

1073 W. JEFFERSON STREET
FRANKLIN TOWNSHIP, JOHNSON COUNTY
FRANKLIN, INDIANA 46131



EFFECTIVE DATE: AUGUST 02, 2007
NOT TO SCALE

FLOOD INFORMATION NOTE:
THIS LOT LIES ENTIRELY IN FLOOD ZONE "X" AS SCALED
FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR
JOHNSON COUNTY, INDIANA, COMMUNITY NUMBER, 18081C,
PANEL NUMBER 0227D, DATED AUGUST 02, 2007.



CrA - Crosby silt loam, 0 to 2 percent slopes



TRACT 15

Part of the Southeast Quarter of Section 15, Township 12 North, Range 4 East of the Second Principal Meridian in Franklin, Indiana,
described as follows:

Commencing at the Southwest corner of said Quarter Section; thence North 0 degrees 56 minutes West on and along the West line thereof 422.03 feet; thence South 89 degrees 49 minutes 38 seconds East 41.13 feet to the East right-of-way line of Drake Road and the Point of Beginning of this described tract; thence North 0 degrees 42 minutes 18 seconds West on and along the said right-of-way line 151.74 feet; thence North 85 degrees 19 minutes East 192.37 feet; thence South 0 degrees 30 minutes 23 seconds East along the East side of an existing wood fence 168.02 feet to the Southeast corner of a wood corner post; thence North 89 degrees 49 minutes 38 seconds West along the South side of an existing wood fence 191.74 feet to the Point of Beginning.

TRACT II:

Part of the Southeast Quarter of Section 15, Township 12 North, Range 4 East of the Second Principal Meridian in Franklin, Indiana,
described as follows:

Commencing at the Southwest corner of said Quarter Section; thence North 0 degrees 56 minutes West on and along the West line thereof 570.24 feet to the Southwest corner of a tract described in Deed Record 238, page 253; thence North 85 degrees 19 minutes East and on along the South line of the said tract 41.81 feet to the East right of way line of Drake Road and the Point of Beginning of said Drake Road; thence East 89 degrees 56 minutes 30 seconds North along the East right of way line of Drake Road 19.38 degrees 38 minutes 23 seconds North 5.87 feet to the South right of way line of State Road 144, said point being 30 feet 7 inches from the center of the original location of the Old Plank Road as shown on reconstruction plans for State Road 144 dated in 1936; thence South 89 degrees 56 minutes 30 seconds North along the South right of way line of Drake Road 19.38 degrees 38 minutes 23 seconds distance of 88.65 feet, said arc being subtended by a chord bearing North 74 degrees 04 minutes 38 seconds West 88.51 feet; thence North 68 degrees 30 minutes 52 seconds West on and along the said right of way line 71.35 feet; thence South 58 degrees 06 minutes 30 seconds West on and along the said right of way line 47.97 feet to a right of way monument on the East right of way line of Drake Road; thence South 89 degrees 56 minutes 30 seconds North along the East right of way line of Drake Road 19.38 degrees 38 minutes 23 seconds distance of 88.65 feet, said arc being subtended by a chord bearing North 74 degrees 04 minutes 38 seconds West 88.51 feet;

Topographic Note:

The topographic data was gathered using standard radial surveying techniques with an Electronic total station and data collector. Elevations on hard surfaces or structures are accurate to within 0.05 feet, elevations on natural surfaces are accurate to within 0.1 feet. Contours are plotted based upon interpolation of elevations taken in the field and are accurate to generally within one half the contour interval. The spot elevations shown herein are based on the location of those generated contours.

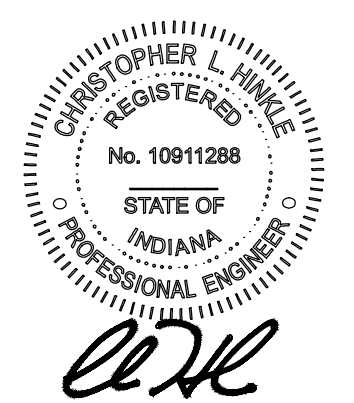
All elevations shown hereon are based on NAVD88 datum, as derived from using the Indiana Department of Transportation Continuously Operating Reference Stations (InCORS) Network. Datum is NAVD88 and information regarding this Network is available at the following web address: <http://incors.in.gov>



DRAWING LEGEND

[illegible]

CERTIFIED BY:



DATE: 07/11/2019

Approved By:	BCR
Drawn By:	CLH
Date of Last Field Work:	06/21/2019
Date Plotted:	07/11/2019

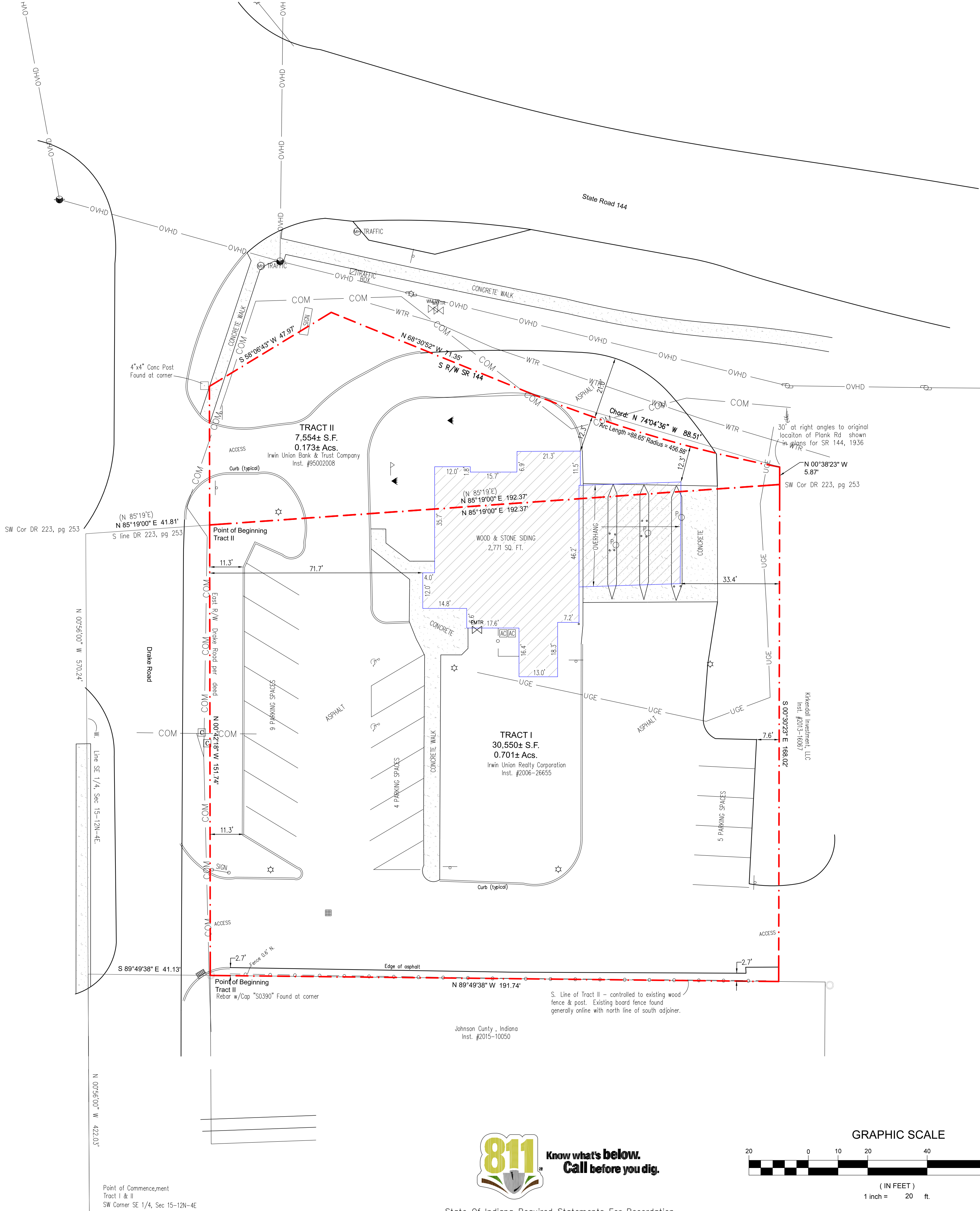
Reference #: C19-4943

Project Number:

M19-4944
Sheet Number : _____
C1.0



ALTA / NSPS LAND TITLE SURVEY
1073 W Jefferson Street, Franklin, Indiana



Certificate of Land Survey
This Land Survey, prepared by SEA Group Land Surveyors, is hereby certified to the following:

To: Chicago Title Company, LLC (CTIN 1900866); Indiana Members Credit Union, of Indianapolis, Indiana dba Indiana Members Credit Union;

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9 and 13 of Table A thereof. The fieldwork was completed on 2/20/2018.
Date of Plat or Map: March 1, 2019



Brian C. Rismiller
Registered Land Surveyor of the State of Indiana
Registration Number LS20200083

Land Description
TRACT I:
Part of the Southeast Quarter of Section 15, Township 12 North, Range 4 East of the Second Principal Meridian in Franklin, Indiana, described as follows:
Commencing at the Southwest corner of said Quarter Section; thence North 0 degrees 56 minutes West on and along the West line thereof 422.03 feet; thence South 89 degrees 49 minutes 38 seconds East 41.13 feet to the East right-of-way line of Drake Road and the Point of Beginning of this described tract; thence North 0 degrees 42 minutes 18 seconds West on and along the said right-of-way line 151.74 feet; thence North 85 degrees 19 minutes East 192.37 feet; thence South 0 degrees 30 minutes 23 seconds East along the East side of an existing wood fence 168.02 feet to the Southeast corner of a wood corner post; thence North 89 degrees 49 minutes 38 seconds West along the South side of an existing wood fence 191.74 feet to the Point of Beginning.

TRACT II:
Part of the Southeast Quarter of Section 15, Township 12 North, Range 4 East of the Second Principal Meridian in Franklin, Indiana, described as follows:
Commencing at the Southwest corner of said Quarter Section; thence North 0 degrees 56 minutes West on and along the West line thereof 570.24 feet to the Southwest corner of a tract described in Deed Record 223, page 253; thence North 85 degrees 19 minutes East on and along the South line of the said tract 41.81 feet to the East right of way line of Drake Road and the Point of Beginning of this described tract; thence North 85 degrees 19 minutes East 192.37 feet to the Southeast corner of the said tract; thence North 0 degrees 38 minutes 23 seconds West 5.87 feet to the South right of way line of State Road 144, said point being 30 feet at right angles from the center of the original location of the Old Plank Road as shown on the reconstruction plans for State Road 144 dated in 1936; thence Northwesterly on and along the said right of way line on a curve to the right which has a radius of 456.88 feet a curved distance of 88.65 feet, said arc being subtended by a chord bearing North 74 degrees 04 minutes 36 seconds West 88.51 feet; thence North 68 degrees 30 minutes 52 seconds West on and along the said right of way line 71.35 feet; thence South 58 degrees 06 minutes 43 seconds West on and along the said right of way line 47.97 feet to a right of way monument on the East right of way line of Drake Road; thence South 0 degrees 42

Land Surveyor's Report
In direct accordance with the laws governing the State of Indiana, of the United States of America, and following Title 865 State Board of Registration for Land Surveyors, Article 1, General Provisions, Rule 12, Land Surveying; Competent Practice, of the Indiana Administrative Code (IAC), the following beliefs, opinions, observations, conclusions, and information are hereby submitted for record. The degree of precision and accuracy necessary for a survey shall be based upon the intended use of the real estate. If the client does not provide information regarding the intended use, the classification of the survey shall be based on the current use of the real estate. The surveyed premises shown hereon are classified as an Urban Survey, having an acceptable relative positional accuracy of 0.07 feet plus 50 parts per million.

