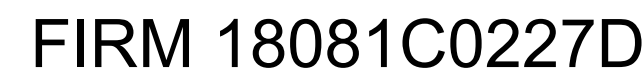


1073 W. JEFFERSON STREET
FRANKLIN TOWNSHIP, JOHNSON COUNTY
FRANKLIN, INDIANA 46131

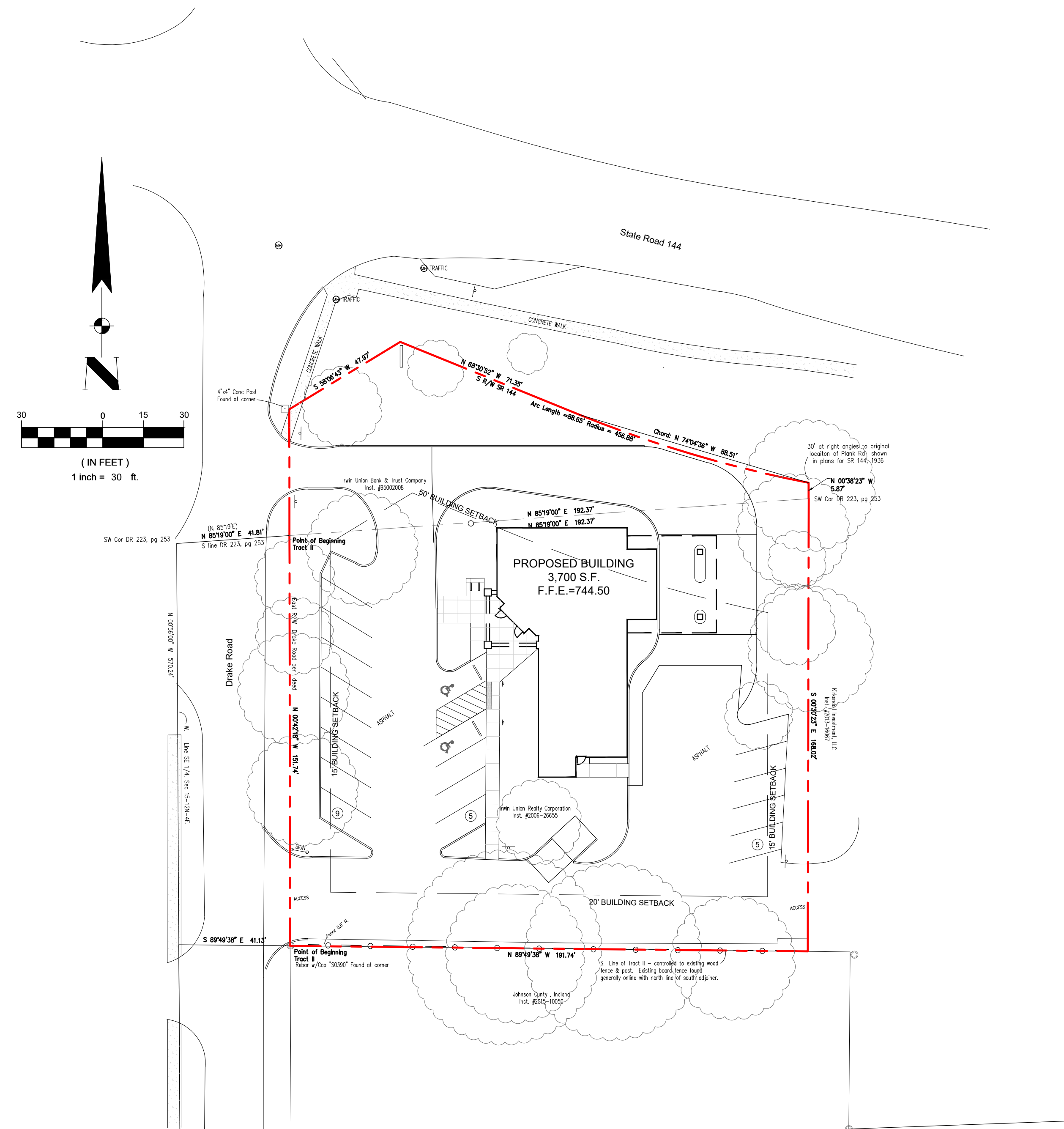


EFFECTIVE DATE: AUGUST 02, 2007
NOT TO SCALE

FLOOD INFORMATION NOTE:
THIS LOT LIES ENTIRELY IN FLOOD ZONE "X" AS SCALED
FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR
JOHNSON COUNTY, INDIANA, COMMUNITY NUMBER, 18081C,
PANEL NUMBER 0227D, DATED AUGUST 02, 2007.

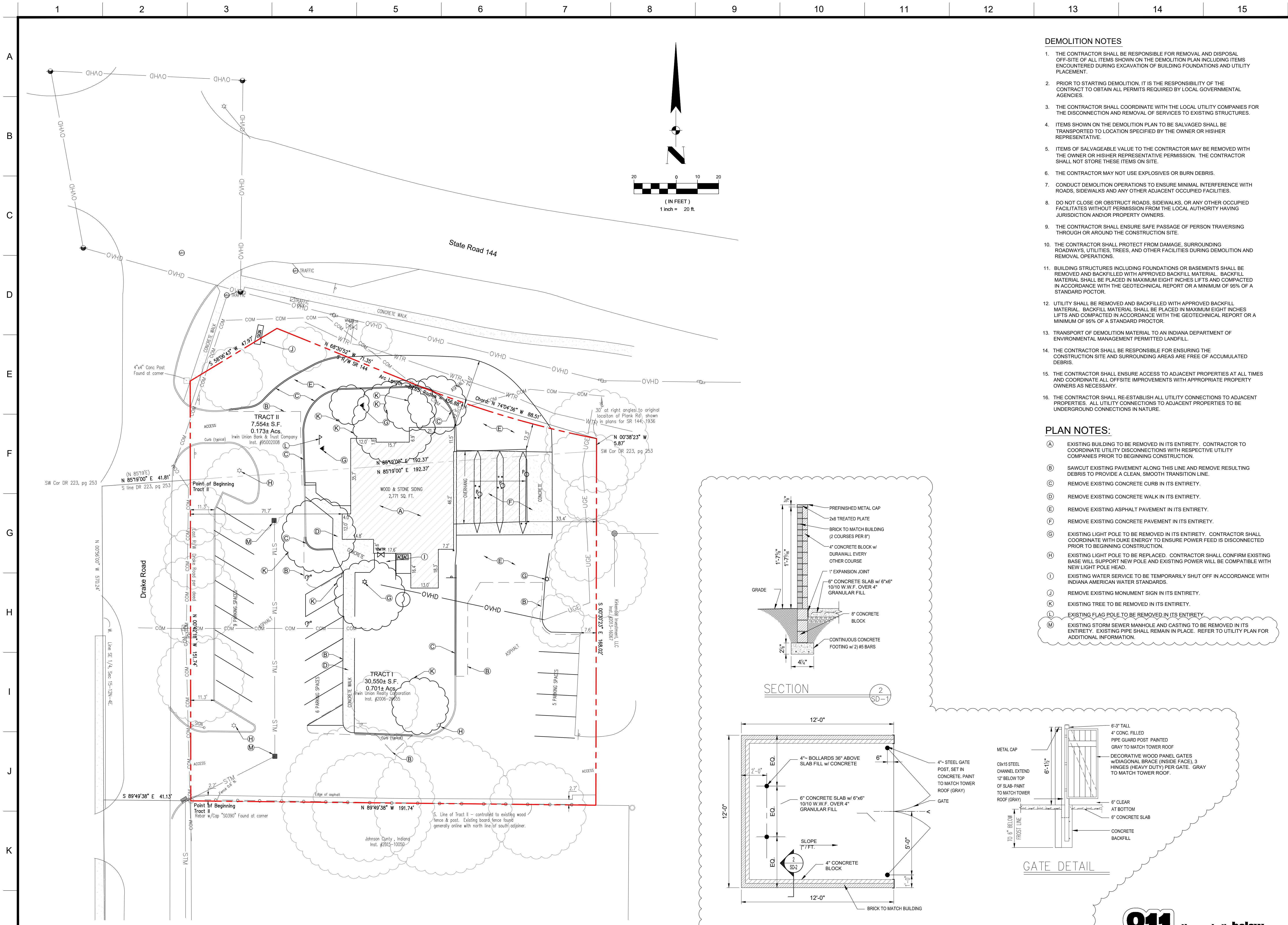


CrA - Crosby silt loam, 0 to 2 percent slopes



**Know what's below.
Call before you dig.**

1 of 1



SITE DEMOLITION PLAN

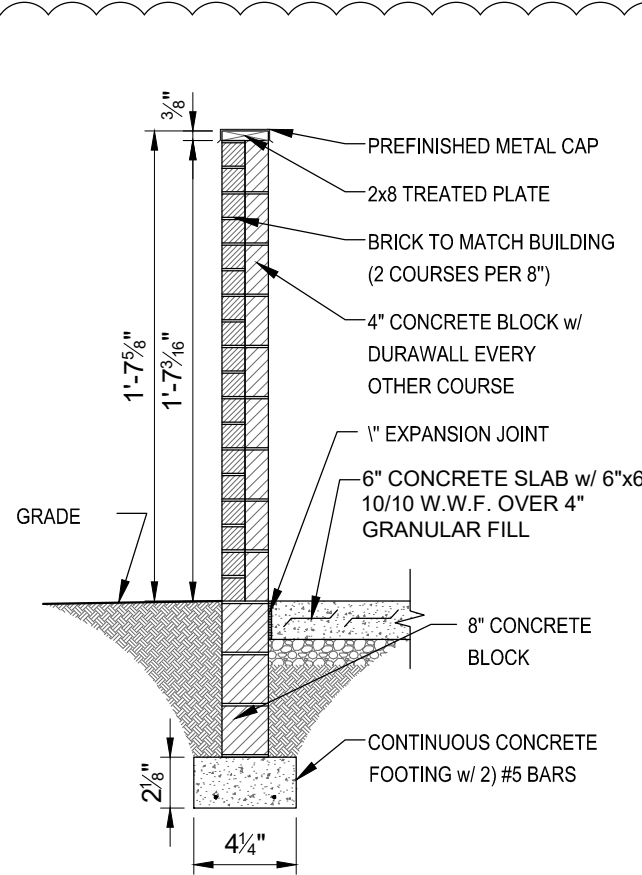
Scale: 1" = 20'

DEMOLITION NOTES

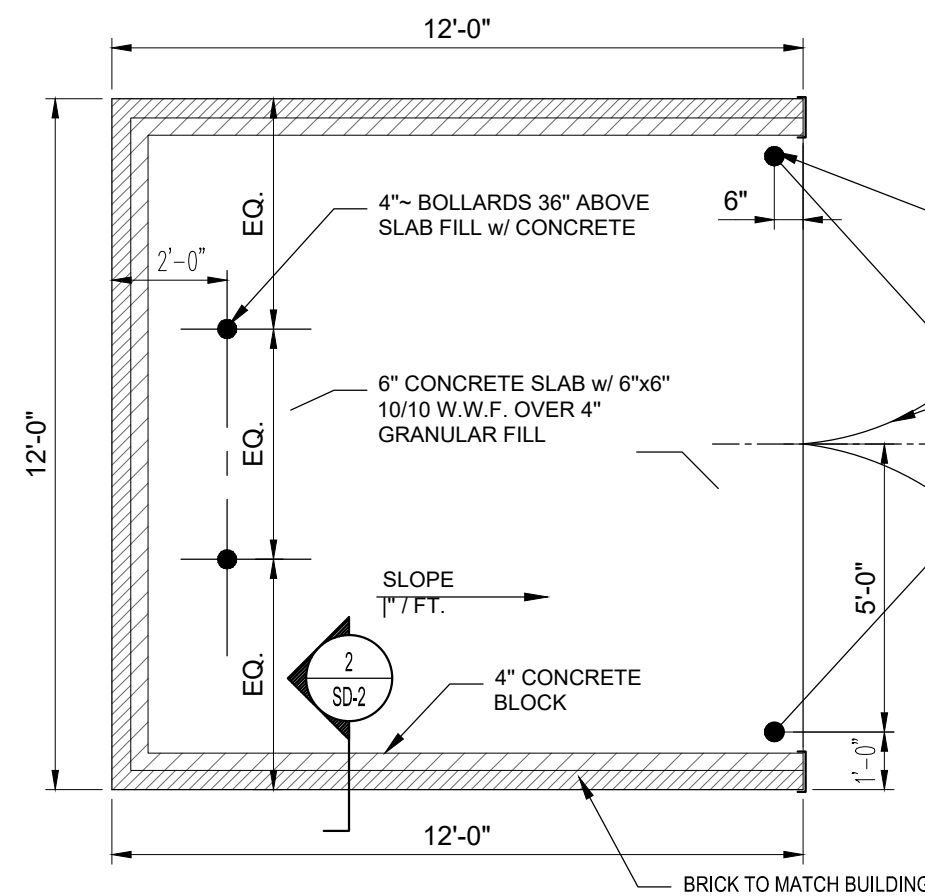
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OFF-SITE OF ALL ITEMS SHOWN ON THE DEMOLITION PLAN INCLUDING ITEMS ENCOUNTERED DURING EXCAVATION OF BUILDING FOUNDATIONS AND UTILITY PLACEMENT.
2. PRIOR TO STARTING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACT TO OBTAIN ALL PERMITS REQUIRED BY LOCAL GOVERNMENTAL AGENCIES.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND REMOVAL OF SERVICES TO EXISTING STRUCTURES.
4. ITEMS SHOWN ON THE DEMOLITION PLAN TO BE SALVAGED SHALL BE TRANSPORTED TO LOCATION SPECIFIED BY THE OWNER OR HIS/HER REPRESENTATIVE.
5. ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED WITH THE OWNER OR HIS/HER REPRESENTATIVE PERMISSION. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
6. THE CONTRACTOR MAY NOT USE EXPLOSIVES OR BURN DEBRIS.
7. CONDUCT DEMOLITION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, SIDEWALKS AND ANY OTHER ADJACENT OCCUPIED FACILITIES.
8. DO NOT CLOSE OR OBSTRUCT ROADS, SIDEWALKS, OR ANY OTHER OCCUPIED FACILITIES WITHOUT PERMISSION FROM THE LOCAL AUTHORITY HAVING JURISDICTION AND/OR PROPERTY OWNERS.
9. THE CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSON TRAVERSING THROUGH OR AROUND THE CONSTRUCTION SITE.
10. THE CONTRACTOR SHALL PROTECT FROM DAMAGE, SURROUNDING ROADWAYS, UTILITIES, TREES, AND OTHER FACILITIES DURING DEMOLITION AND REMOVAL OPERATIONS.
11. BUILDING STRUCTURES INCLUDING FOUNDATIONS OR BASEMENTS SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM EIGHT INCHES LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR A MINIMUM OF 95% OF A STANDARD PROCTOR.
12. UTILITY SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM EIGHT INCHES LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR A MINIMUM OF 95% OF A STANDARD PROCTOR.
13. TRANSPORT OF DEMOLITION MATERIAL TO AN INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT PERMITTED LANDFILL.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE CONSTRUCTION SITE AND SURROUNDING AREAS ARE FREE OF ACCUMULATED DEBRIS.
15. THE CONTRACTOR SHALL ENSURE ACCESS TO ADJACENT PROPERTIES AT ALL TIMES AND COORDINATE ALL OFFSITE IMPROVEMENTS WITH APPROPRIATE PROPERTY OWNERS AS NECESSARY.
16. THE CONTRACTOR SHALL RE-ESTABLISH ALL UTILITY CONNECTIONS TO ADJACENT PROPERTIES. ALL UTILITY CONNECTIONS TO ADJACENT PROPERTIES TO BE UNDERGROUND CONNECTIONS IN NATURE.

