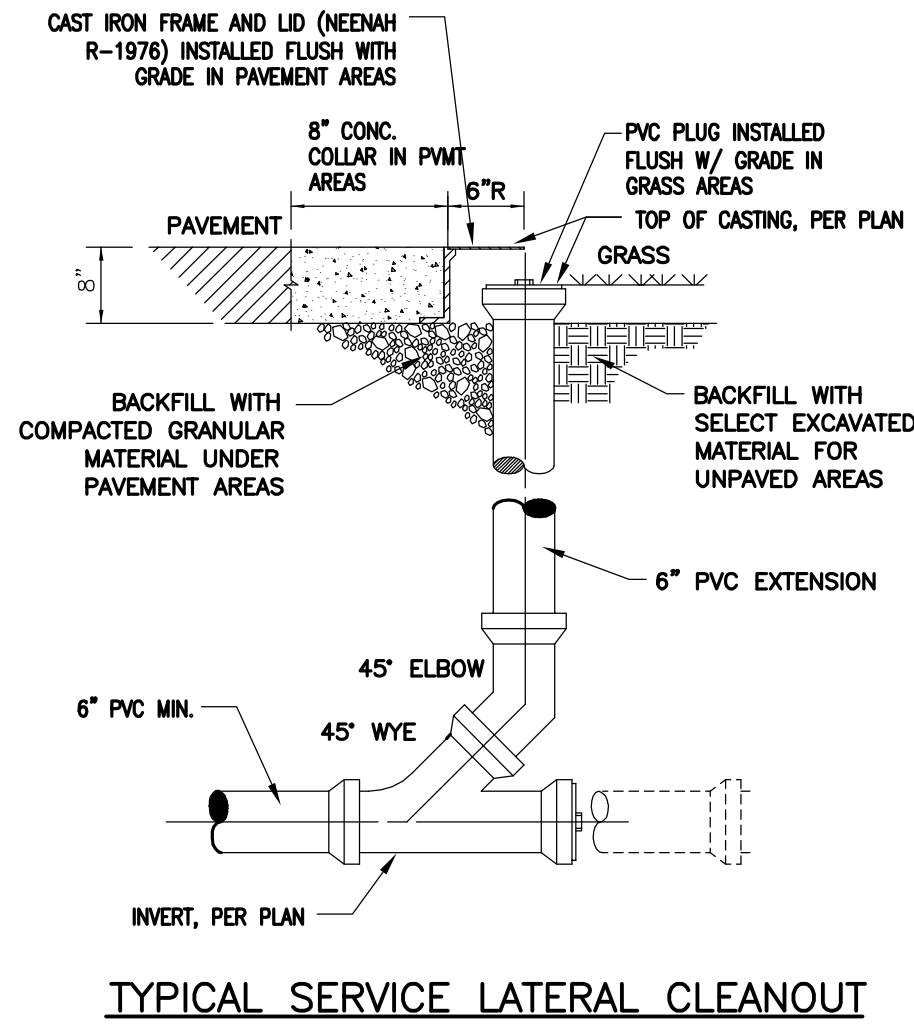
HDPE (HIGH DENSITY POLYETHYLENE) END SECTION