The purpose of this project was to perform and prepare a Retracement Survey on the real estate that has been described hereon, under direction and instructions from the client.

Relative positional accuracy (RPA) means the value expressed in feet or meters that represents the uncertainty due to random errors in measurements in the location of any point on a survey relative to any other point on the same survey at the ninety-five percent (95%) confidence level. There may be unwritten rights associated with these uncertainties. The amount of uncertainty created by any discrepancies in the lines of occupation is equal to that discrepancy itself and in situations where that uncertainty is less than that of the appropriate RPA, it may have been considered negligible and gone unnoted. Unless otherwise noted or shown on the within survey plat, there is no evidence of occupation along the perimeter lines of the subject real estate.

This plat of survey accurately shows the location of all visible improvements, unless noted otherwise, on the premises as of the date of last field work for this project. Also shown are all lines of occupation and their relationship to the established lines of the subject real estate. A more accurate explanation of these relationships and how they were determined is described within this report. Unless otherwise illustrated hereon, there is no evidence of occupation along the exterior perimeter of the subject real estate.

This plat of survey accurately shows the position of easements, highways, rights of way, restrictions, covenants or other encumbrances of which the Surveyor was informed of. Land Surveyor's within the State of Indiana are not qualified to perform the extensive searches needed to acquire all of those documents or agreements, and they rely upon a Title Company, the client, the client's attorney, or the land owner to provide such information. Observable evidence of these burdens are shown hereon as utility lines or associated improvements, drains, swales, roadways, driveways, paths, etcetera.

Land Survey Markers, or monuments, were either set or found at all corners of the subject real estate, as shown and noted hereon. In situations where the corner is inaccessible or it would not be reasonable to set a monument at a corner, due to terrain or other hindrances, offset monuments may have been set instead, and those have been annotated hereon as well.

There may be differences of deed (D) dimensions versus measured (M) dimensions along the established lines of the subject real estate and likewise, there may be found survey markers near, but not precisely at, some established corners. In cases where the extent of these differences are less than the stated RPA, and less than the uncertainty recognized with regard to any reference monuments used for this project, those differences may be considered insignificant and have been shown only for the purposes of mathematical closure. Conversely, any differences that may exceed the stated RPA and other uncertainties are considered significant and have been discussed further below.

The Theory of Location applied for this project is as follows. The basis of bearings for this project is the west line of the Southeast Quarter, Section 15, Township 12 North, Range 4 East having a bearing North 00 degrees 56 minutes West cited from deed for subject real estate, Inst. #2006-26655. .

It is this Land Surveyor's professional opinion that the cause and the amount of uncertainty in these lines and corners is due to the following:

- (A) Availability and condition of reference monuments
 - Various survey markers were found the northwest, southwest corner of West Parke Subdivision PB D, pg 67 A&B and also at the front lots of 15 and 25. Further a rebar with cap was found at the southwest corner of Tract I as well as a right of way concrete marker at the northwesterly corner of Tract II.
 - Additional monuments were found at or near the established corners for the subject real estate and its adjoiners and any variances have been annotated hereon.
 - The amount of uncertainty created by the controlling monuments and any other monuments shown hereon is equal to 0.4 feet.

- (B) Occupation or possession lines
 - A board fence, parts dilapidated were found along the south line of Tract I. It is not for certain if this is the same fence as mentioned in the land descriptions for the subject real estate. Said fence runs generally on line and bends northerly at the west up to 0.6' north.
 - Asphalt "drive through" land was found to be about 21.0 feet north of the north line.
 - A concrete walk crosses the northwesterly boundary line of Tract II as shown.
 - The amount of uncertainty created by these discrepancies is equal to
 - East adjointer access Drake Road via subject real estate.
 - During a physical inspection of the premises, no discrepancies in these lines were found.

- (C) Clarity or ambiguity of the record descriptions:
 - The amount of uncertainty created by the record descriptions for the premises is none.
 - The east and west lines of Tract I of were shortened to terminate on an existing fence; being also generally consistent with the north line of the south adjointer, lead in course was modified accordingly.
 - No gaps or overlaps in title or deed lines were discovered during this survey.

- (D) The relative positional accuracy of the measurements
 - This survey meets or exceeds the requirements set forth by the State of Indiana.

Land Surveyor's Notes
Any underground utilities depicted on the attached plat of survey have been located per visual observations or utility markings on the ground. No warranty, either expressed or implied, is made as to the accuracy and/or completeness of information presented on underground utilities, or as to its fitness for any particular purpose or use. In no event will SEA Group, its employees, agents, and/or assigns, be held liable for any damages arising out of the furnishing and/or use of such information. The path of the utility lines shown on said plat of survey should be considered approximate until they are either relocated, by calling the Indiana Underground Plant Protection Agency at 1-800-382-5544 or until they are excavated to verify the location and path of the utility lines.

No warranty, either expressed or implied, is made as to the accuracy and/or completeness of information provided by governmental authorities and/or third parties, or as to its fitness for any particular purpose or use, including but not limited to information presented on zoning, setback requirements, flood hazard zones and easements event will SEA Group, its employees, agents, and/or assigns, be liable for any damages arising out of the furnishing and/or use of such information.

Any depiction of possible intrusion, trespass, invasion, and/or possible encroachment into the possessions or rights of another is not a matter of survey. An attorney and/or title company should be consulted in all matters with respect to any rights of possession(s) and matters of title.

Along any line where a deed gap or overlap or inconsistency in line of occupation occurs, unwritten rights may be available to the subject and/or the adjoining real estates.

Flood Information Note
Flood status information was obtained using Flood Insurance Rate Maps (FIRM) provided by the United States Department of Homeland Security, Federal Emergency Management Agency (FEMA), on their website, located at <http://msc.fema.gov/>.

The Subject Real Estate described hereon was mathematically calculated and scaled on the FIRM Maps of Johnson County, Indiana, Map Number 18081C0227D, dated 08/02/2007, and was found to be located in Flood Zone "X."

The accuracy of any flood hazard data shown on this Land Survey is subject to map scale uncertainty and to any other uncertainty in location or elevation on the referenced Flood Insurance Rate Map. This certification is restricted to a review of the FIRM noted above and shall not be construed as a confirmation or denial of flooding potential.

Title Insurance Company Commitment Note
Evidence of source of title for the subject tract was provided by Chicago Title Insurance Company, having a Title Commitment Number of CTIN1900866 and is dated effective January 21, 2019 at 08:00 AM. Survey-related exceptions that were disclosed within Schedule B of said title commitment have been depicted on the survey, each being identified by their recording data.

Notes on those survey related exceptions with regard to the Subject Real Estate:

- Easement granted to the City of Franklin, dated July 2, 1954 and recorded December 28, 1954 in Book 106, page 510. [Does not affect subject real estate - not shown]
- Transmission Line Easement granted to Public Service Co., dated January 29, 1937 and recorded February 3, 1937 in Book 16, page 167. [May affect subject real estate, location cannot be graphically depicted - not shown.]
- Easement granted to the City of Franklin, Indiana, dated October 10, 1955 and recorded November 12, 1955 in Book 110, pages 244-245. [May affect subject real estate, location cannot be graphically depicted - not shown.]
- Anchor Permit granted to Public Service Company of Indiana, Inc., dated August 31, 1982 and recorded September 10, 1982 in Book 228, page 284. [May affect subject real estate, location cannot be graphically depicted - not shown.]

Current ownership for the Subject and Adjoining real estates are shown per County Assessor records, and any documents listed hereon can be obtained from the County Recorder's Office.

Record documents reviewed as a part of this project:
PB D, pg 67 A&B - West Parke Subdivision

SEA Group
Land Surveyors • Civil Design
Construction Layout
494 Gradle Drive Carmel, Indiana 46032
Phone: 317.844.3333 Fax: 317.844.3383
www.seagroupllc.com info@seagroupllc.com

073 W Jefferson StreetFranklin, Indiana

PROJECT LOCATED IN:

SECTION 15- TOWNSHIP 12 NORTH - RANGE 4 EAST

FRANKLIN TOWNSHIP, JOHNSON COUNTY

ALTA/NSPS
LAND TITLE SURVEY

PREPARED FOR:

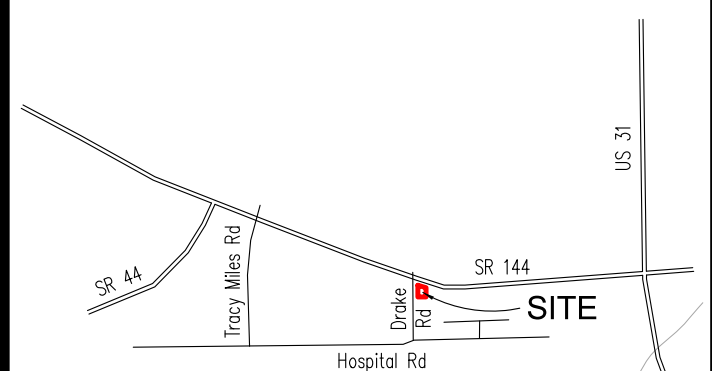
Indiana Members Credit union
5103 Madison Ave
Indianapolis, Indiana 46227

REV. #	DATE	REV. DESC.
1	03/01/2019	Final Plat

DRAWING LEGEND

—+—+—+—+—+—	EXISTING METAL-TYPE FENCE
—o—o—o—o—o—	EXISTING WOOD-TYPE FENCE
—COM—COM—COM—	COM = COMMUNICATION LINES
—WTR—WTR—WTR—	WTR = UNDERGROUND WATER LINES
—UGE—UGE—UGE—	UGE = UNDERGROUND ELECTRIC
—OHE—OHE—OHE—	OHE = OVERHEAD ELECTRIC
—OVHD—OVHD—OVHD—	OVHD = OVERHEAD UTILITY
—SECTION LINE (AS NOTED)	SECTION LINE (AS NOTED)
—EOLN = RIGHT OF WAY (AS NOTED)	EOLN = RIGHT OF WAY (AS NOTED)
—B.S.L. = BUILDING SETBACK LINE	B.S.L. = BUILDING SETBACK LINE
—EASEMENT (AS NOTED)	EASEMENT (AS NOTED)
—REAL ESTATE LINES (AS NOTED)	REAL ESTATE LINES (AS NOTED)
—SUBJECT REAL ESTATE SURVEY LINE (AS NOTED)	SUBJECT REAL ESTATE SURVEY LINE (AS NOTED)
—EXISTING CONC. CURB (AS NOTED)	EXISTING CONC. CURB (AS NOTED)
—CONTOURS - MAJOR INTERVAL	CONTOURS - MAJOR INTERVAL
—CONTOURS - MINOR INTERVAL	CONTOURS - MINOR INTERVAL
(P) = PLATTED BEARING AND DIMENSION	(C) = CALCULATED BEARING AND DIMENSION
(D) = DEEDED BEARING AND DIMENSION	(M) = MEASURED BEARING AND DIMENSION
AC = AIR CONDITIONER	— SIGN
— BOLLARD	— UTILITY POLE
— TRAFFIC SIGNAL POLE	— LIGHT POLE
— GROUND LIGHT	— ELECTRIC METER
— MANHOLE	— DRAINAGE INLET
— FLAG POLE	— CURB INLET
— GUY WIRE	— WATER METER
— COMMUNICATIONS UTILITY	
— HANDICAPPED PARKING SPOT	