PLAN NOTES:

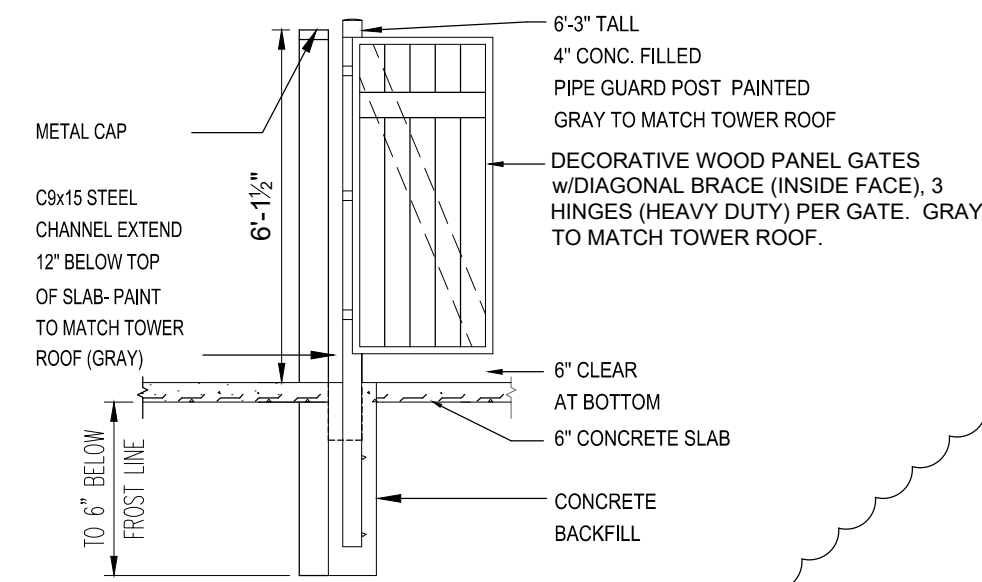
- (A) EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY. CONTRACTOR TO COORDINATE UTILITY DISCONNECTIONS WITH RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- (B) SAWCUT EXISTING PAVEMENT ALONG THIS LINE AND REMOVE RESULTING DEBRIS TO PROVIDE A CLEAN, SMOOTH TRANSITION LINE.
- (C) REMOVE EXISTING CONCRETE CURB IN ITS ENTIRETY.
- (D) REMOVE EXISTING CONCRETE WALK IN ITS ENTIRETY.
- (E) REMOVE EXISTING ASPHALT PAVEMENT IN ITS ENTIRETY.
- (F) REMOVE EXISTING CONCRETE PAVEMENT IN ITS ENTIRETY.
- (G) EXISTING LIGHT POLE TO BE REMOVED IN ITS ENTIRETY. CONTRACTOR SHALL COORDINATE WITH DUKE ENERGY TO ENSURE POWER FEED IS DISCONNECTED PRIOR TO BEGINNING CONSTRUCTION.
- (H) EXISTING LIGHT POLE TO BE REPLACED. CONTRACTOR SHALL CONFIRM EXISTING BASE WILL SUPPORT NEW POLE AND EXISTING POWER WILL BE COMPATIBLE WITH NEW LIGHT POLE HEAD.
- (I) EXISTING WATER SERVICE TO BE TEMPORARILY SHUT OFF IN ACCORDANCE WITH INDIANA AMERICAN WATER STANDARDS.
- (J) REMOVE EXISTING MONUMENT SIGN IN ITS ENTIRETY.
- (K) EXISTING TREE TO BE REMOVED IN ITS ENTIRETY.
- (L) EXISTING FLAG POLE TO BE REMOVED IN ITS ENTIRETY.
- (M) EXISTING STORM SEWER MANHOLE AND CASTING TO BE REMOVED IN ITS ENTIRETY. EXISTING PIPE SHALL REMAIN IN PLACE. REFER TO UTILITY PLAN FOR ADDITIONAL INFORMATION.



SECTION 2 SD-1



DUMPSTER ENCLOSURE PLAN



GATE DETAIL



SEA Group
Land Surveyors • Civil Design
Construction Layout
494 Gradle Drive Carmel, Indiana 46032
Phone: 317.844.3333 Fax: 317.844.3383
www.seagroupinc.com info@seagroupinc.com

PROPOSED NEW IMCU BRANCH
1073 W. JEFFERSON STREET
FRANKLIN, IN 46131

PROJECT LOCATED IN:
SECTION 15 - TOWNSHIP 12 NORTH -
RANGE 4 EAST
FRANKLIN TOWNSHIP,
JOHNSON COUNTY

SITE DEMOLITION PLAN

PREPARED FOR:
INDIANA
Members Credit Union
5103 MADISON AVENUE
INDIANAPOLIS, IN 46227
317.248.8556

REV. #	DATE	REV. DESC.
1	08/09/19	TECHNICAL REVIEW COMMENTS

DRAWING LEGEND

--- PROPERTY BOUNDARY

CERTIFIED BY:



DATE: 08/09/2019

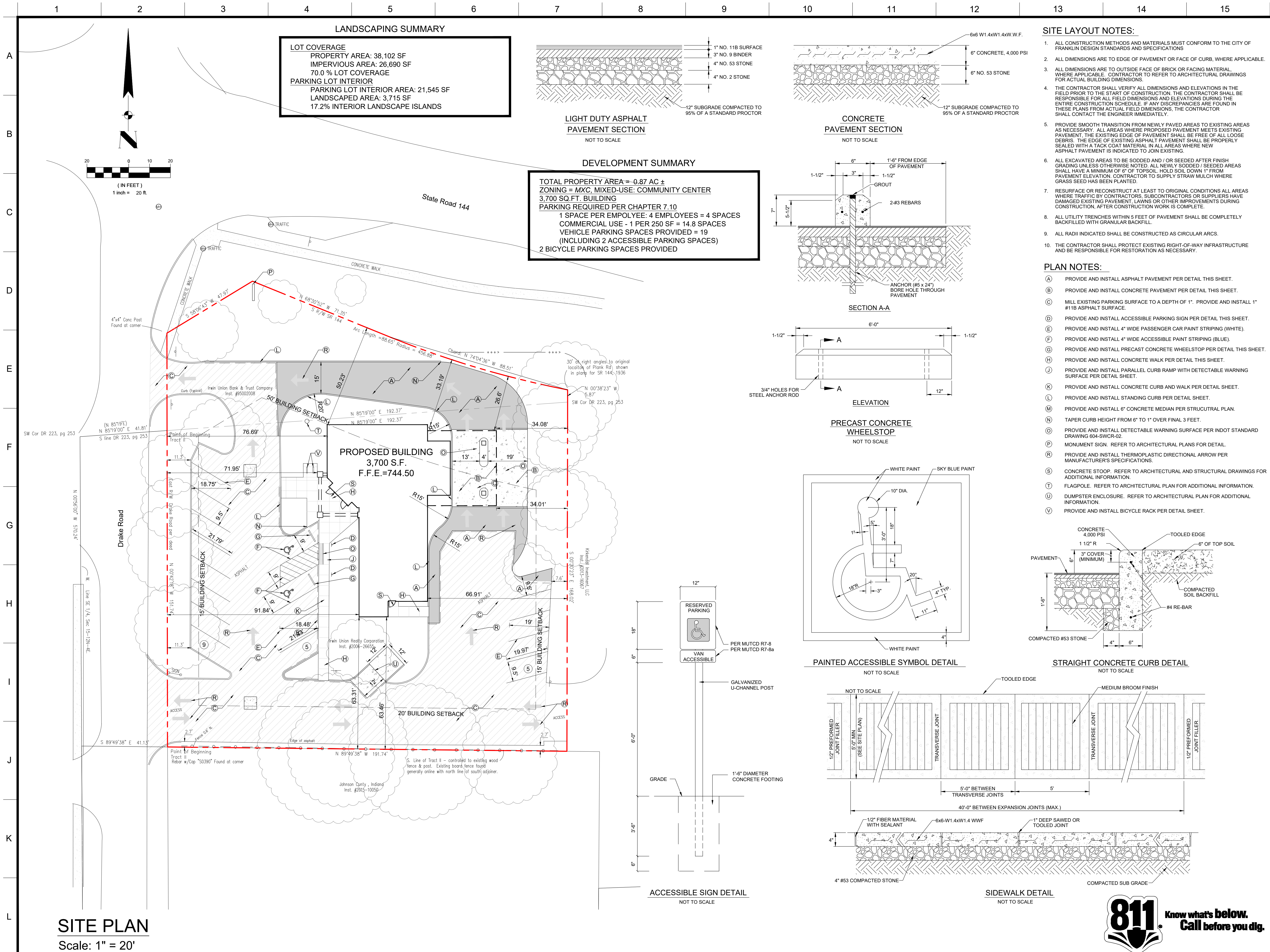
Approved By: BCR
Drawn By: CLH
Date of Last Field Work: 06/21/2019
Date Plotted: 08/09/2019

Reference #: C19-4943

Project Number:

M19-4944
Sheet Number :

C1.1

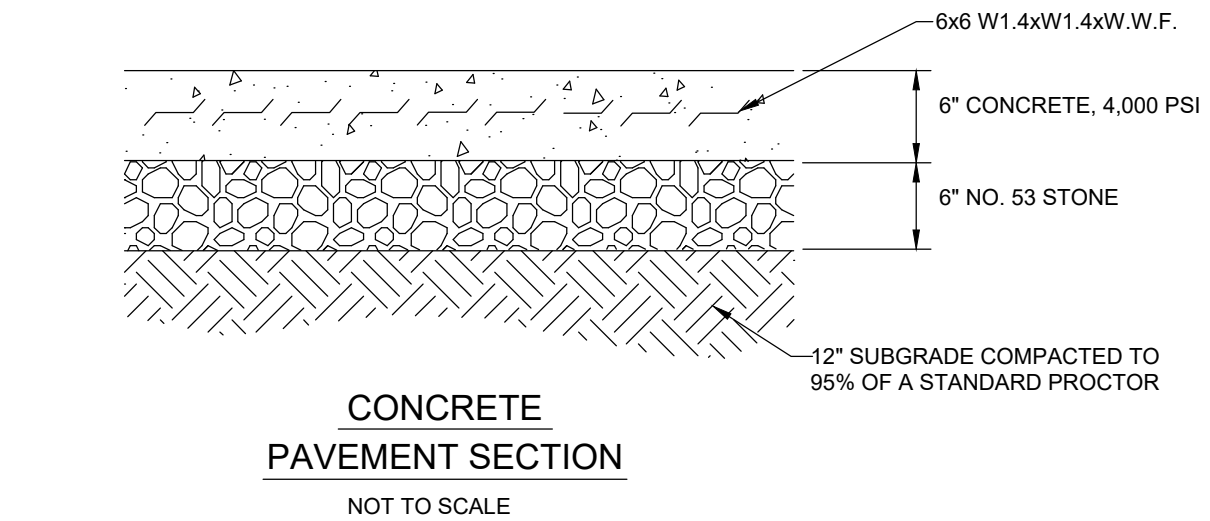
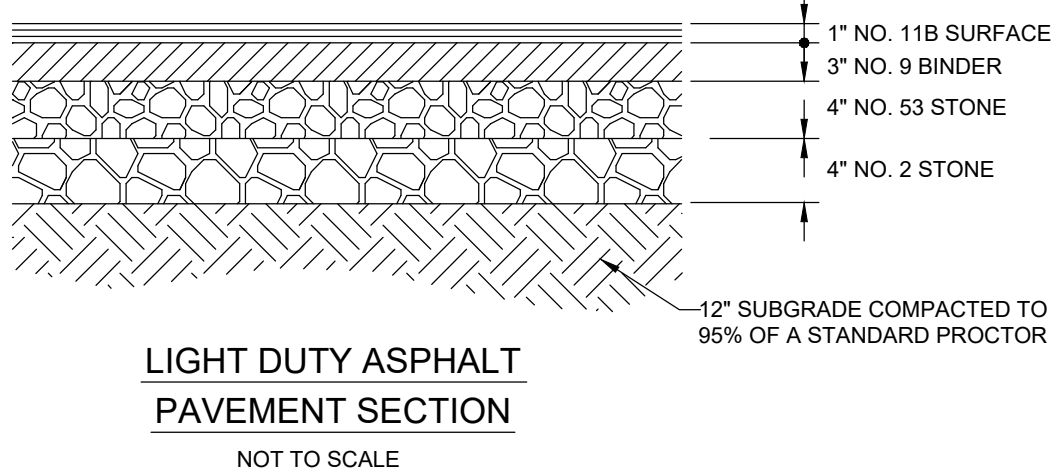


SITE PLAN
Scale: 1" = 20'