STORM SEWER DETAILS

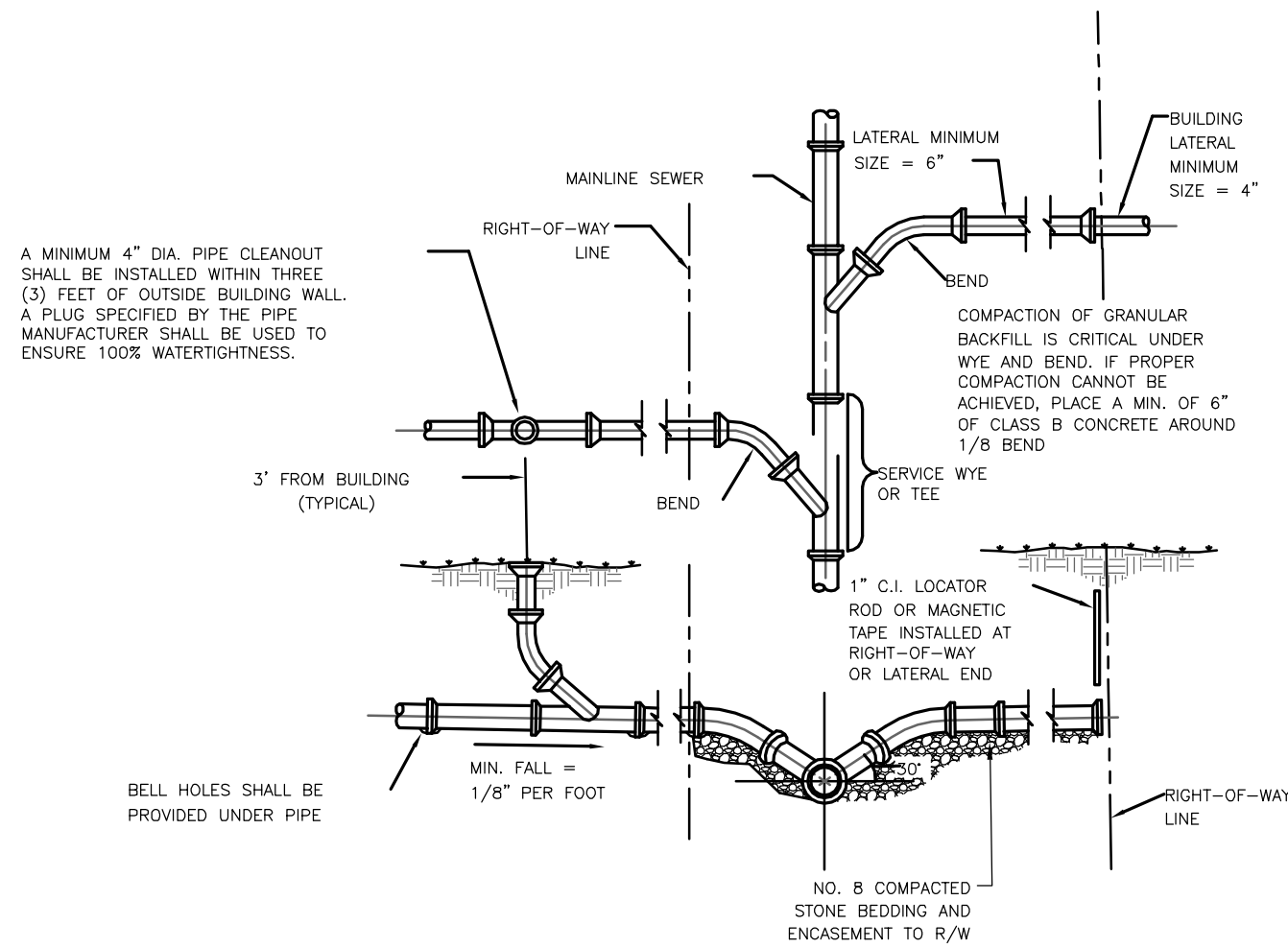


STANDARD DETAIL			
SEWER SEPARATION			
DATE: JANUARY, 2018	DRAWN BY: S. FORD		
LATEST REV: JANUARY, 2018	APP'D BY: E.N.		

WATER DETAILS



TYPICAL SERVICE LATERAL CLEANOUT



SERVICE CONNECTION FOR SHALLOW SEWERS (LESS THAN 15' DEEP)

SANITARY SEWER DETAILS

SYMBOL		REVISION		DATE
SCALE	NONE	DRAWN	JPH	
CHECKED	JKS	CERTIFIED	JKS	
PROJECT ESI ELECTRIC INC., BUILDING AT HURRICANE INDUSTRIAL PARK - LOT 13 CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA				
TITLE SITE DETAILS				
PROJECTS plus GREENWOOD SURVEYING COMPANY REGISTERED No. 19419 STATE OF INDIANA PROFESSIONAL ENGINEER Jeffery K. Smith 2/14/20				
JOB NUMBER 19028				
SHEET				
C902				
DATE FEBRUARY 14, 2020				