VICINITY MAP - NOT TO SCALE

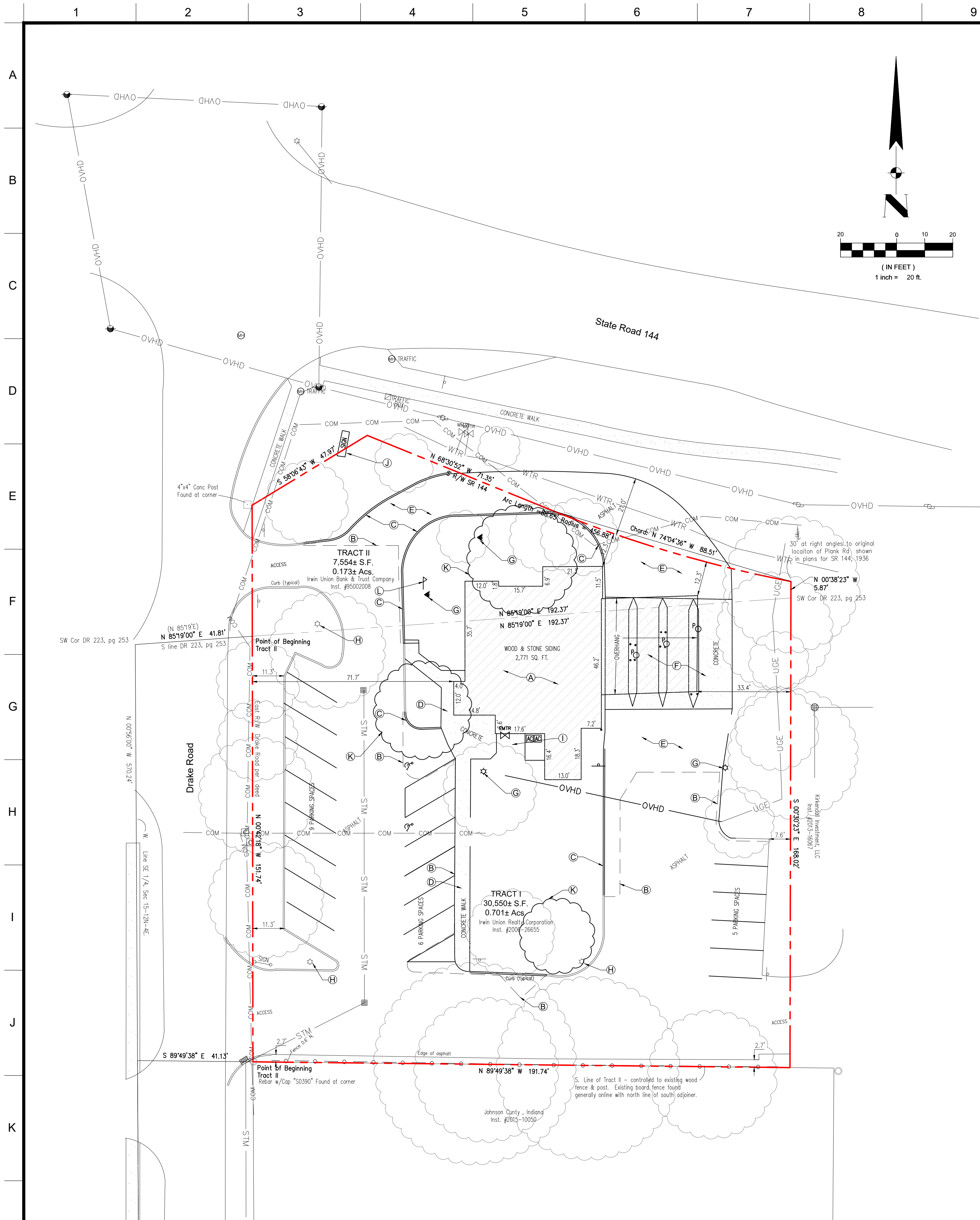


Approved By: BCR
Drawn By: BS
Date of Last Field Work: 2/20/2018
Date Plotted: 2/28/2019

Reference #: ..

Project Number:

C19-4595
Sheet Number :



SITE DEMOLITION PLAN

Scale: 1" = 20'

DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OFF-SITE OF ALL ITEMS SHOWN ON THE DEMOLITION PLAN INCLUDING ITEMS ENCOUNTERED DURING EXCAVATION OF BUILDING FOUNDATIONS AND UTILITY PLACEMENT.
2. PRIOR TO STARTING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACT TO OBTAIN ALL PERMITS REQUIRED BY LOCAL GOVERNMENTAL AGENCIES.
3. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR THE DISCONNECTION AND REMOVAL OF SERVICES TO EXISTING STRUCTURES.
4. ITEMS SHOWN ON THE DEMOLITION PLAN TO BE SALVAGED SHALL BE TRANSPORTED TO LOCATION SPECIFIED BY THE OWNER OR HIS/HER REPRESENTATIVE.
5. ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED WITH THE OWNER OR HIS/HER REPRESENTATIVE PERMISSION. THE CONTRACTOR SHALL NOT STORE THESE ITEMS ON SITE.
6. THE CONTRACTOR MAY NOT USE EXPLOSIVES OR BURN DEBRIS.
7. CONDUCT DEMOLITION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, SIDEWALKS AND ANY OTHER ADJACENT OCCUPIED FACILITIES.
8. DO NOT CLOSE OR OBSTRUCT ROADS, SIDEWALKS, OR ANY OTHER OCCUPIED FACILITIES WITHOUT PERMISSION FROM THE LOCAL AUTHORITY HAVING JURISDICTION AND/OR PROPERTY OWNERS.
9. THE CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSON TRAVERSING THROUGH OR AROUND THE CONSTRUCTION SITE.
10. THE CONTRACTOR SHALL PROTECT FROM DAMAGE, SURROUNDING ROADWAYS, UTILITIES, TREES, AND OTHER FACILITIES DURING DEMOLITION AND REMOVAL OPERATIONS.
11. BUILDING STRUCTURES INCLUDING FOUNDATIONS OR BASEMENTS SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM EIGHT INCHES LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR A MINIMUM OF 95% OF A STANDARD PROCTOR.
12. UTILITY SHALL BE REMOVED AND BACKFILLED WITH APPROVED BACKFILL MATERIAL. BACKFILL MATERIAL SHALL BE PLACED IN MAXIMUM EIGHT INCHES LIFTS AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT OR A MINIMUM OF 95% OF A STANDARD PROCTOR.
13. TRANSPORT OF DEMOLITION MATERIAL TO AN INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT PERMITTED LANDFILL.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE CONSTRUCTION SITE AND SURROUNDING AREAS ARE FREE OF ACCUMULATED DEBRIS.
15. THE CONTRACTOR SHALL ENSURE ACCESS TO ADJACENT PROPERTIES AT ALL TIMES AND COORDINATE ALL OFFSITE IMPROVEMENTS WITH APPROPRIATE PROPERTY OWNERS AS NECESSARY.
16. THE CONTRACTOR SHALL RE-ESTABLISH ALL UTILITY CONNECTIONS TO ADJACENT PROPERTIES. ALL UTILITY CONNECTIONS TO ADJACENT PROPERTIES TO BE UNDERGROUND CONNECTIONS IN NATURE.

PLAN NOTES:

- (A) EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY. CONTRACTOR TO COORDINATE UTILITY DISCONNECTIONS WITH RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- (B) SAWCUT EXISTING PAVEMENT ALONG THIS LINE AND REMOVE RESULTING DEBRIS TO PROVIDE A CLEAN, SMOOTH TRANSITION LINE.
- (C) REMOVE EXISTING CONCRETE CURB IN ITS ENTIRETY.
- (D) REMOVE EXISTING CONCRETE WALK IN ITS ENTIRETY.
- (E) REMOVE EXISTING ASPHALT PAVEMENT IN ITS ENTIRETY.
- (F) REMOVE EXISTING CONCRETE PAVEMENT IN ITS ENTIRETY.
- (G) EXISTING LIGHT POLE TO BE REMOVED IN ITS ENTIRETY. CONTRACTOR SHALL COORDINATE WITH JOHNSON COUNTY REMC TO ENSURE POWER FEED IS DISCONNECTED PRIOR TO BEGINNING CONSTRUCTION.
- (H) EXISTING LIGHT POLE TO BE REPLACED. CONTRACTOR SHALL CONFIRM EXISTING BASE WILL SUPPORT NEW POLE AND EXISTING POWER WILL BE COMPATIBLE WITH NEW LIGHT POLE HEAD.
- (I) EXISTING WATER SERVICE TO BE TEMPORARILY SHUT OFF IN ACCORDANCE WITH INDIANA AMERICAN WATER STANDARDS.
- (J) REMOVE EXISTING MONUMENT SIGN IN ITS ENTIRETY.
- (K) EXISTING TREE TO BE REMOVED IN ITS ENTIRETY.
- (L) EXISTING FLAG POLE TO BE REMOVED IN ITS ENTIRETY.

SEA Group
Land Surveyors • Civil Design
Construction Layout
494 Gradle Drive Carmel, Indiana 46032
Phone: 317.844.3333 Fax: 317.844.3383
www.seagrouplic.com info@seagrouplic.com

PROPOSED NEW IMCU BRANCH
1073 W. JEFFERSON STREET
FRANKLIN, IN 46131

PROJECT LOCATED IN:
SECTION 15 - TOWNSHIP 12 NORTH -
RANGE 4 EAST
FRANKLIN TOWNSHIP,
JOHNSON COUNTY

SITE DEMOLITION PLAN

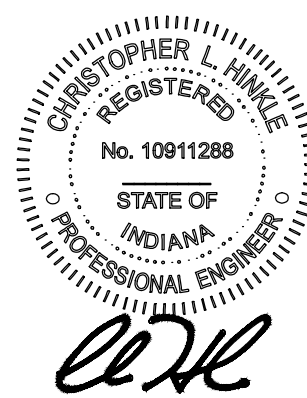
PREPARED FOR:
INDIANA
Members Credit Union
5103 MADISON AVENUE
INDIANAPOLIS, IN 46227
317.248.8556

REV. #	DATE	REV. DESC.

DRAWING LEGEND

--- PROPERTY BOUNDARY

CERTIFIED BY:



DATE: 07/11/2019

Approved By: BCR
Drawn By: CLH
Date of Last Field Work: 06/21/2019
Date Plotted: 07/11/2019