LANDSCAPING SUMMARY

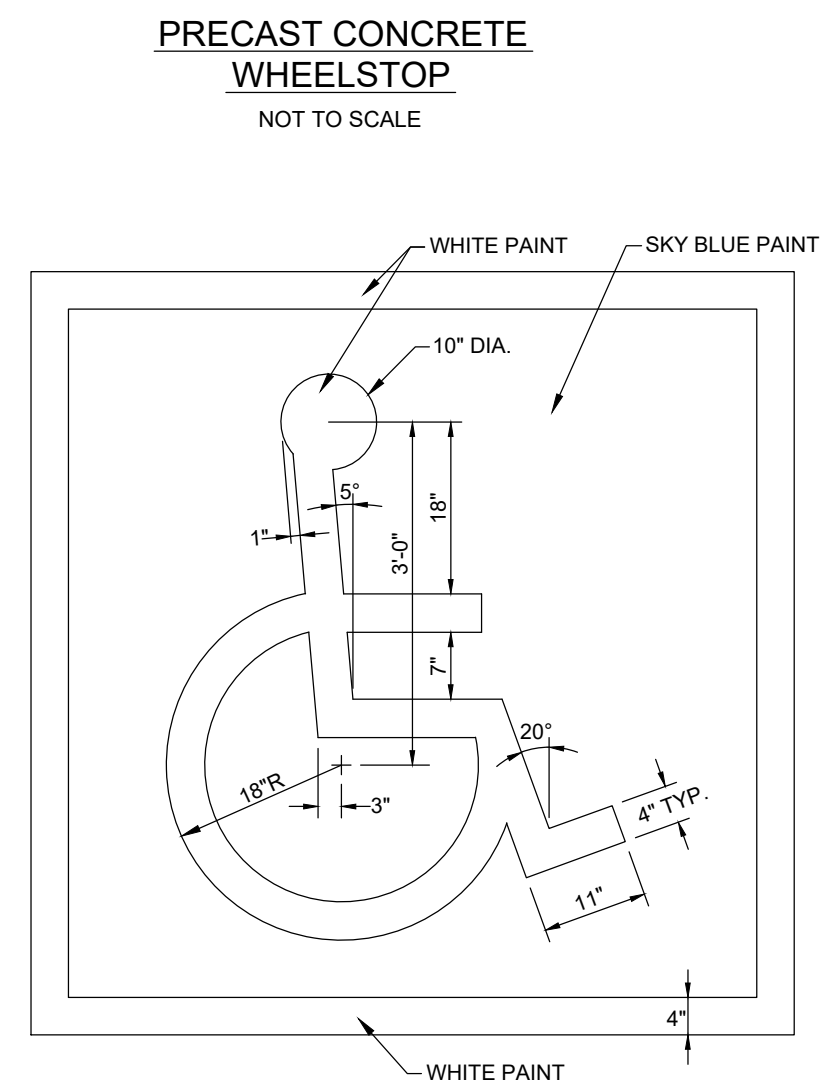
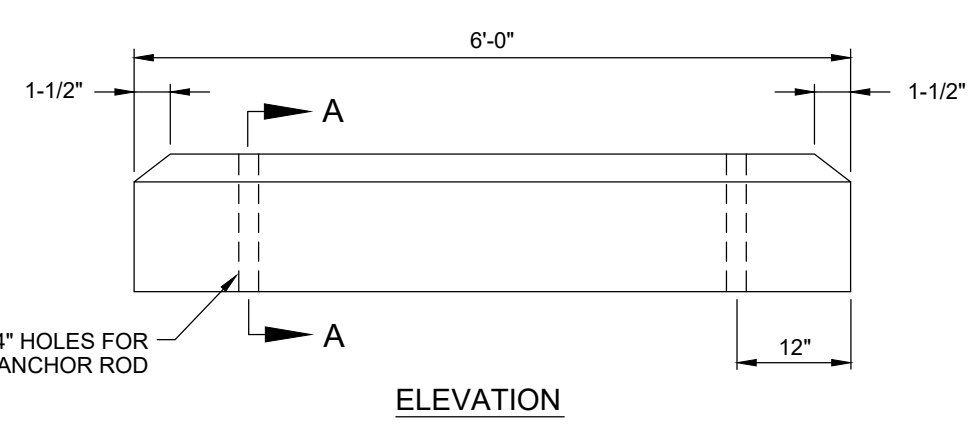
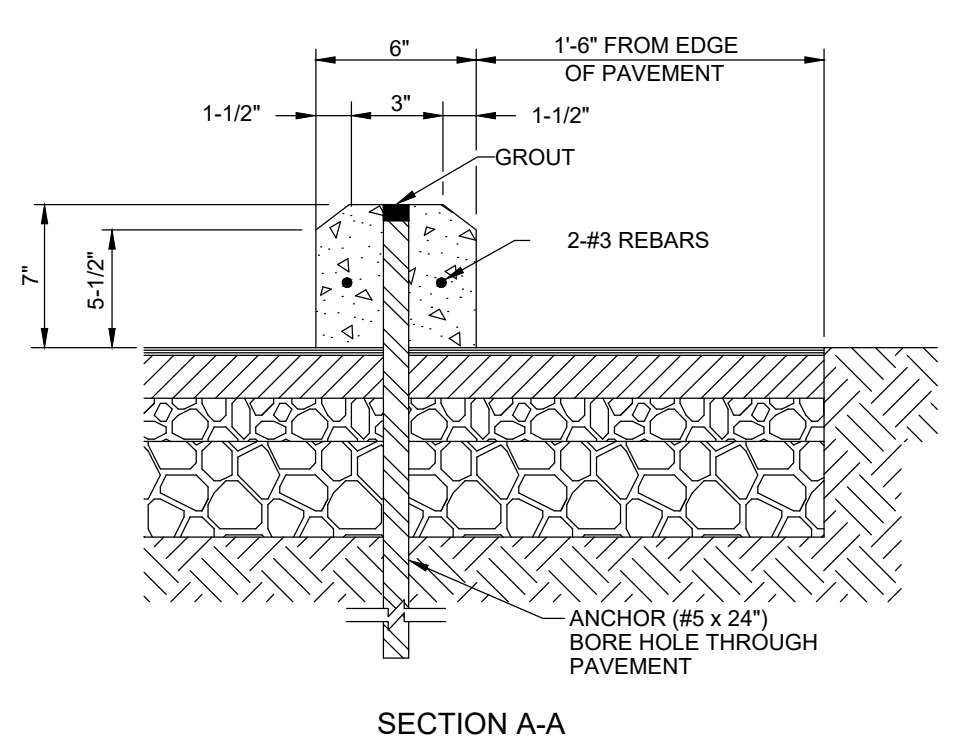
LOT COVERAGE
PROPERTY AREA: 38,102 SF
IMPERVIOUS AREA: 26,690 SF
70.0 % LOT COVERAGE

PARKING LOT INTERIOR
PARKING LOT INTERIOR AREA: 21,545 SF
LANDSCAPED AREA: 3,715 SF
17.2% INTERIOR LANDSCAPE ISLANDS

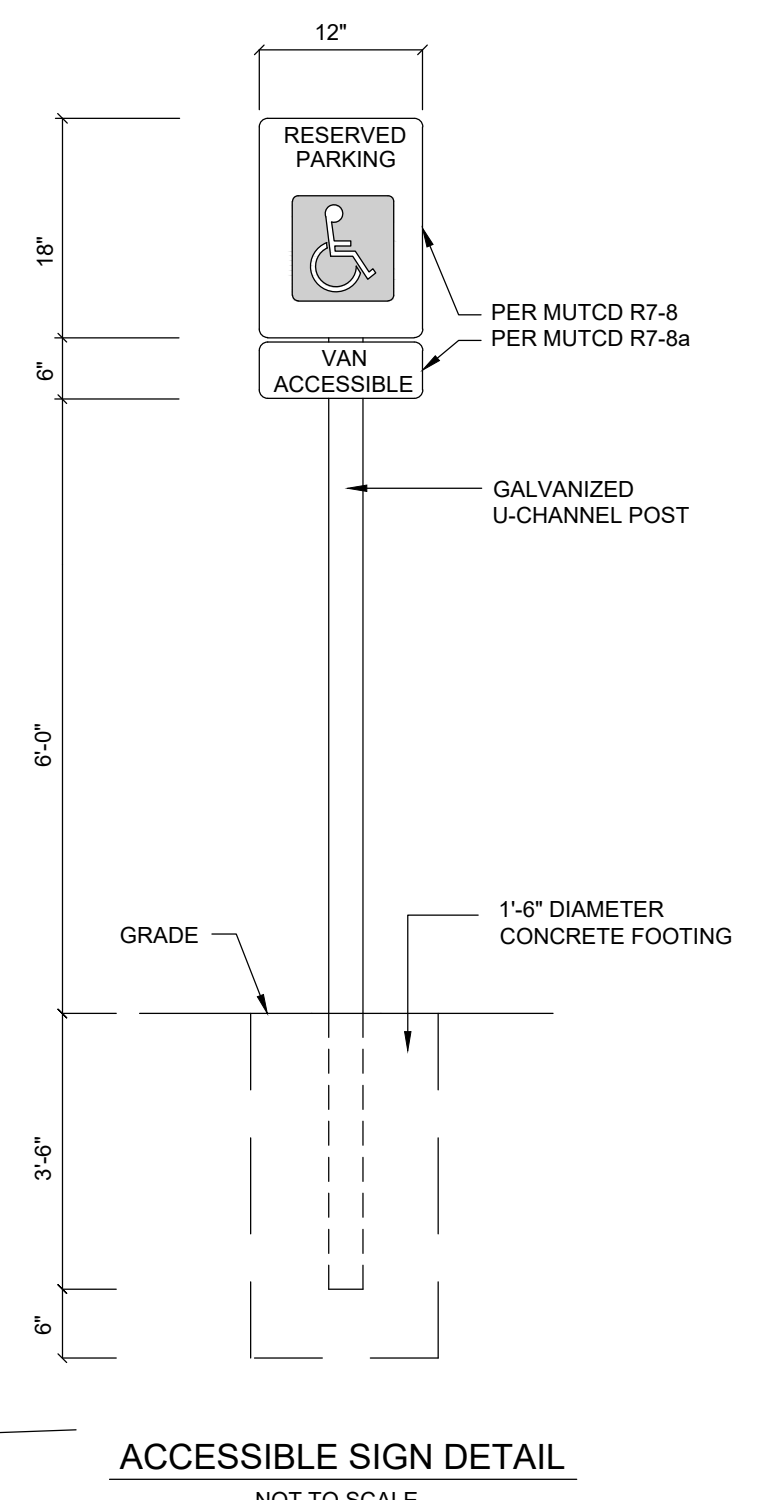
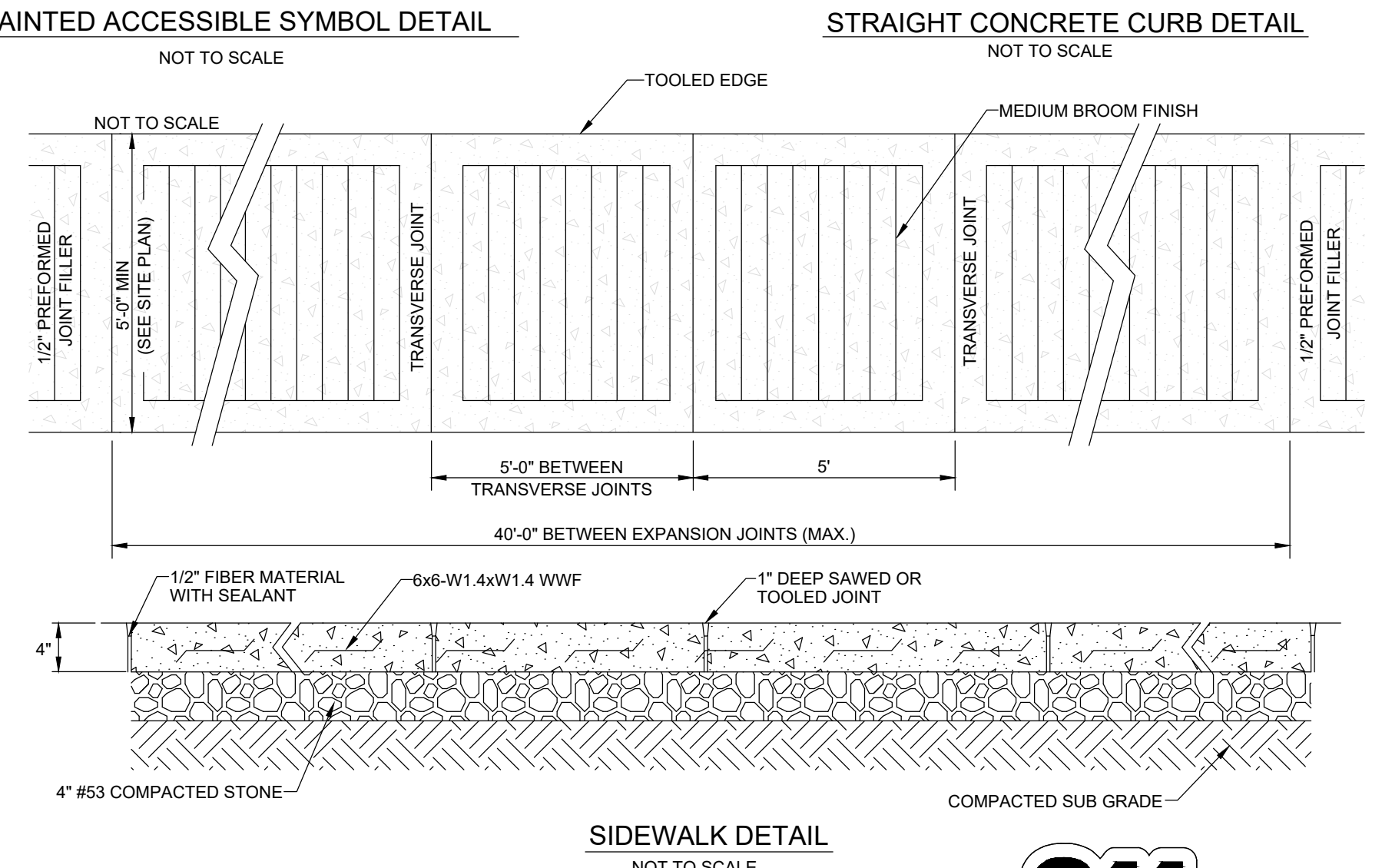
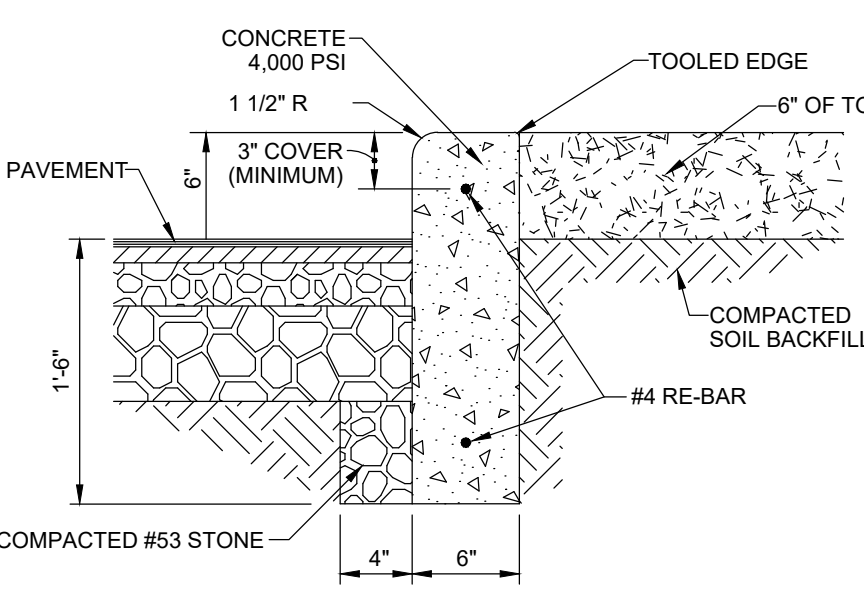


DEVELOPMENT SUMMARY

TOTAL PROPERTY AREA = 0.87 AC ±
ZONING = MXC, MIXED-USE: COMMUNITY CENTER
3,700 SQ.FT. BUILDING
PARKING REQUIRED PER CHAPTER 7.10
1 SPACE PER EMPLOYEE: 4 EMPLOYEES = 4 SPACES
COMMERCIAL USE - 1 PER 250 SF = 14.8 SPACES
VEHICLE PARKING SPACES PROVIDED = 19
(INCLUDING 2 ACCESSIBLE PARKING SPACES)
2 BICYCLE PARKING SPACES PROVIDED



- SITE LAYOUT NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO THE CITY OF FRANKLIN DESIGN STANDARDS AND SPECIFICATIONS
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB, WHERE APPLICABLE.
 - ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK OR FACING MATERIAL, WHERE APPLICABLE. CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL BUILDING DIMENSIONS
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 - PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS NECESSARY. ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
 - ALL EXCAVATED AREAS TO BE SODDED AND / OR SEEDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED / SEEDED AREAS SHALL HAVE A MINIMUM OF 6" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
 - RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE TRAFFIC BY CONTRACTORS, SUBCONTRACTORS OR SUPPLIERS HAVE DAMAGED EXISTING PAVEMENT, LAWNS OR OTHER IMPROVEMENTS DURING CONSTRUCTION. AFTER CONSTRUCTION WORK IS COMPLETE.
 - ALL UTILITY TRENCHES WITHIN 5 FEET OF PAVEMENT SHALL BE COMPLETELY BACKFILLED WITH GRANULAR BACKFILL.
 - ALL RADII INDICATED SHALL BE CONSTRUCTED AS CIRCULAR ARCS.
 - THE CONTRACTOR SHALL PROTECT EXISTING RIGHT-OF-WAY INFRASTRUCTURE AND BE RESPONSIBLE FOR RESTORATION AS NECESSARY.
- PLAN NOTES:**
- (A) PROVIDE AND INSTALL ASPHALT PAVEMENT PER DETAIL THIS SHEET.
 - (B) PROVIDE AND INSTALL CONCRETE PAVEMENT PER DETAIL THIS SHEET.
 - (C) MILL EXISTING PARKING SURFACE TO A DEPTH OF 1". PROVIDE AND INSTALL 1" #11B ASPHALT SURFACE.
 - (D) PROVIDE AND INSTALL ACCESSIBLE PARKING SIGN PER DETAIL THIS SHEET.
 - (E) PROVIDE AND INSTALL 4" WIDE PASSENGER CAR PAINT STRIPING (WHITE).
 - (F) PROVIDE AND INSTALL 4" WIDE ACCESSIBLE PAINT STRIPING (BLUE).
 - (G) PROVIDE AND INSTALL PRECAST CONCRETE WHEELSTOP PER DETAIL THIS SHEET.
 - (H) PROVIDE AND INSTALL CONCRETE WALK PER DETAIL THIS SHEET.
 - (J) PROVIDE AND INSTALL PARALLEL CURB RAMP WITH DETECTABLE WARNING SURFACE PER DETAIL SHEET.
 - (K) PROVIDE AND INSTALL CONCRETE CURB AND WALK PER DETAIL SHEET.
 - (L) PROVIDE AND INSTALL STANDING CURB PER DETAIL SHEET.
 - (M) PROVIDE AND INSTALL 6" CONCRETE MEDIAN PER STRUCTURAL PLAN.
 - (N) TAPER CURB HEIGHT FROM 6" TO 1" OVER FINAL 3 FEET.
 - (O) PROVIDE AND INSTALL DETECTABLE WARNING SURFACE PER INDOT STANDARD DRAWING 604-SWCR-02.
 - (P) MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
 - (R) PROVIDE AND INSTALL THERMOPLASTIC DIRECTIONAL ARROW PER MANUFACTURER'S SPECIFICATIONS.
 - (S) CONCRETE STOOP. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - (T) FLAGPOLE. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION.
 - (U) DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION.
 - (V) PROVIDE AND INSTALL BICYCLE RACK PER DETAIL SHEET.



SEA Group
Land Surveyors • Civil Design
Construction Layout
494 Gradle Drive Carmel, Indiana 46032
Phone: 317.844.3333 Fax: 317.844.3383
www.seagroupinc.com info@seagroupinc.com

PROPOSED NEW IMCU BRANCH
1073 W. JEFFERSON STREET
FRANKLIN, IN 46131

PROJECT LOCATED IN:
SECTION 15 - TOWNSHIP 12 NORTH -
RANGE 4 EAST
FRANKLIN TOWNSHIP,
JOHNSON COUNTY

SITE PLAN

PREPARED FOR:
INDIANA
Members Credit Union
5103 MADISON AVENUE
INDIANAPOLIS, IN 46227
317.248.8556

REV. #	DATE	REV. DESC.
1	08/09/19	TECHNICAL REVIEW COMMENTS

DRAWING LEGEND

- PROPERTY BOUNDARY
- EASEMENT / SETBACK
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- PROPOSED MILL AND RESURFACE PAVEMENT
- PROPOSED CONCRETE PAVEMENT

CERTIFIED BY:



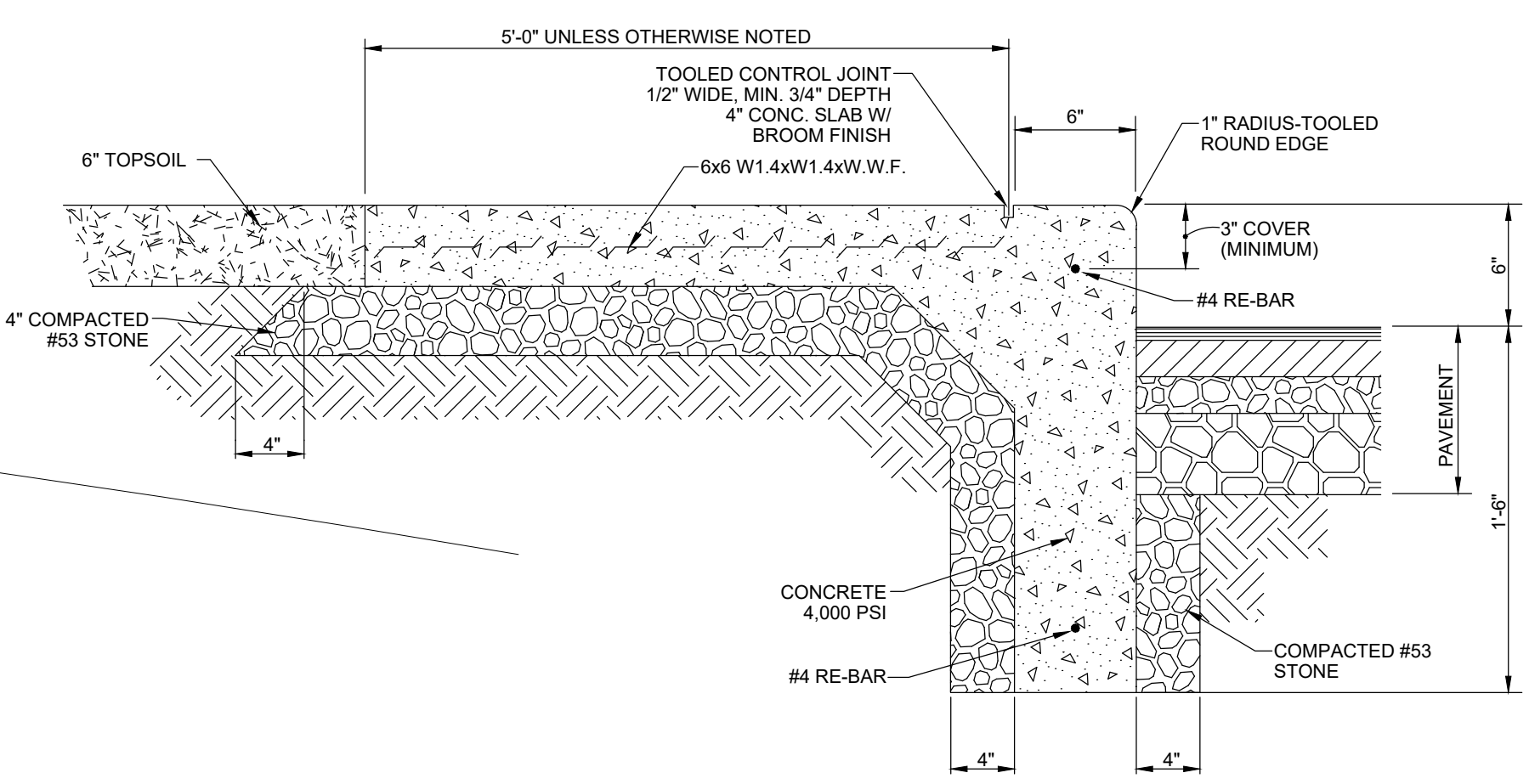
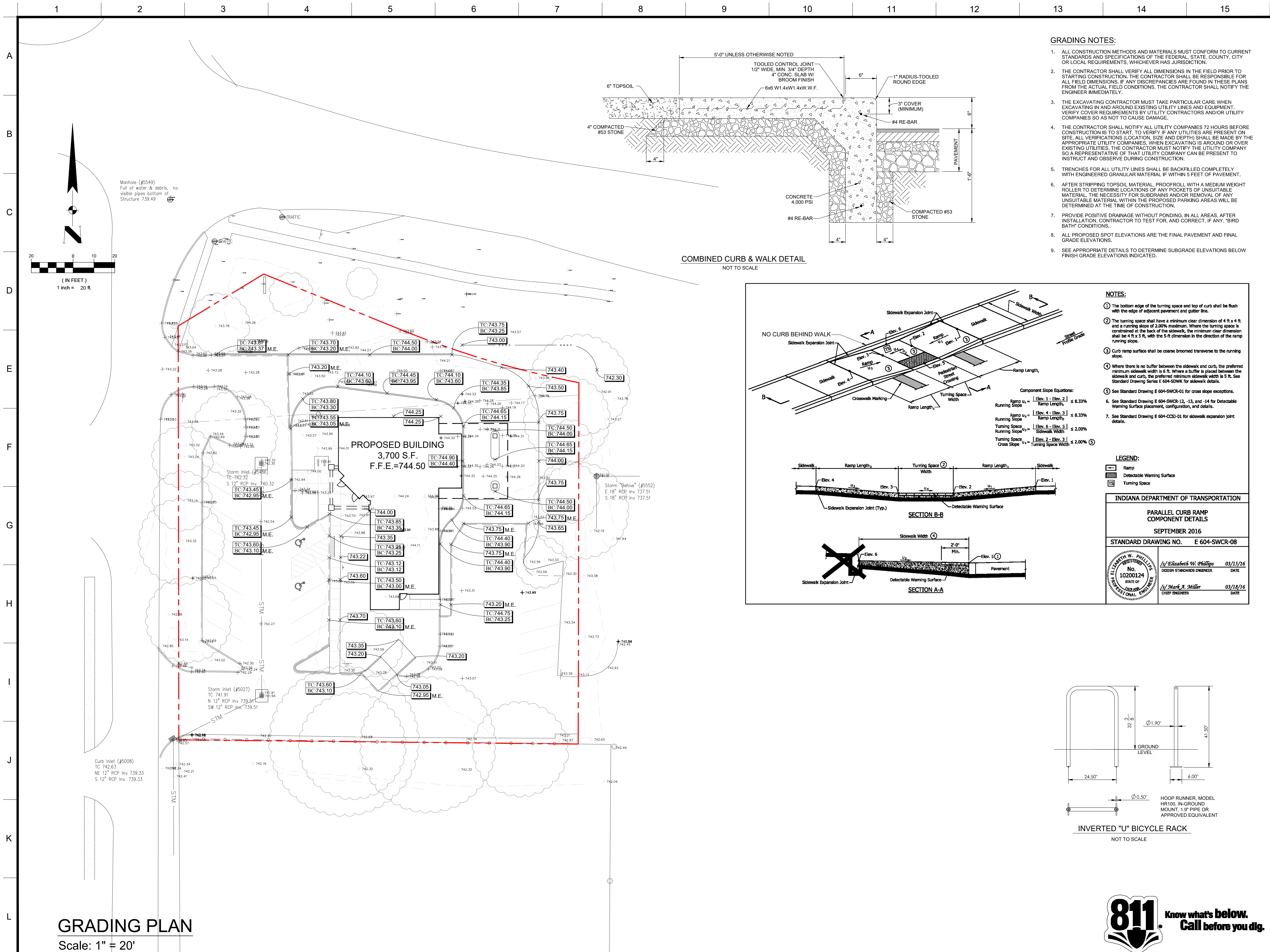
DATE: 08/09/2019

Approved By: BCR
Drawn By: CLH
Date of Last Field Work: 06/21/2019
Date Plotted: 08/09/2019