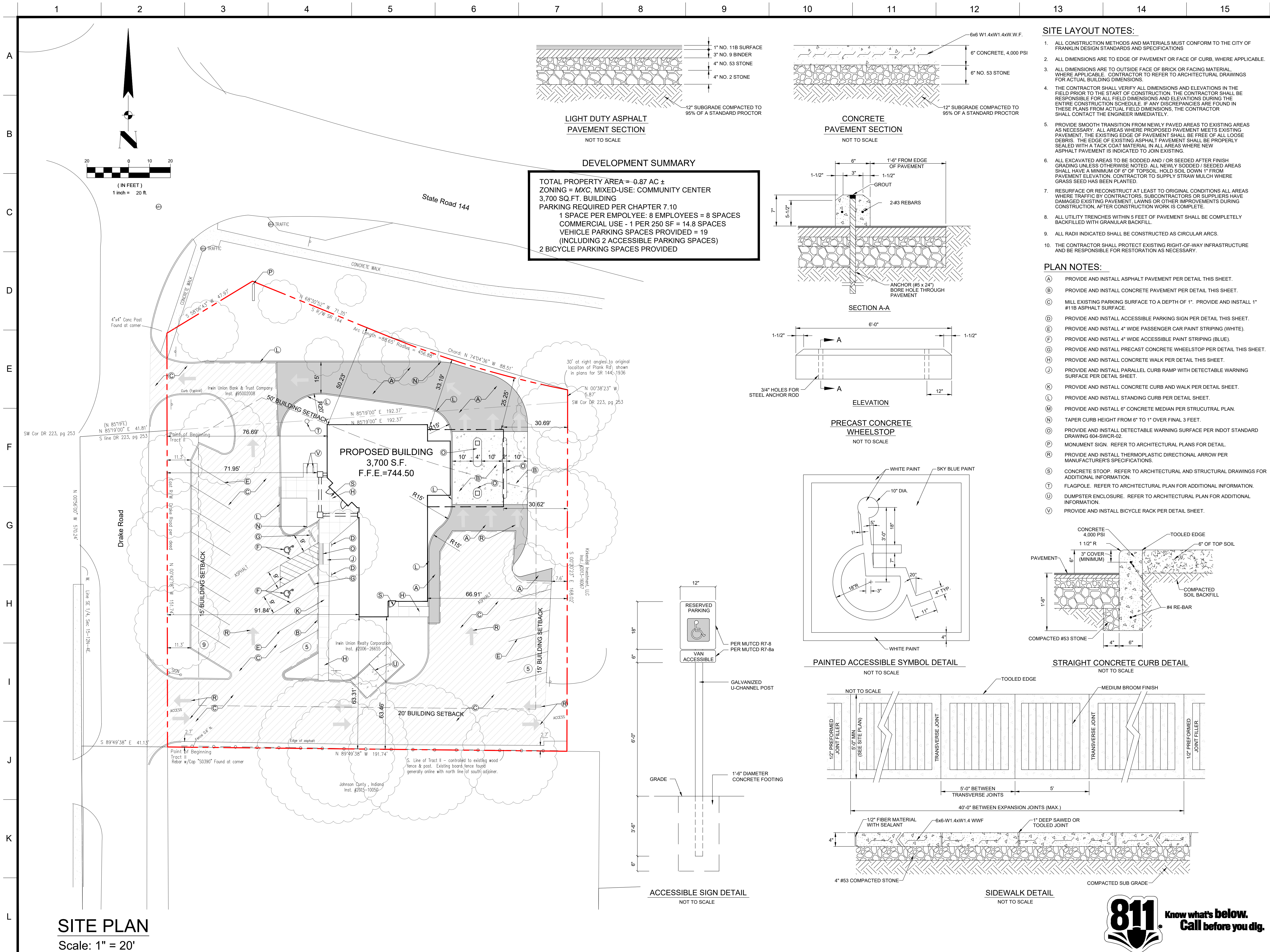
Reference #: C19-4943

Project Number:

M19-4944
Sheet Number :

C1.1

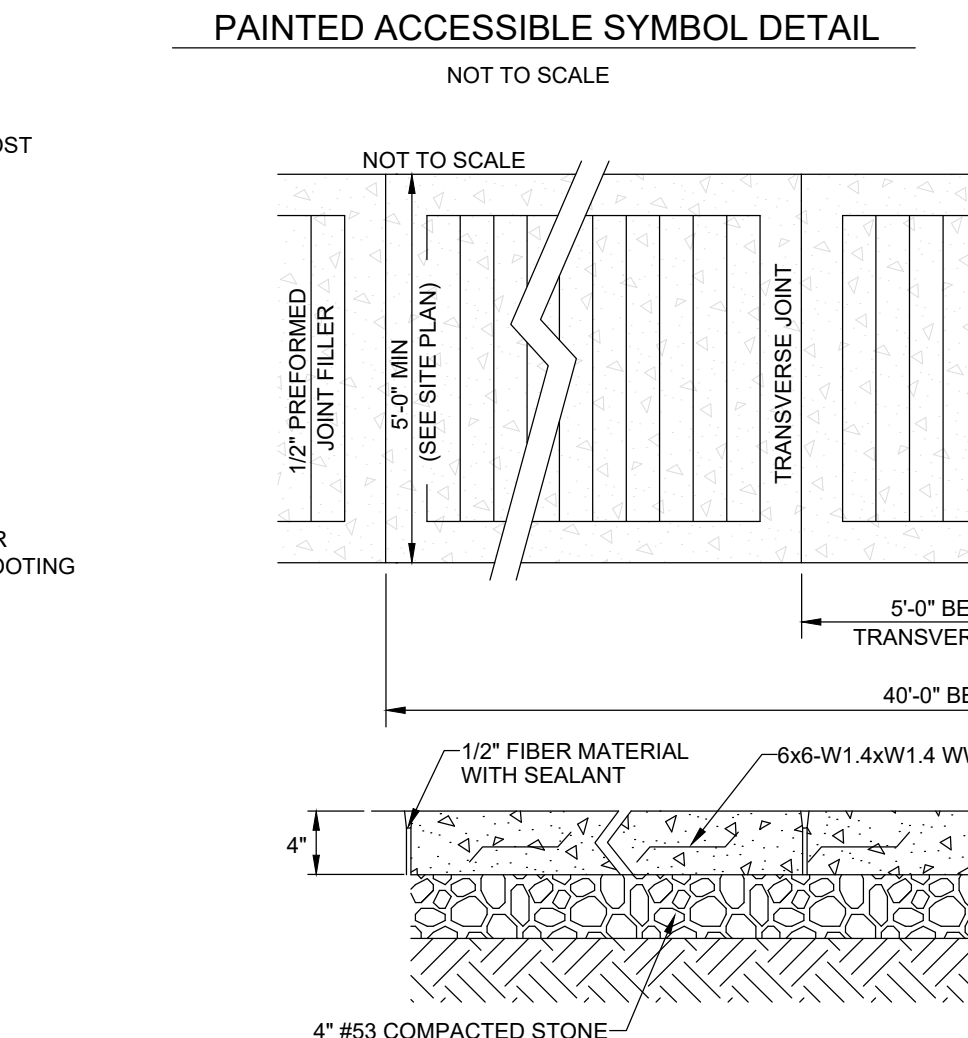
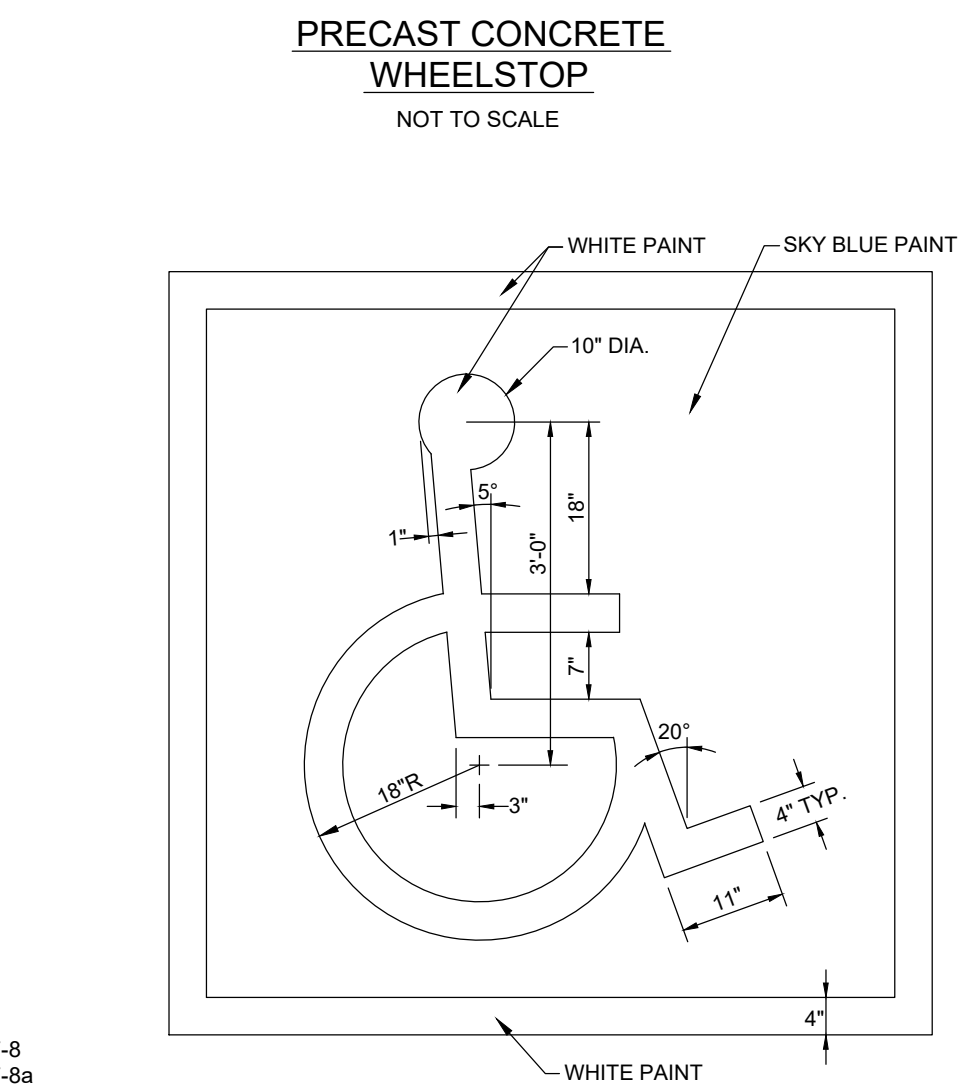
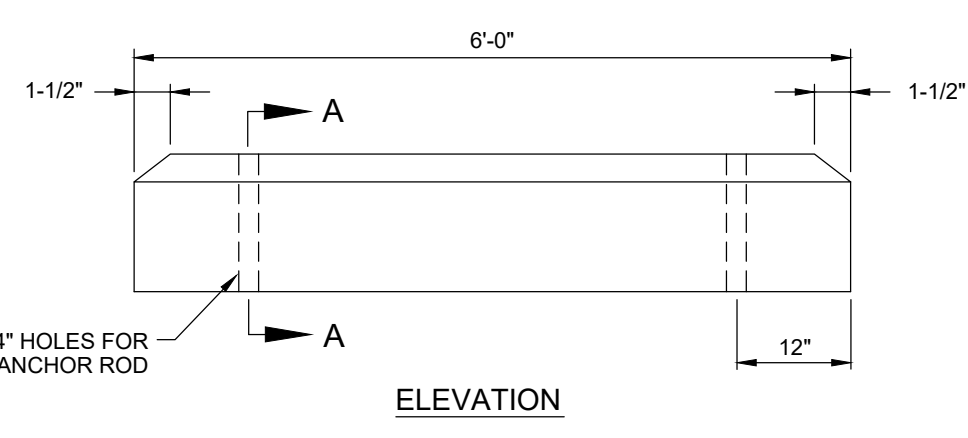
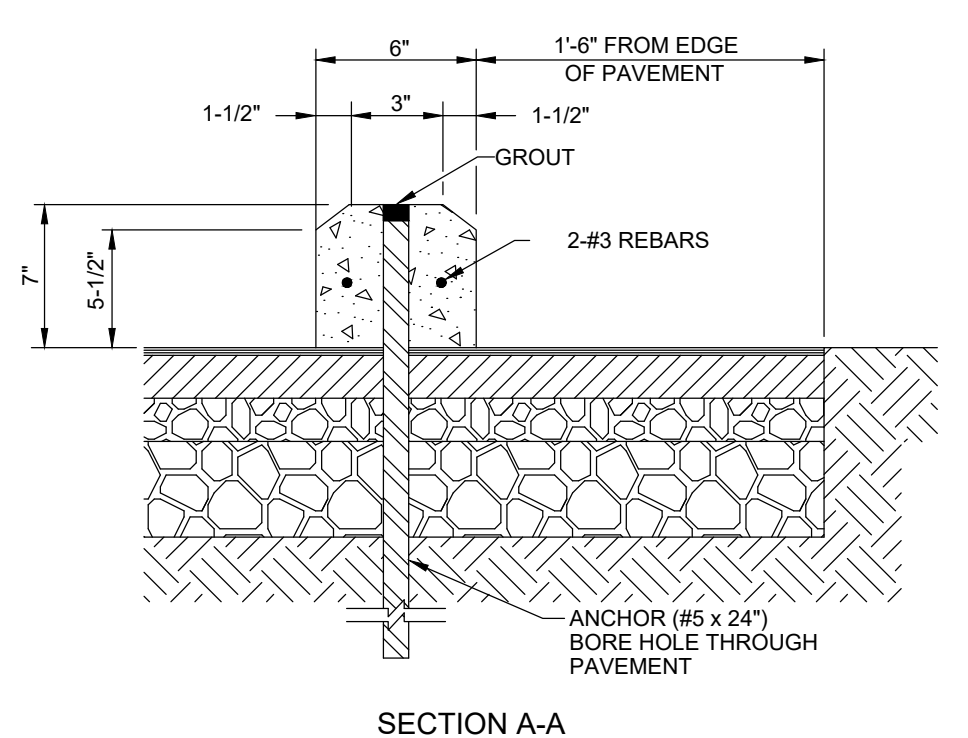
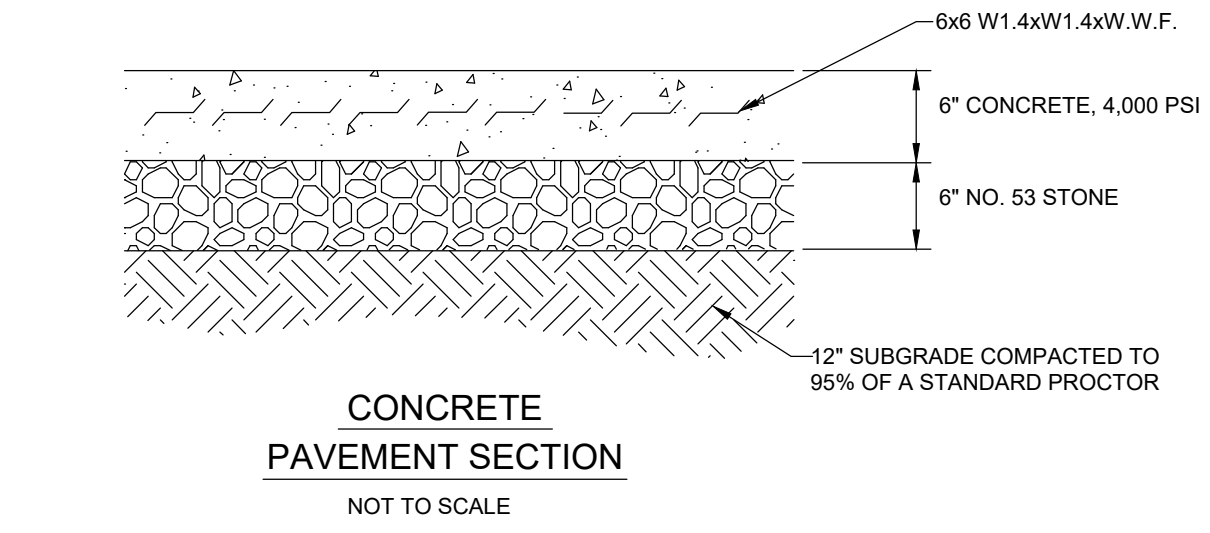
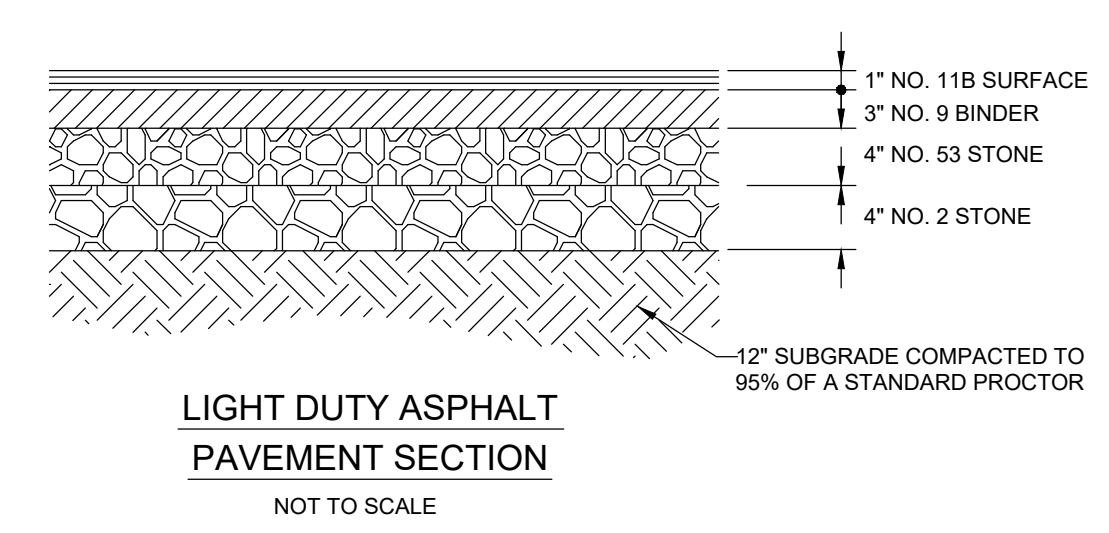