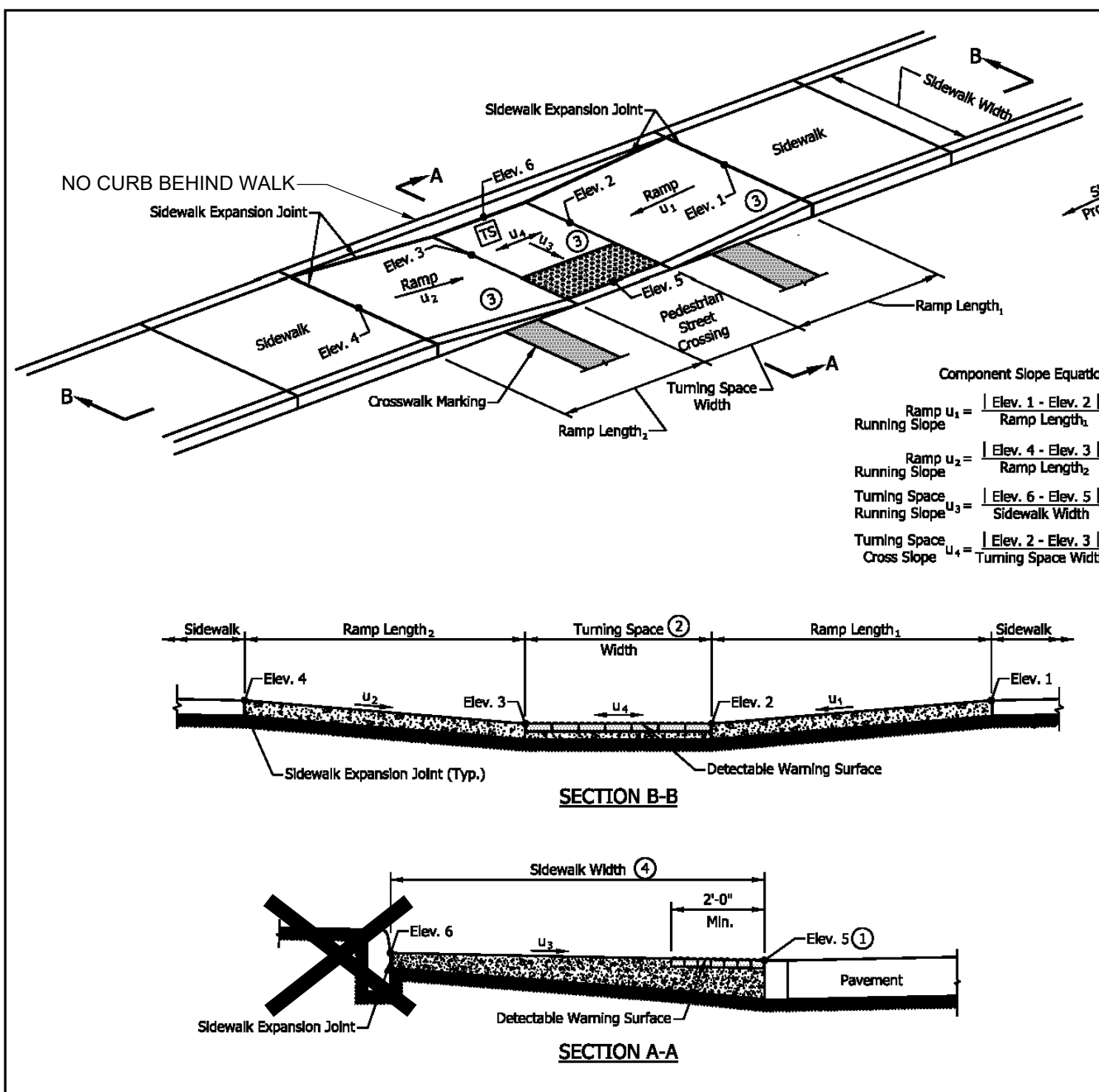
Reference #: C19-4943

Project Number:
M19-4944
Sheet Number :
C2.0





- GRADING NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM THE ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
 - THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START. TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
 - TRENCHES FOR ALL UTILITY LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
 - AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINING AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
 - PROVIDE POSITIVE DRAINAGE WITHOUT PONDING, IN ALL AREAS, AFTER INSTALLATION. CONTRACTOR TO TEST FOR, AND CORRECT, IF ANY, "BIRD BATH" CONDITIONS.
 - ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
 - SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS INDICATED.



- NOTES:**
- The bottom edge of the turning space and top of curb shall be flush with the edge of adjacent pavement and gutter line.
 - The turning space shall have a minimum clear dimension of 4 ft x 4 ft and a running slope of 2.00% maximum. Where the turning space is constrained at the back of the sidewalk, the minimum clear dimension shall be 4 ft x 5 ft, with the 5-ft dimension in the direction of the ramp running slope.
 - Curb ramp surface shall be coarse broomed transverse to the running slope.
 - Where there is no buffer between the sidewalk and curb, the preferred minimum sidewalk width is 6 ft. Where a buffer is placed between the sidewalk and curb, the preferred minimum sidewalk width is 5 ft. See Standard Drawing Series E 604-SDWK for sidewalk details.
 - See Standard Drawing E 604-SWCR-01 for cross slope exceptions.
 - See Standard Drawing E 604-SWCR-12, -13, and -14 for Detectable Warning Surface placement, configuration, and details.
 - See Standard Drawing E 604-CCS2-01 for sidewalk expansion joint details.

LEGEND:

- Ramp
- ▨ Detectable Warning Surface
- ▭ Turning Space

INDIANA DEPARTMENT OF TRANSPORTATION

PARALLEL CURB RAMP COMPONENT DETAILS

SEPTEMBER 2016

STANDARD DRAWING NO. E 604-SWCR-08

REGISTERED PROFESSIONAL ENGINEER

No. 10200124

STATE OF INDIANA

1/Elizabeth W. Phillips 03/15/16

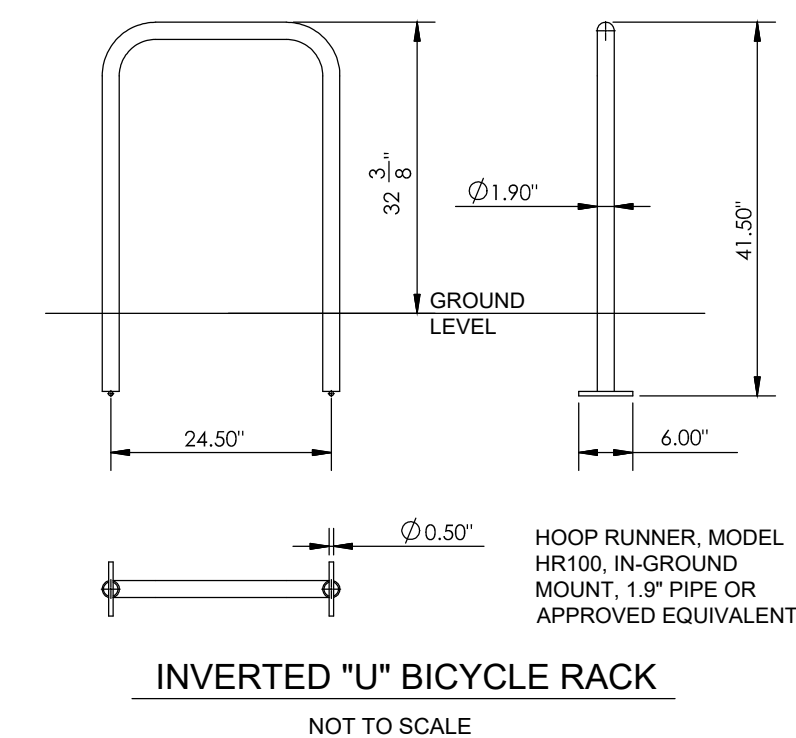
DESIGN STANDARDS ENGINEER

DATE

1/Mark A. Miller 03/18/16

CHIEF ENGINEER

DATE



GRADING PLAN

Scale: 1" = 20'

SEA Group

Land Surveyors • Civil Design Construction Layout

494 Grady Drive Carmel, Indiana 46032

Phone: 317.844.3333 Fax: 317.844.3383

www.seagroupinc.com info@seagroupinc.com

PROPOSED NEW IMCU BRANCH

1073 W. JEFFERSON STREET

FRANKLIN, IN 46131

PROJECT LOCATED IN:

SECTION 15 - TOWNSHIP 12 NORTH -

RANGE 4 EAST

FRANKLIN TOWNSHIP,

JOHNSON COUNTY

GRADING PLAN

PREPARED FOR:

INDIANA

Members Credit Union

5103 MADISON AVENUE

INDIANAPOLIS, IN 46227

317.248.8556

REV. #	DATE	REV. DESC.
1	08/09/19	TECHNICAL REVIEW COMMENTS

DRAWING LEGEND

- PROPERTY BOUNDARY
- × 640.50 PROPOSED SPOT ELEVATION
- × 626.50 PROPOSED TOP OF CURB ELEV.
- × 626.50 PROPOSED BOTTOM OF CURB ELEV.
- × 639.80 EXISTING SPOT ELEVATION
- 639 — EXISTING CONTOUR
- 639 — PROPOSED CONTOUR
- M.E. — MATCH EXISTING ELEVATION

CERTIFIED BY:

REGISTERED PROFESSIONAL ENGINEER

No. 10911288

STATE OF INDIANA

08/09/2019

DATE: 08/09/2019

Approved By: BCR

Drawn By: CLH

Date of Last Field Work: 06/21/2019

Date Plotted: 08/09/2019

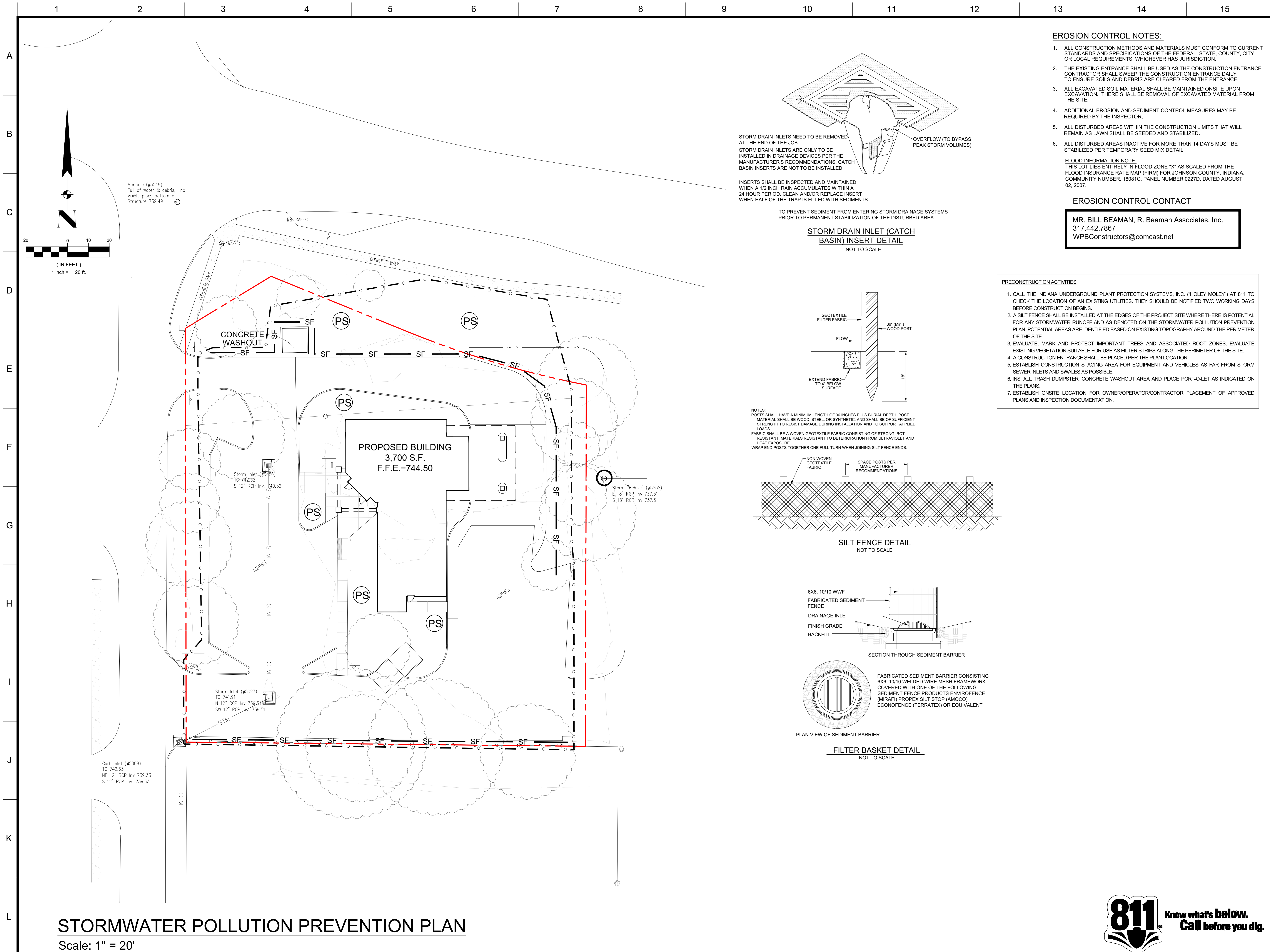
Reference #: C19-4943

Project Number:

M19-4944

Sheet Number :

C3.0



STORMWATER POLLUTION PREVENTION PLAN
Scale: 1" = 20'

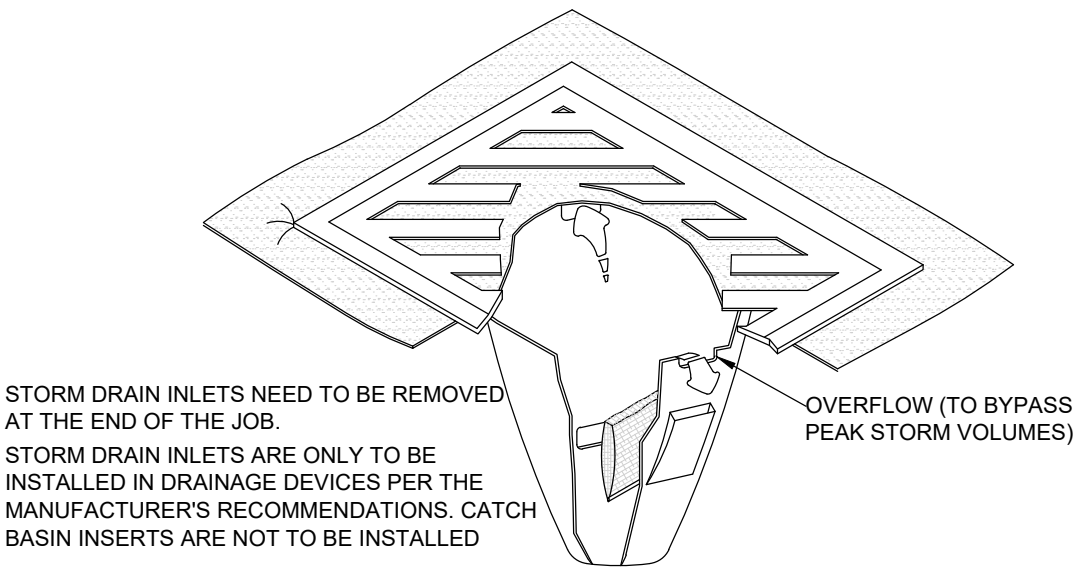
EROSION CONTROL NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- THE EXISTING ENTRANCE SHALL BE USED AS THE CONSTRUCTION ENTRANCE. CONTRACTOR SHALL SWEEP THE CONSTRUCTION ENTRANCE DAILY TO ENSURE SOILS AND DEBRIS ARE CLEARED FROM THE ENTRANCE.
- ALL EXCAVATED SOIL MATERIAL SHALL BE MAINTAINED ONSITE UPON EXCAVATION. THERE SHALL BE REMOVAL OF EXCAVATED MATERIAL FROM THE SITE.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE INSPECTOR.
- ALL DISTURBED AREAS WITHIN THE CONSTRUCTION LIMITS THAT WILL REMAIN AS LAWN SHALL BE SEEDED AND STABILIZED.
- ALL DISTURBED AREAS INACTIVE FOR MORE THAN 14 DAYS MUST BE STABILIZED PER TEMPORARY SEED MIX DETAIL.

FLOOD INFORMATION NOTE:
THIS LOT LIES ENTIRELY IN FLOOD ZONE "X" AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR JOHNSON COUNTY, INDIANA, COMMUNITY NUMBER, 18081C, PANEL NUMBER 0227D, DATED AUGUST 02, 2007.

EROSION CONTROL CONTACT

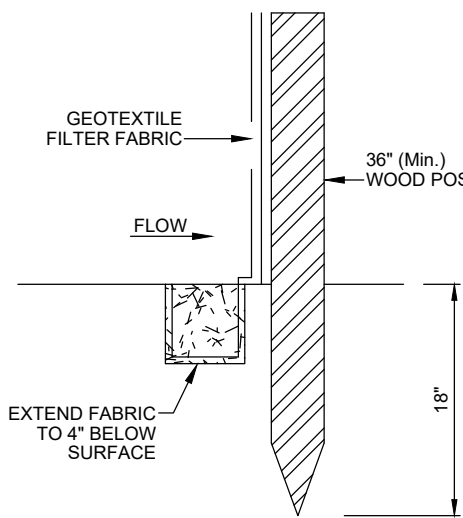
MR. BILL BEAMAN, R. Beaman Associates, Inc.
317.442.7867
WPBConstructors@comcast.net



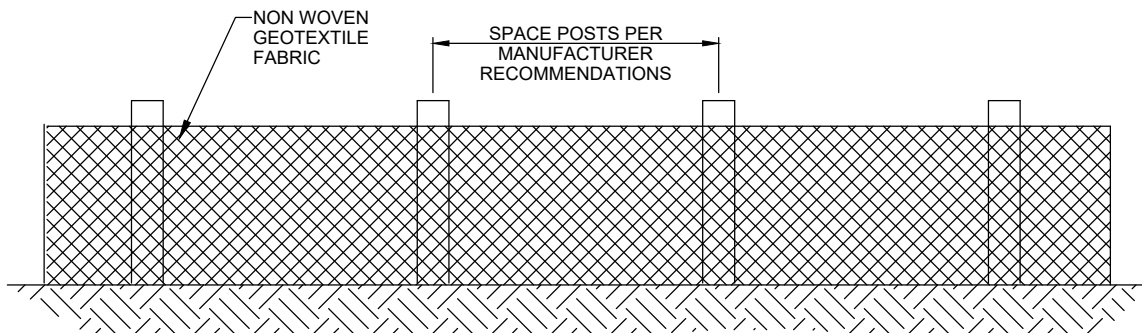
INSERTS SHALL BE INSPECTED AND MAINTAINED WHEN A 1/2 INCH RAIN ACCUMULATES WITHIN A 24 HOUR PERIOD. CLEAN AND/OR REPLACE INSERT WHEN HALF OF THE TRAP IS FILLED WITH SEDIMENTS.

TO PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEMS PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED AREA.

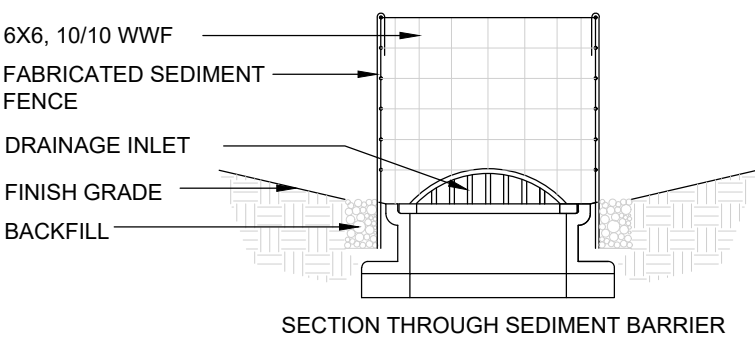
STORM DRAIN INLET (CATCH BASIN) INSERT DETAIL
NOT TO SCALE



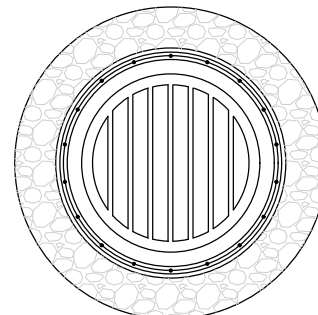
NOTES:
POSTS SHALL HAVE A MINIMUM LENGTH OF 36 INCHES PLUS BURIAL DEPTH. POST MATERIAL SHALL BE WOOD, STEEL, OR SYNTHETIC, AND SHALL BE OF SUFFICIENT STRENGTH TO RESIST DAMAGE DURING INSTALLATION AND TO SUPPORT APPLIED LOADS.
FABRIC SHALL BE A WOVEN GEOTEXTILE FABRIC CONSISTING OF STRONG, ROT RESISTANT, MATERIALS RESISTANT TO DETRIORATION FROM ULTRAVIOLET AND HEAT EXPOSURE.
WRAP END POSTS TOGETHER ONE FULL TURN WHEN JOINING SILT FENCE ENDS.



SILT FENCE DETAIL
NOT TO SCALE



SECTION THROUGH SEDIMENT BARRIER



PLAN VIEW OF SEDIMENT BARRIER

FABRICATED SEDIMENT BARRIER CONSISTING 6X6, 10/10 WELDED WIRE MESH FRAMEWORK COVERED WITH ONE OF THE FOLLOWING SEDIMENT FENCE PRODUCTS ENVIROFENCE (MIRAFI) PROPEX SILT STOP (AMOCO) ECONOFENCE (TERRATEX) OR EQUIVALENT

FILTER BASKET DETAIL
NOT TO SCALE

PRECONSTRUCTION ACTIVITIES

- CALL THE INDIANA UNDERGROUND PLANT PROTECTION SYSTEMS, INC. ("HOLEY MOLEY") AT 811 TO CHECK THE LOCATION OF AN EXISTING UTILITIES. THEY SHOULD BE NOTIFIED TWO WORKING DAYS BEFORE CONSTRUCTION BEGINS.
- A SILT FENCE SHALL BE INSTALLED AT THE EDGES OF THE PROJECT SITE WHERE THERE IS POTENTIAL FOR ANY STORMWATER RUNOFF AND AS DENOTED ON THE STORMWATER POLLUTION PREVENTION PLAN. POTENTIAL AREAS ARE IDENTIFIED BASED ON EXISTING TOPOGRAPHY AROUND THE PERIMETER OF THE SITE.
- EVALUATE, MARK AND PROTECT IMPORTANT TREES AND ASSOCIATED ROOT ZONES. EVALUATE EXISTING VEGETATION SUITABLE FOR USE AS FILTER STRIPS ALONG THE PERIMETER OF THE SITE.
- A CONSTRUCTION ENTRANCE SHALL BE PLACED PER THE PLAN LOCATION.
- ESTABLISH CONSTRUCTION STAGING AREA FOR EQUIPMENT AND VEHICLES AS FAR FROM STORM SEWER INLETS AND SWALES AS POSSIBLE.
- INSTALL TRASH DUMPSTER, CONCRETE WASHOUT AREA AND PLACE PORT-O-LET AS INDICATED ON THE PLANS.
- ESTABLISH ONSITE LOCATION FOR OWNER/OPERATOR/CONTRACTOR PLACEMENT OF APPROVED PLANS AND INSPECTION DOCUMENTATION.

SEA Group
Land Surveyors • Civil Design
Construction Layout
494 Gradle Drive Carmel, Indiana 46032
Phone: 317.844.3333 Fax: 317.844.3383
www.seagrouplic.com info@seagrouplic.com

PROPOSED NEW IMCU BRANCH
1073 W. JEFFERSON STREET
FRANKLIN, IN 46131

PROJECT LOCATED IN:
SECTION 15 - TOWNSHIP 12 NORTH -
RANGE 4 EAST
FRANKLIN TOWNSHIP,
JOHNSON COUNTY

**STORMWATER
POLLUTION PREVENTION
PLAN**

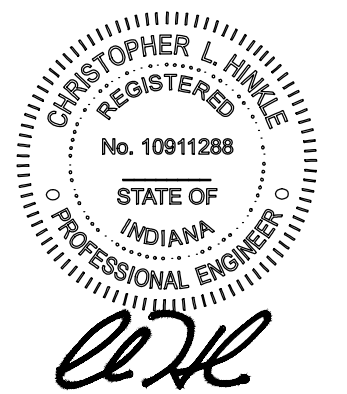
PREPARED FOR:
INDIANA
Members Credit Union
5103 MADISON AVENUE
INDIANAPOLIS, IN 46227
317.248.8556

REV. #	DATE	REV. DESC.
1	08/09/19	TECHNICAL REVIEW COMMENTS

DRAWING LEGEND

- PROPERTY BOUNDARY
- SF PROPOSED SILT FENCE
- CONSTRUCTION LIMITS
- PS PERMANENT SEEDING - TYPICAL AFTER CONSTRUCTION IS COMPLETED.
- TS TEMPORARY SEEDING - REQUIRED IF AREA IS INACTIVE FOR 14 DAYS OR MORE.
- STORM DRAIN INLET (CATCH BASIN) INSERT
- FILTER BASKET

CERTIFIED BY:



DATE: 08/09/2019

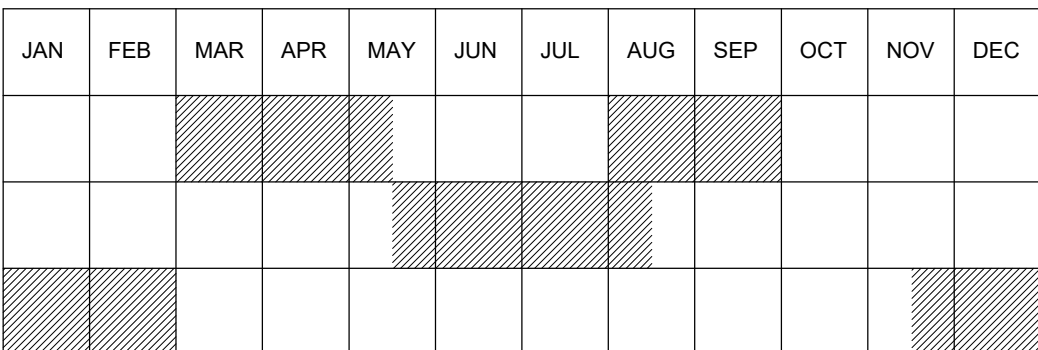
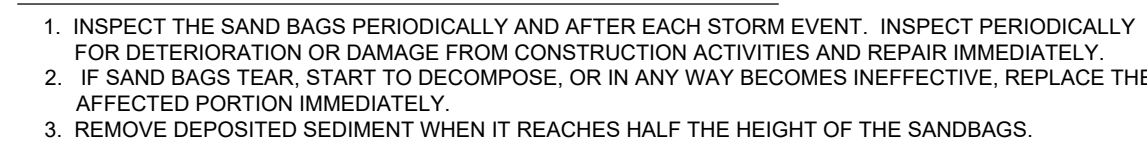
Approved By: BCR
Drawn By: CLH
Date of Last Field Work: 06/21/2019
Date Plotted: 08/09/2019