SITE PLAN
Scale: 1" = 20'

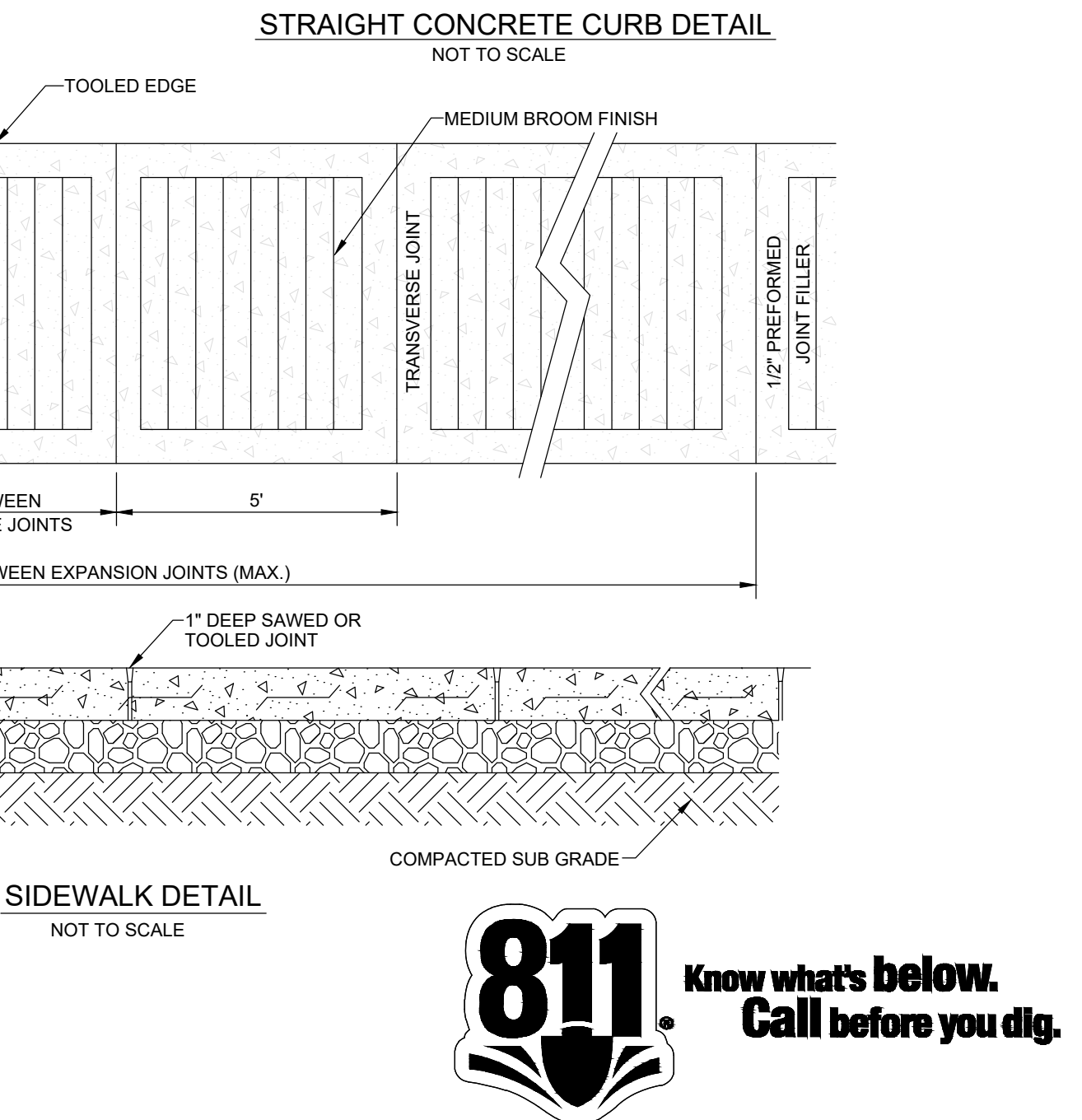
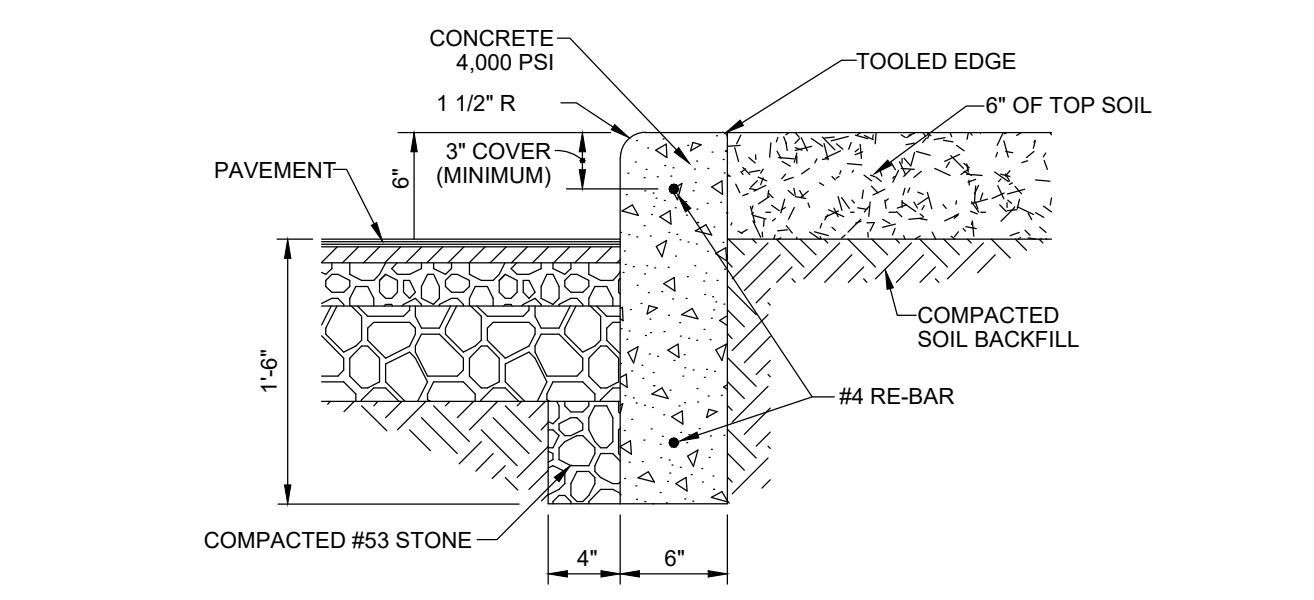
DEVELOPMENT SUMMARY

TOTAL PROPERTY AREA = 0.87 AC ±
ZONING = MXC, MIXED-USE: COMMUNITY CENTER
3,700 SQ.FT. BUILDING
PARKING REQUIRED PER CHAPTER 7.10
1 SPACE PER EMPLOYEE: 8 EMPLOYEES = 8 SPACES
COMMERCIAL USE - 1 PER 250 SF = 14.8 SPACES
VEHICLE PARKING SPACES PROVIDED = 19
(INCLUDING 2 ACCESSIBLE PARKING SPACES)
2 BICYCLE PARKING SPACES PROVIDED



- SITE LAYOUT NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO THE CITY OF FRANKLIN DESIGN STANDARDS AND SPECIFICATIONS
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB, WHERE APPLICABLE.
 - ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK OR FACING MATERIAL, WHERE APPLICABLE. CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL BUILDING DIMENSIONS.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 - PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS NECESSARY. ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
 - ALL EXCAVATED AREAS TO BE SODDED AND / OR SEEDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED / SEEDED AREAS SHALL HAVE A MINIMUM OF 6" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
 - RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE TRAFFIC BY CONTRACTORS OR SUPPLIERS HAVE DAMAGED EXISTING PAVEMENT, LAWNS OR OTHER IMPROVEMENTS DURING CONSTRUCTION. AFTER CONSTRUCTION WORK IS COMPLETE.
 - ALL UTILITY TRENCHES WITHIN 5 FEET OF PAVEMENT SHALL BE COMPLETELY BACKFILLED WITH GRANULAR BACKFILL.
 - ALL RADI INDICATED SHALL BE CONSTRUCTED AS CIRCULAR ARCS.
 - THE CONTRACTOR SHALL PROTECT EXISTING RIGHT-OF-WAY INFRASTRUCTURE AND BE RESPONSIBLE FOR RESTORATION AS NECESSARY.