Reference #: C19-4943

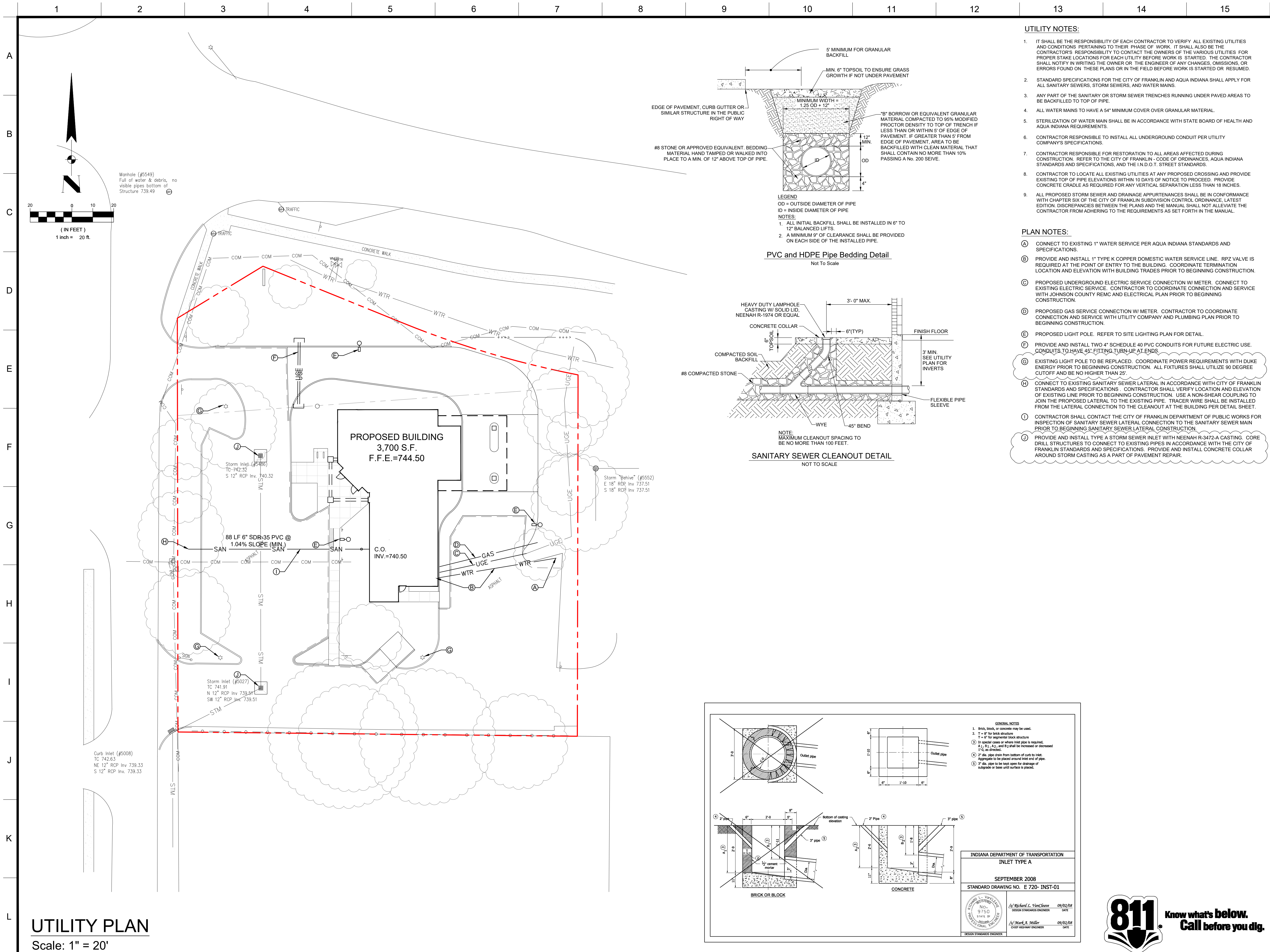
Project Number:

M19-4944
Sheet Number :
C4.0





* 1 - PREFERRED 2 - WILL TOLERATE ** INOCULATE WITH SPECIFIC INOCULANT.
SEED TOLERANCE CHART
 * LATE SUMMER SEEDING DATES MAY BE EXTENDED 5 DAYS IF MULCH IS APPLIED.
 ** INCREASE SEEDING APPLICATION BY 50%.



SEA Group
Land Surveyors • Civil Design
Construction Layout
494 Gradle Drive Carmel, Indiana 46032
Phone: 317.844.3333 Fax: 317.844.3383
www.seagroupllc.com info@seagroupllc.com

PROPOSED NEW IMCU BRANCH
1073 W. JEFFERSON STREET
FRANKLIN, IN 46131

PROJECT LOCATED IN:
SECTION 15 - TOWNSHIP 12 NORTH -
RANGE 4 EAST
FRANKLIN TOWNSHIP,
JOHNSON COUNTY

UTILITY PLAN

PREPARED FOR:
INDIANA
Members Credit Union
5103 MADISON AVENUE
INDIANAPOLIS, IN 46227
317.248.8556

REV. #	DATE	REV. DESC.
1	08/09/19	TECHNICAL REVIEW COMMENTS

DRAWING LEGEND	
---	PROPERTY BOUNDARY
---	EASEMENT
---	WTR WATER LINE
---	UGE UNDERGROUND ELECTRIC
---	UGT UNDERGROUND TELEPHONE
---	SAN PROPOSED SANITARY LATERAL

CERTIFIED BY:

CHRISTOPHER L. LINCE
REGISTERED
No. 10911288
STATE OF INDIANA
PROFESSIONAL ENGINEER
CL

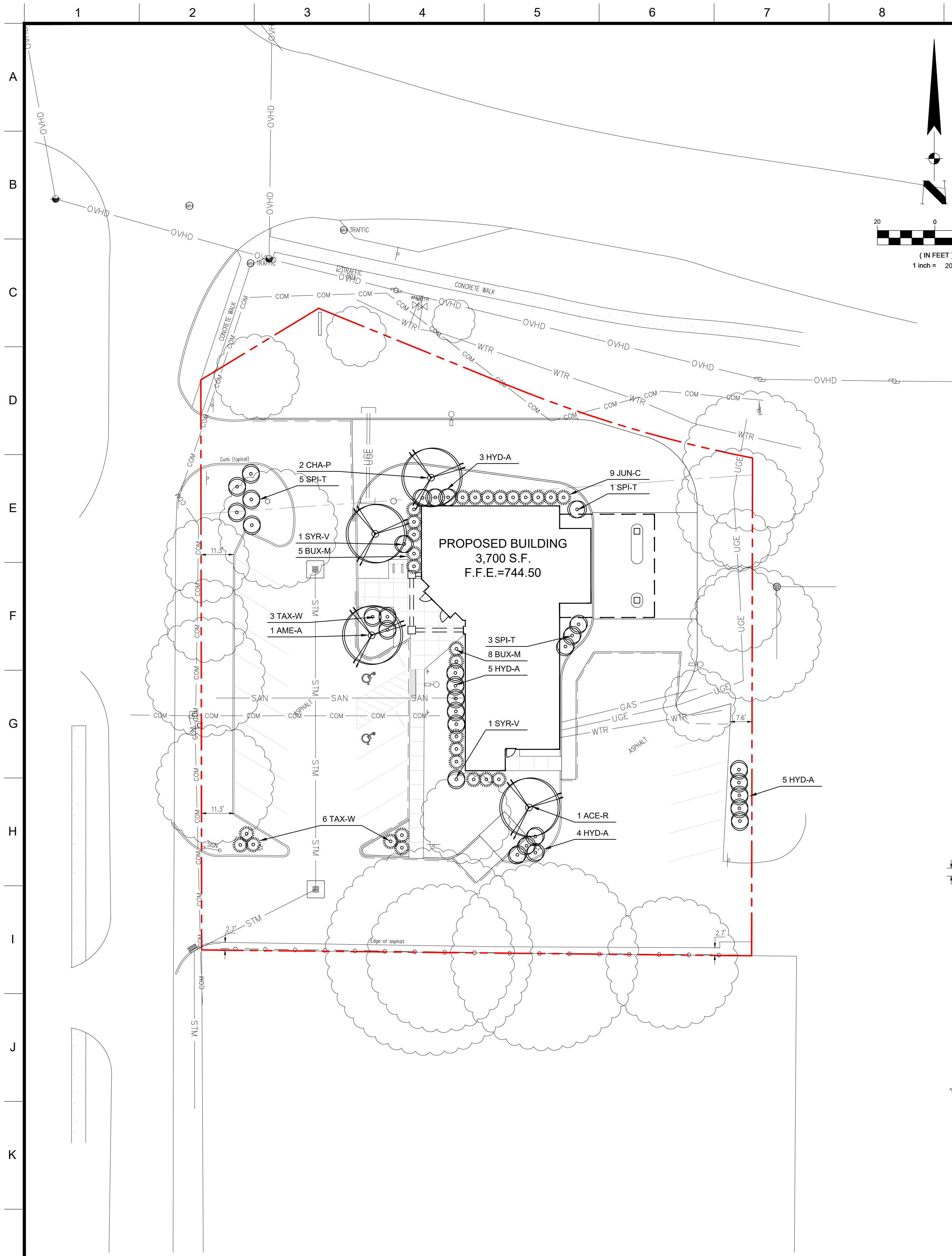
DATE: 08/09/2019
Approved By: BCR
Drawn By: CLH
Date of Last Field Work: 06/21/2019
Date Plotted: 08/09/2019

Reference #: C19-4943

Project Number:

M19-4944
Sheet Number :
C5.0





LANDSCAPE PLAN

Scale: 1" = 20'

SITE LANDSCAPING NOTES:

1. ALL NECESSARY PERMITS AND APPROVALS FROM AGENCIES GOVERNING THE LANDSCAPE WORK SHALL BE SECURED BY CONTRACTOR PRIOR TO BEGINNING ANY WORK.
2. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ROADS, WALKS, AND ADJACENT PROPERTIES CLEAR OF ALL LANDSCAPE CONSTRUCTION EQUIPMENT, DIRT, AND OTHER DEBRIS.
3. THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL LANDSCAPING RELATED WORK WITH OTHER CONTRACTORS AND TRADES.
5. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OFFICE OF THE ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS ARE FOUND.
6. THE LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR ROUGH GRADING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING IN ALL LAWN AREAS. THE SITE OR GRADING CONTRACTOR SHALL DEVELOP THE SITE GRADES TO WITHIN 1 INCH OF FINE GRADE. THIS SHALL INCLUDE TOPSOIL, IF AVAILABLE.
7. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING APPROVED PLANTING SOIL MIX. TILL THE EXISTING SUBGRADE TO MINIMUM DEPTH OF 8" PRIOR TO INSTALLING THE PLANTING SOIL MIX. THE FOLLOWING AREAS SHALL RECEIVE APPROVED PLANTING SOIL MIX PER THE PLANTING DETAILS.
1) Shrub Planting Pits 2) Tree Planting Pits
8. ANY SERIES OF TREES OR SHRUBS TO BE PLACED IN A PARTICULAR ARRANGEMENT MAY BE FIELD CHECKED AND APPROVED BY THE LANDSCAPE ARCHITECT FOR ACCURACY OF SPACING PRIOR TO PLANTING. ANY PLANTS NOT ARRANGED PER THE LANDSCAPE PLANS WILL BE RELOCATED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR.
9. CONTRACTOR TO LOOSEN SUBSOIL IN ALL PLANTING AREAS PER SPECIFICATIONS.
10. APPLY HERBICIDE TO PLANT BEDS PRIOR TO PLANTING FOR WEED CONTROL. FOLLOW LABEL DIRECTIONS. DO NOT APPLY TO ANY PLANTING BEDS THAT MAY RESULT IN DAMAGE TO PLANT MATERIALS.

SITE LANDSCAPING NOTES:

11. PLANTING BEDS TO HAVE A MINIMUM OF 3" PROCESSED SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE NOTED. ALL SHRUBS TO BE INCLUDED IN A MULCHED BED AS INDICATED ON PLANS. TREES TO HAVE A 4' DIAMETER CIRCLE OF 3" PROCESSED SHREDDED HARDWOOD MULCH.
12. DIMENSION FOR HEIGHT AND SPREAD OF PLANT MATERIAL SPECIFIED ON THE PLANT LIST ARE GENERAL GUIDES FOR THE MINIMUM DESIRED SIZE OF EACH PLANT. EACH PLANT SHALL HAVE A UNIFORM AND CONSISTENT SHAPE AS IT PERTAINS TO THE SPECIFICATIONS AND PARTICULAR SPECIES. ANY PLANT MATERIAL WHICH FAILS TO CONFORM TO THE SPECIFICATIONS IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
13. THE QUANTITIES INDICATED ON THE PLANT LIST ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLANS WILL TAKE PRECEDENCE OVER THE PLANT LIST. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITIES, CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
14. ALL PLANTING BEDS ADJACENT TO THE BUILDING SHALL HAVE A MINIMUM SLOPE OF 2% AWAY FROM THE BUILDING TO INSURE POSITIVE DRAINAGE.
15. REFER TO CIVIL PLANS FOR SITE GRADING AND UTILITY PLANS.
16. ALL EXCAVATED AREAS TO BE SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED AREAS SHALL HAVE A MINIMUM OF 6" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION.
17. CONTRACTOR SHALL REESTABLISH ALL EXISTING IRRIGATION SYSTEMS, LANDSCAPE LIGHTING, AND CIRCUITRY. COORDINATE CONNECTIONS WITH OWNER OR OWNER'S REPRESENTATIVE.
18. ALL LANDSCAPING MATERIALS SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH THE CURRENT VERSION OF THE AMERICAN STANDARDS FOR NURSERY STOCK AS ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
19. LANDSCAPING PLAN SHALL BE SUBJECT TO THE STANDARDS OF THE CITY OF FRANKLIN LANDSCAPING AND SCREENING STANDARDS.

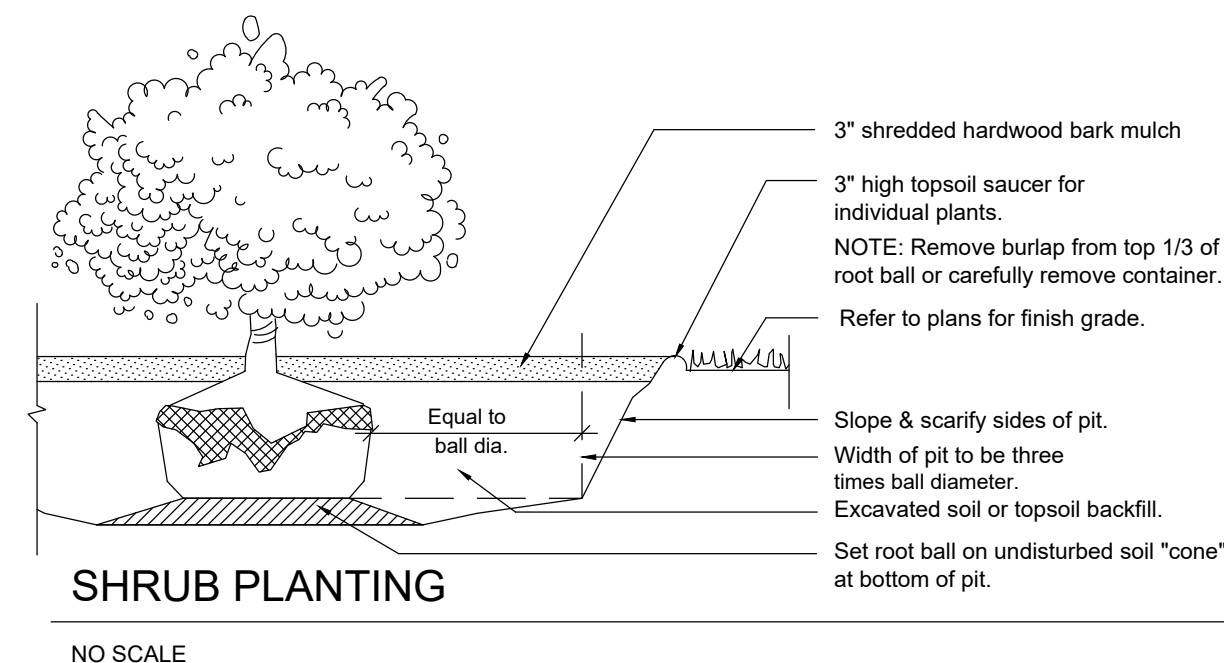
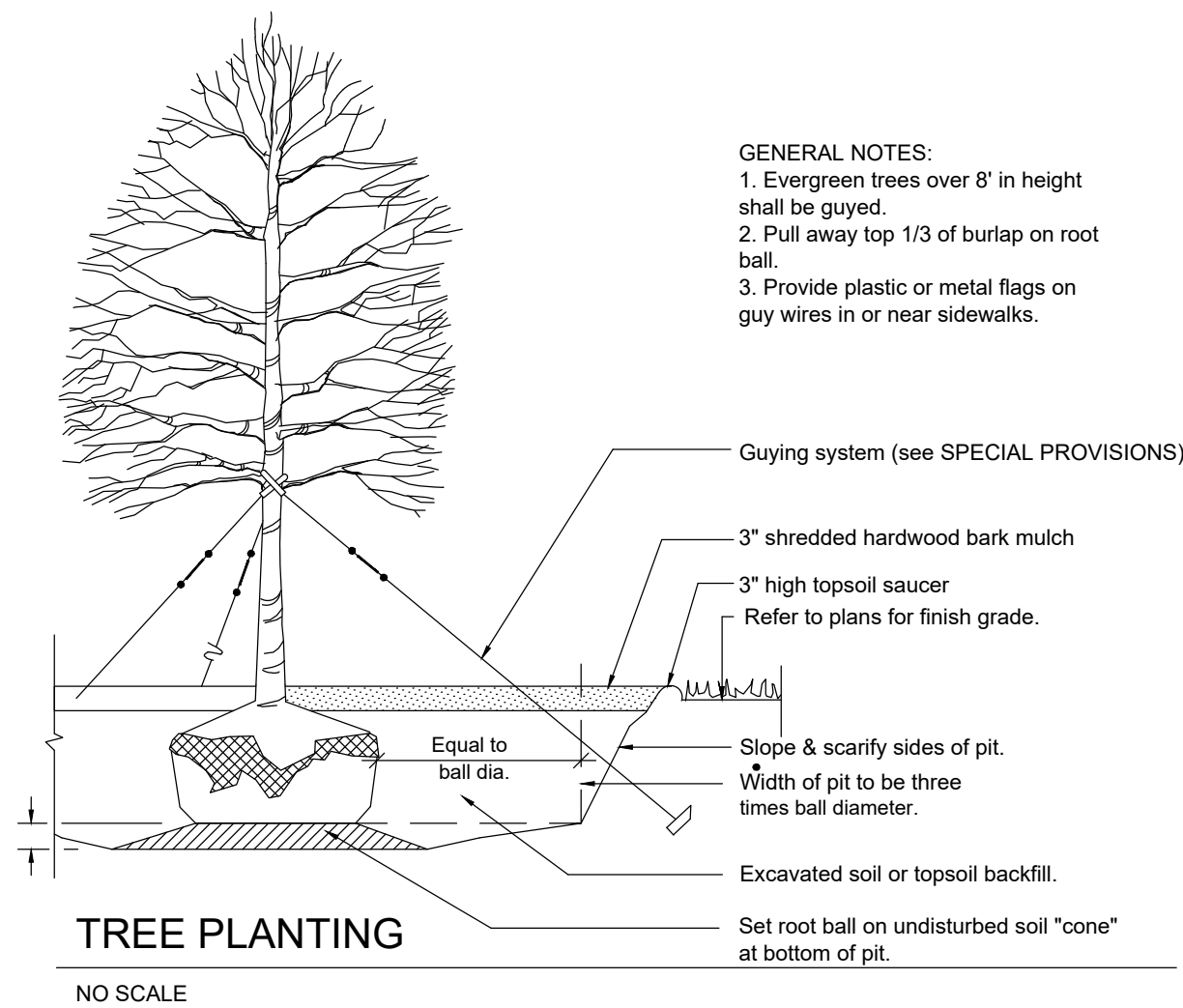
LANDSCAPE SUMMARY

PROPERTY INTERIOR PLANTING REQUIREMENTS:
PER 7.16 D., COMMERCIAL = 1 BROAD LEAF TREE PER 1,500 SF
INTERIOR AREA = 3,715 SF = 2.47 TREES REQUIRED
1 EXISTING RED SUNSET MAPLE
2 PROPOSED CHANTICLEER PEAR
PROVIDED: 3 TREES

PARKING LOT PERIMETER REQUIREMENTS:
PER 7.16 E., COMMERCIAL = 10' WIDE LANDSCAPING AREA
INCLUDING:
1 ORNAMENTAL TREE PER 80 LINEAL FEET
AND 1 SHRUB PER 1 TREE.
TOTAL PERIMETER LENGTH = 770' = 9.6 TREES REQUIRED
PROVIDED: 15 EXISTING TREES, 10 PROPOSED SHRUBS

PARKING LOT INTERIOR PLANTING REQUIREMENTS:
PER 7.16 F., 5.0% OF PAVED SURFACE AREA SHALL BE LANDSCAPED,
INCLUDING:
1 BROAD LEAF TREE PER EVERY 300 SF LANDSCAPE AREA REQUIRED
PARKING LOT INTERIOR = 21,545 SF
5.0% LANDSCAPE AREA = 1,080 SF = 3.6 TREES REQUIRED
PROVIDED: 1 EXISTING RED SUNSET MAPLE
2 PROPOSED CHANTICLEER PEAR
1 PROPOSED RED SUNSET MAPLE

GENERAL NOTES:
1. Evergreen trees over 8" in height shall be guyed.
2. Pull away top 1/3 of burlap on root ball.
3. Provide plastic or metal flags on guy wires in or near sidewalks.



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
QUANTITY			
TREES			
ACE-R	1 ACER RUBRUM	RED SUNSET MAPLE	1.5"
AME-A	1 AMELANCHIER ARBOREA	SERVICEBERRY	1.5"
CHA-P	2 PYRUS CALLERYANA	CHANTICLEER PEAR	1.5"

SHRUBS			
BUX-M	13 BUXUS MICROPHYLL SPRINTER	BOXWOOD	24"
HYD-A	12 HYDRANGEA ARBORESCENS	HYDRANGEA	24"
SPI-T	9 SPIRAEA THUNBERGII	EARLY SPIREA	24"
SYR-V	2 SYRINGA VULGARIS	LILAC	24"
TAX-W	9 TAXUS MEDIA "WARDI"	WARDI YEW	24"
JUN-C	9 JUNIPERUS CHINENSIS	PFITZER JUNIPER	24"

MULCH			
SHREDDED HARDWOOD BARK MULCH	CU. YDS.	ALL PLANTING AREAS TO BE @ A 3" DEPTH	

SEA Group
Land Surveyors • Civil Design
Construction Layout
494 Gradle Drive Carmel, Indiana 46032
Phone: 317.844.3333 Fax: 317.844.3383
www.seagroupinc.com info@seagroupinc.com

PROPOSED NEW IMCU BRANCH
1073 W. JEFFERSON STREET
FRANKLIN, IN 46131

PROJECT LOCATED IN:
SECTION 15 - TOWNSHIP 12 NORTH -
RANGE 4 EAST
FRANKLIN TOWNSHIP,
JOHNSON COUNTY

LANDSCAPE PLAN

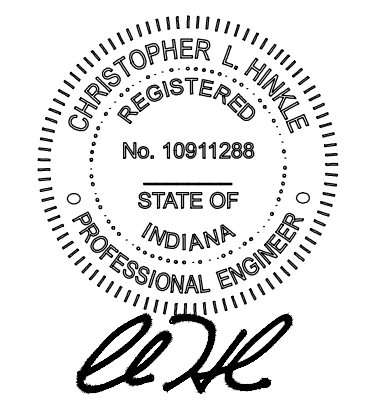
PREPARED FOR:
INDIANA
Members Credit Union
5103 MADISON AVENUE
INDIANAPOLIS, IN 46227
317.248.8556

REV. #	DATE	REV. DESC.
1	08/09/19	TECHNICAL REVIEW COMMENTS

DRAWING LEGEND

--- PROPERTY BOUNDARY
--- EASEMENT

CERTIFIED BY:



DATE: 08/09/2019

Approved By: BCR
Drawn By: CLH
Date of Last Field Work: 06/21/2019
Date Plotted: 08/09/2019

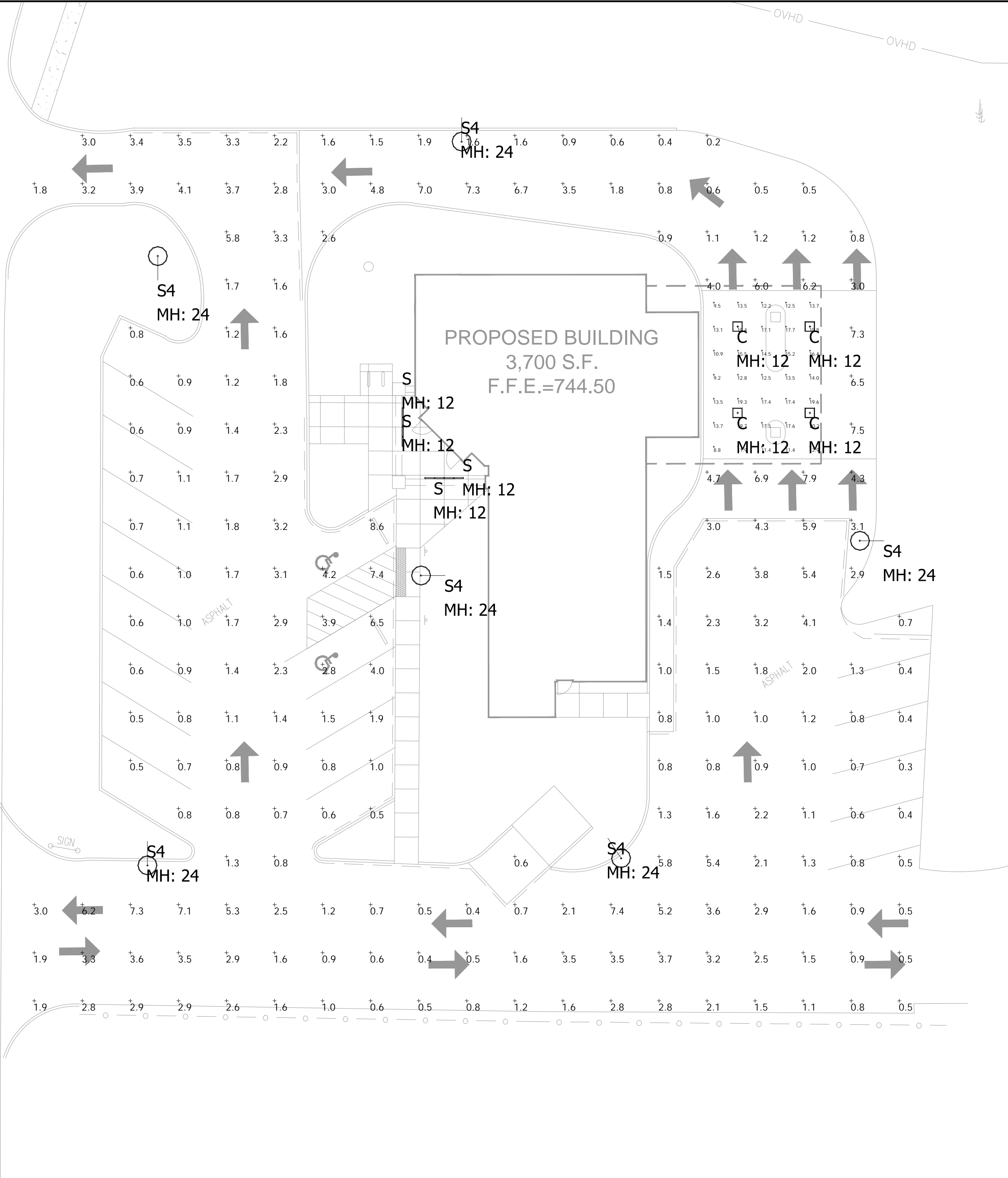
Reference #: C19-4943

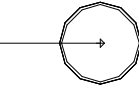

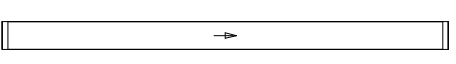
Project Number:

M19-4944
Sheet Number :

L1.0





Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
	6	S4	SINGLE	14081	0.900	136.4	XDLM-FT-LED-SS-CW
	4	C	SINGLE	5631	0.900	58.5	XSPS-S-LED-HO-CW-120V-GWT-DFL
	4	S	SINGLE	5349	0.900	38.4	SDL4-LED-50L-FL-50

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Paved Areas	Illuminance	Fc	2.28	8.6	0.2	11.40	43.00
Under Canopy	Illuminance	Fc	14.72	20.2	8.8	1.67	2.30

LIGHTING NOTES:

- Mounting Height = 24'
- Light Loss Factor = 0.90
- Footcandle Values Calculated @ Grade
- Reflectance Values - 80/50/20 (office spaces)
50/30/20 (warehouse areas)

National Lighting Vendor:
For pricing and technical assistance contact:
Todd Hacker of CBMC INC, tel#
317-698-9077, thacker@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and /or IECC Energy Codes.

The information contained in this document is proprietary to CBMC Lighting Solutions. This document is prepared for a specific site and incorporates calculations based on data available from the client at this time. By accepting and using this document, the recipient agrees to protect its contents from further dissemination, (other than that within the organization necessary to evaluate such specification) without the written permission of CBMC Lighting Solutions. the contents of this document are not to be reproduced or copied in whole or in part without the written permission of CBMC Lighting Solutions. **copyright © 2018 CBMC Lighting Solutions all rights reserved.**

CBMC • **LIGHTING SOLUTIONS**

5855 KOPETSKY DR. SUITE G. | INDIANAPOLIS, IN 46217
317-780-8350| WWW.CBMCINC.COM



This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.

Contractor to check and verify all dimensions on site before commencing any work shown.

IMCU - Franklin, IN

SITE LAYOUT			
Scale:	1/16" = 1'-0"	Drawing No:	LP1
Date:	8/7/19	Project No:	CB15516-SITE
Drawn By:	SJM		
			-