- PLAN NOTES:**
- (A) PROVIDE AND INSTALL ASPHALT PAVEMENT PER DETAIL THIS SHEET.
 - (B) PROVIDE AND INSTALL CONCRETE PAVEMENT PER DETAIL THIS SHEET.
 - (C) MILL EXISTING PARKING SURFACE TO A DEPTH OF 1". PROVIDE AND INSTALL 1" #11B ASPHALT SURFACE.
 - (D) PROVIDE AND INSTALL ACCESSIBLE PARKING SIGN PER DETAIL THIS SHEET.
 - (E) PROVIDE AND INSTALL 4" WIDE PASSENGER CAR PAINT STRIPING (WHITE).
 - (F) PROVIDE AND INSTALL 4" WIDE ACCESSIBLE PAINT STRIPING (BLUE).
 - (G) PROVIDE AND INSTALL PRECAST CONCRETE WHEELSTOP PER DETAIL THIS SHEET.
 - (H) PROVIDE AND INSTALL CONCRETE WALK PER DETAIL THIS SHEET.
 - (J) PROVIDE AND INSTALL PARALLEL CURB RAMP WITH DETECTABLE WARNING SURFACE PER DETAIL SHEET.
 - (K) PROVIDE AND INSTALL CONCRETE CURB AND WALK PER DETAIL SHEET.
 - (L) PROVIDE AND INSTALL STANDING CURB PER DETAIL SHEET.
 - (M) PROVIDE AND INSTALL 6" CONCRETE MEDIAN PER STRUCTURAL PLAN.
 - (N) TAPER CURB HEIGHT FROM 6" TO 1" OVER FINAL 3 FEET.
 - (O) PROVIDE AND INSTALL DETECTABLE WARNING SURFACE PER INDOT STANDARD DRAWING 604-SWCR-02.
 - (P) MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
 - (R) PROVIDE AND INSTALL THERMOPLASTIC DIRECTIONAL ARROW PER MANUFACTURER'S SPECIFICATIONS.
 - (S) CONCRETE STOOP. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - (T) FLAGPOLE. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION.
 - (U) DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION.
 - (V) PROVIDE AND INSTALL BICYCLE RACK PER DETAIL SHEET.



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PROPOSED NEW IMCU BRANCH
1073 W. JEFFERSON STREET
FRANKLIN, IN 46131

PROJECT LOCATED IN:
SECTION 15 - TOWNSHIP 12 NORTH -
RANGE 4 EAST
FRANKLIN TOWNSHIP,
JOHNSON COUNTY

SITE PLAN

PREPARED FOR:
INDIANA
Members Credit Union
5103 MADISON AVENUE
INDIANAPOLIS, IN 46227
317.248.8556

REV. #	DATE	REV. DESC.

DRAWING LEGEND

- PROPERTY BOUNDARY
- EASEMENT / SETBACK
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- PROPOSED MILL AND RESURFACE PAVEMENT
- PROPOSED CONCRETE PAVEMENT

CERTIFIED BY:

CHRISTOPHER L. LANCE
REGISTERED
No. 10911288
STATE OF INDIANA
PROFESSIONAL ENGINEER

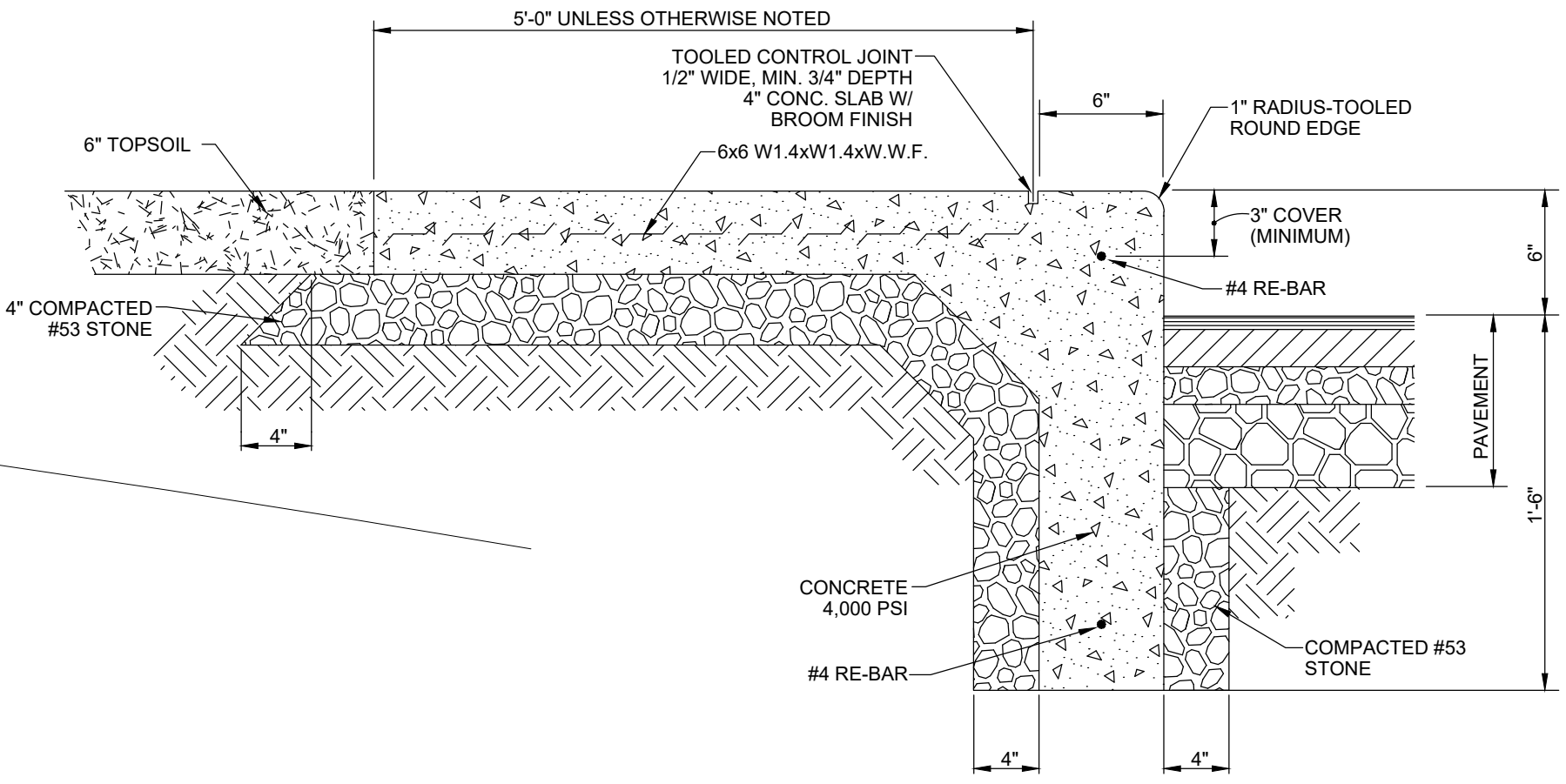
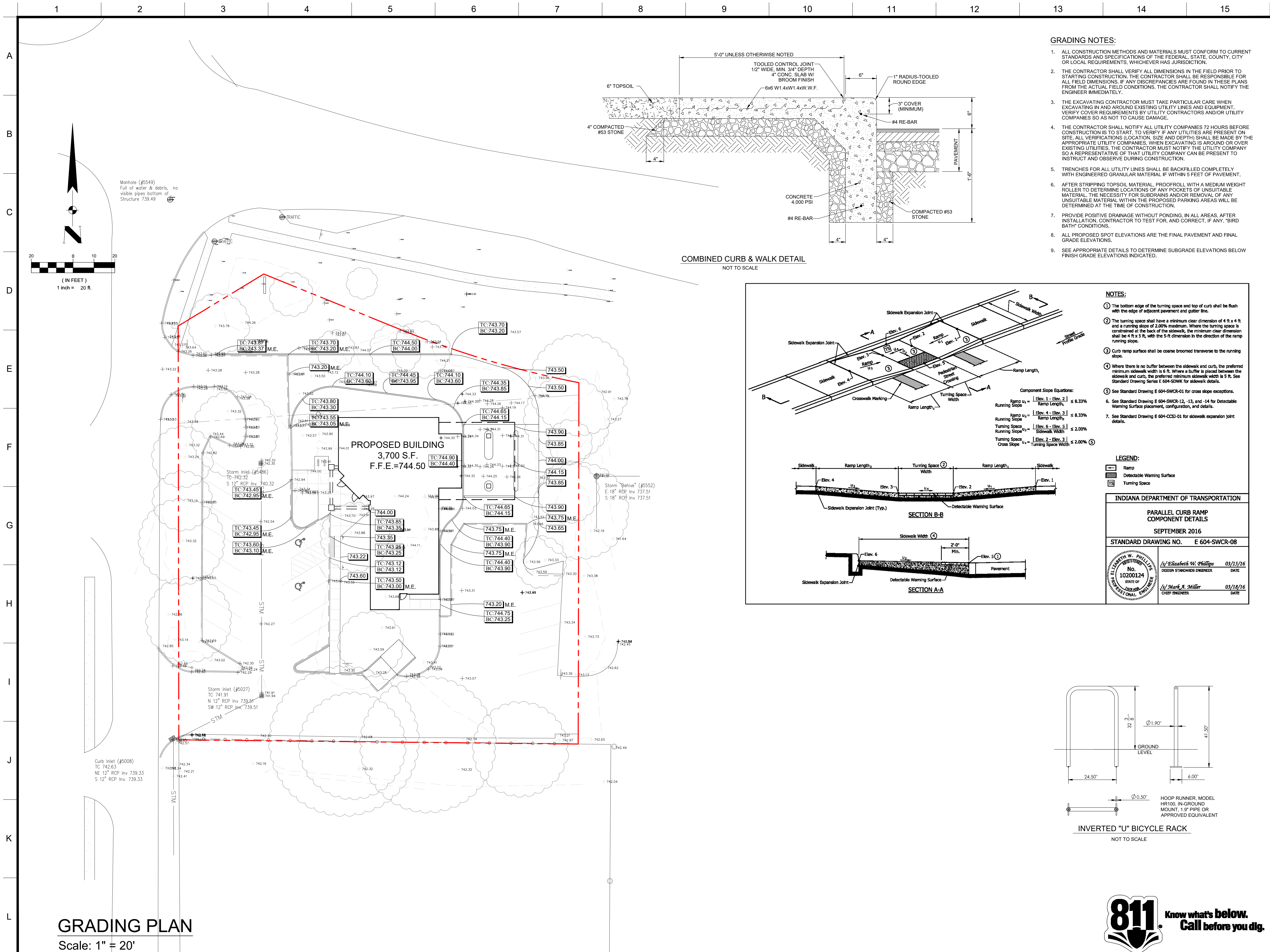
DATE: 07/11/2019
Approved By: BCR
Drawn By: CLH
Date of Last Field Work: 06/21/2019
Date Plotted: 07/11/2019

Reference #: C19-4943

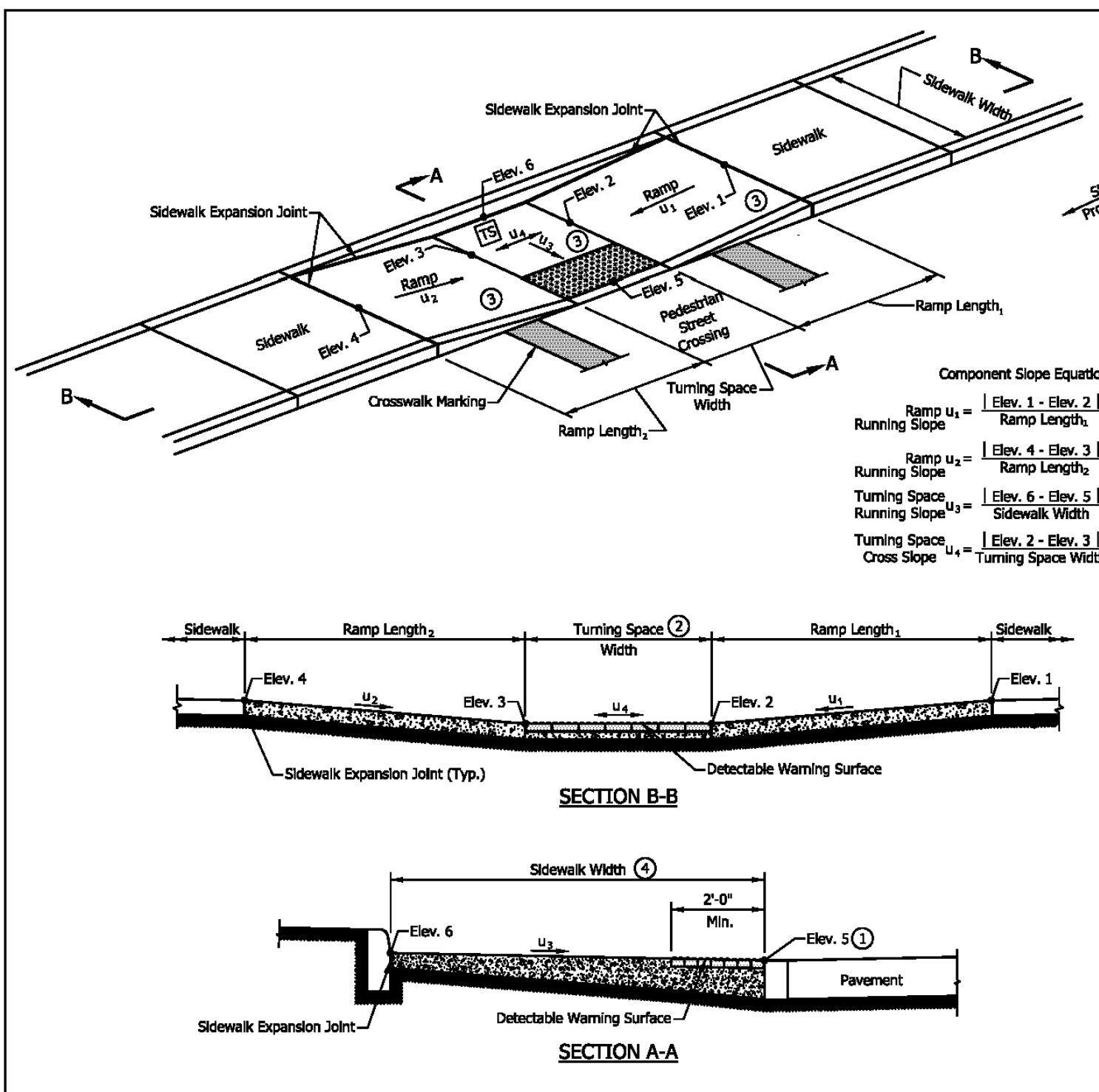
Project Number:

M19-4944
Sheet Number :
C2.0





COMBINED CURB & WALK DETAIL
NOT TO SCALE



- NOTES:**
- The bottom edge of the turning space and top of curb shall be flush with the edge of adjacent pavement and gutter line.
 - The turning space shall have a minimum clear dimension of 4 ft x 4 ft and a running slope of 2.00% maximum. Where the turning space is constrained at the back of the sidewalk, the minimum clear dimension shall be 4 ft x 5 ft, with the 5-ft dimension in the direction of the ramp running slope.
 - Curb ramp surface shall be coarse broomed transverse to the running slope.
 - Where there is no buffer between the sidewalk and curb, the preferred minimum sidewalk width is 6 ft. Where a buffer is placed between the sidewalk and curb, the preferred minimum sidewalk width is 5 ft. See Standard Drawing Series E 604-SDWK for sidewalk details.
 - See Standard Drawing E 604-SWCR-01 for cross slope exceptions.
 - See Standard Drawing E 604-SWCR-12, -13, and -14 for Detectable Warning Surface placement, configuration, and details.
 - See Standard Drawing E 604-CCS-01 for sidewalk expansion joint details.

LEGEND:

- Ramp
- Detectable Warning Surface
- Turning Space

INDIANA DEPARTMENT OF TRANSPORTATION

PARALLEL CURB RAMP COMPONENT DETAILS

SEPTEMBER 2016

STANDARD DRAWING NO. E 604-SWCR-08

REGISTERED PROFESSIONAL ENGINEER

No. 10200124

STATE OF INDIANA

1/Elizabeth W. Phillips 03/15/16

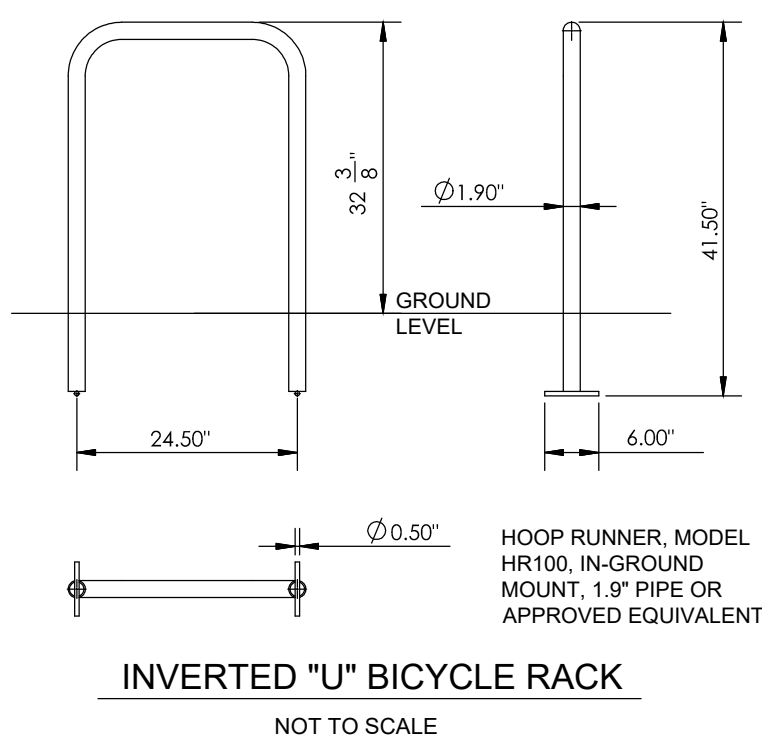
DESIGN STANDARDS ENGINEER

DATE

1/Mark A. Miller 03/18/16

CHIEF ENGINEER

DATE



INVERTED "U" BICYCLE RACK
NOT TO SCALE

GRADING NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM THE ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE EXCAVATING CONTRACTOR MUST TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START. TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- TRENCHES FOR ALL UTILITY LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
- AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINING AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
- PROVIDE POSITIVE DRAINAGE WITHOUT PONDING, IN ALL AREAS, AFTER INSTALLATION. CONTRACTOR TO TEST FOR, AND CORRECT, IF ANY, "BIRD BATH" CONDITIONS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
- SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS INDICATED.

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PROPOSED NEW IMCU BRANCH

1073 W. JEFFERSON STREET

FRANKLIN, IN 46131

PROJECT LOCATED IN:

SECTION 15 - TOWNSHIP 12 NORTH -

RANGE 4 EAST

FRANKLIN TOWNSHIP,

JOHNSON COUNTY

GRADING PLAN

PREPARED FOR:

INDIANA

Members Credit Union

5103 MADISON AVENUE

INDIANAPOLIS, IN 46227

317.248.8556

REV. #	DATE	REV. DESC.

DRAWING LEGEND

- PROPERTY BOUNDARY
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB ELEV.
- PROPOSED BOTTOM OF CURB ELEV.
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- M.E. MATCH EXISTING ELEVATION

CERTIFIED BY:



DATE: 07/11/2019

Approved By: BCR

Drawn By: CLH

Date of Last Field Work: 06/21/2019

Date Plotted: 07/11/2019

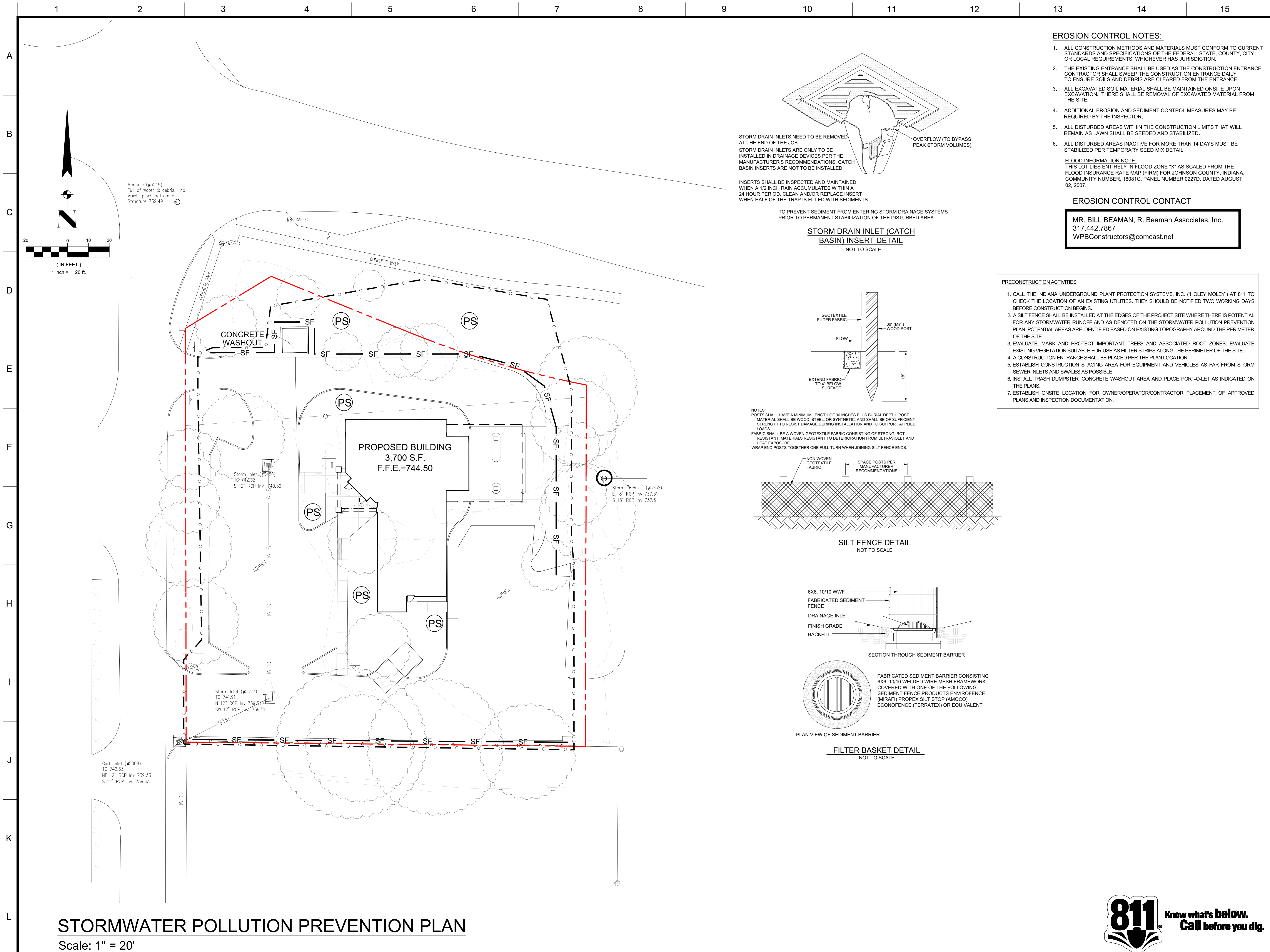
Reference #: C19-4943

Project Number:

M19-4944

Sheet Number :

C3.0



STORMWATER POLLUTION PREVENTION PLAN

Scale: 1" = 20'

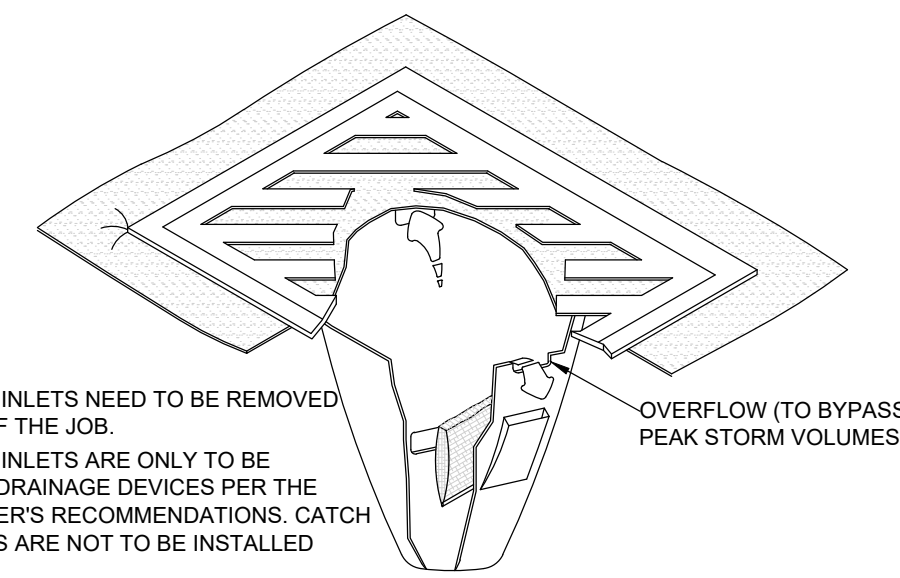
EROSION CONTROL NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
2. THE EXISTING ENTRANCE SHALL BE USED AS THE CONSTRUCTION ENTRANCE. CONTRACTOR SHALL SWEEP THE CONSTRUCTION ENTRANCE DAILY TO ENSURE SOILS AND DEBRIS ARE CLEARED FROM THE ENTRANCE.
3. ALL EXCAVATED SOIL MATERIAL SHALL BE MAINTAINED ONSITE UPON EXCAVATION. THERE SHALL BE REMOVAL OF EXCAVATED MATERIAL FROM THE SITE.
4. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE INSPECTOR.
5. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION LIMITS THAT WILL REMAIN AS LAWN SHALL BE SEEDED AND STABILIZED.
6. ALL DISTURBED AREAS INACTIVE FOR MORE THAN 14 DAYS MUST BE STABILIZED PER TEMPORARY SEED MIX DETAIL.

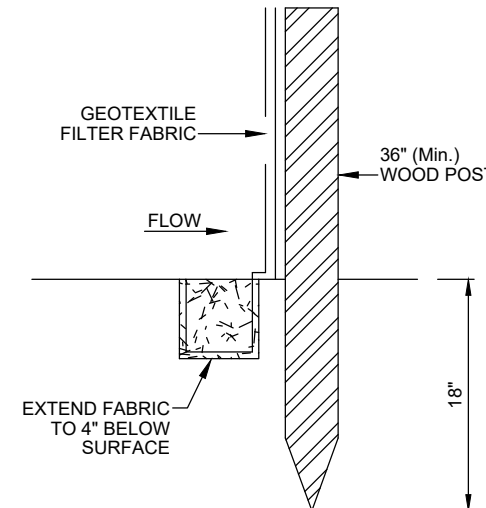
FLOOD INFORMATION NOTE:
THIS LOT LIES ENTIRELY IN FLOOD ZONE "X" AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR JOHNSON COUNTY, INDIANA, COMMUNITY NUMBER, 18081C, PANEL NUMBER 0227D, DATED AUGUST 02, 2007.

EROSION CONTROL CONTACT

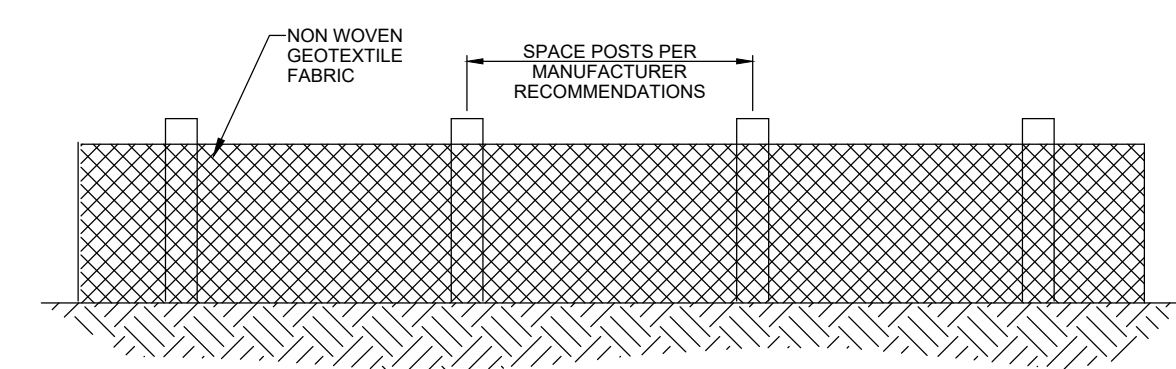
MR. BILL BEAMAN, R. Beaman Associates, Inc.
317.442.7867
WPBConstructors@comcast.net



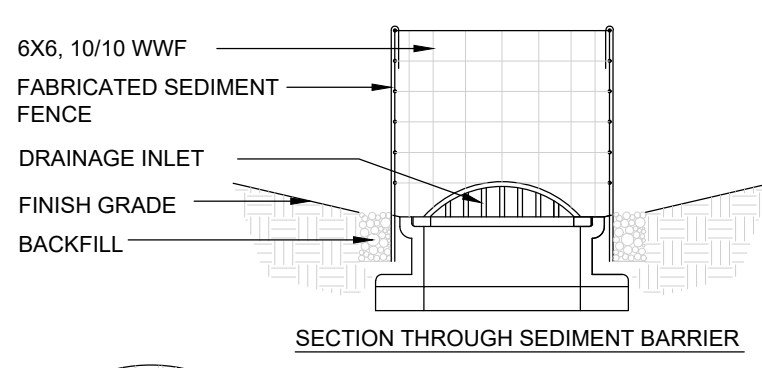
STORM DRAIN INLET (CATCH BASIN) INSERT DETAIL
NOT TO SCALE



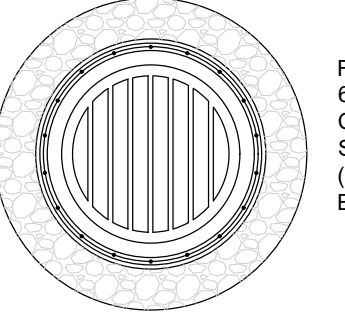
NOTES:
POSTS SHALL HAVE A MINIMUM LENGTH OF 36 INCHES PLUS BURIAL DEPTH. POST MATERIAL SHALL BE WOOD, STEEL, OR SYNTHETIC, AND SHALL BE OF SUFFICIENT STRENGTH TO RESIST DAMAGE DURING INSTALLATION AND TO SUPPORT APPLIED LOADS.
FABRIC SHALL BE A WOVEN GEOTEXTILE FABRIC CONSISTING OF STRONG, ROT RESISTANT, MATERIALS RESISTANT TO DETEIORATION FROM ULTRAVIOLET AND HEAT EXPOSURE.
WRAP END POSTS TOGETHER ONE FULL TURN WHEN JOINING SILT FENCE ENDS.



SILT FENCE DETAIL
NOT TO SCALE



SECTION THROUGH SEDIMENT BARRIER



PLAN VIEW OF SEDIMENT BARRIER

FILTER BASKET DETAIL
NOT TO SCALE

PRECONSTRUCTION ACTIVITIES

1. CALL THE INDIANA UNDERGROUND PLANT PROTECTION SYSTEMS, INC. ("HOLEY MOLEY") AT 811 TO CHECK THE LOCATION OF AN EXISTING UTILITIES. THEY SHOULD BE NOTIFIED TWO WORKING DAYS BEFORE CONSTRUCTION BEGINS.
2. A SILT FENCE SHALL BE INSTALLED AT THE EDGES OF THE PROJECT SITE WHERE THERE IS POTENTIAL FOR ANY STORMWATER RUNOFF AND AS DENOTED ON THE STORMWATER POLLUTION PREVENTION PLAN. POTENTIAL AREAS ARE IDENTIFIED BASED ON EXISTING TOPOGRAPHY AROUND THE PERIMETER OF THE SITE.
3. EVALUATE, MARK AND PROTECT IMPORTANT TREES AND ASSOCIATED ROOT ZONES. EVALUATE EXISTING VEGETATION SUITABLE FOR USE AS FILTER STRIPS ALONG THE PERIMETER OF THE SITE.
4. A CONSTRUCTION ENTRANCE SHALL BE PLACED PER THE PLAN LOCATION.
5. ESTABLISH CONSTRUCTION STAGING AREA FOR EQUIPMENT AND VEHICLES AS FAR FROM STORM SEWER INLETS AND SWALES AS POSSIBLE.
6. INSTALL TRASH DUMPSTER, CONCRETE WASHOUT AREA AND PLACE PORT-O-LET AS INDICATED ON THE PLANS.
7. ESTABLISH ONSITE LOCATION FOR OWNER/OPERATOR/CONTRACTOR PLACEMENT OF APPROVED PLANS AND INSPECTION DOCUMENTATION.

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PROPOSED NEW IMCU BRANCH
1073 W. JEFFERSON STREET
FRANKLIN, IN 46131

PROJECT LOCATED IN:
SECTION 15 - TOWNSHIP 12 NORTH -
RANGE 4 EAST
FRANKLIN TOWNSHIP,
JOHNSON COUNTY

STORMWATER POLLUTION PREVENTION PLAN

PREPARED FOR:
INDIANA
Members Credit Union
5103 MADISON AVENUE
INDIANAPOLIS, IN 46227
317.248.8556

REV. #	DATE	REV. DESC.

DRAWING LEGEND

- PROPERTY BOUNDARY
- SF PROPOSED SILT FENCE
- CONSTRUCTION LIMITS
- PS PERMANENT SEEDING - TYPICAL AFTER CONSTRUCTION IS COMPLETED.
- TS TEMPORARY SEEDING - REQUIRED IF AREA IS INACTIVE FOR 14 DAYS OR MORE.
- STORM DRAIN INLET (CATCH BASIN) INSERT
- FILTER BASKET

CERTIFIED BY:



DATE: 07/11/2019

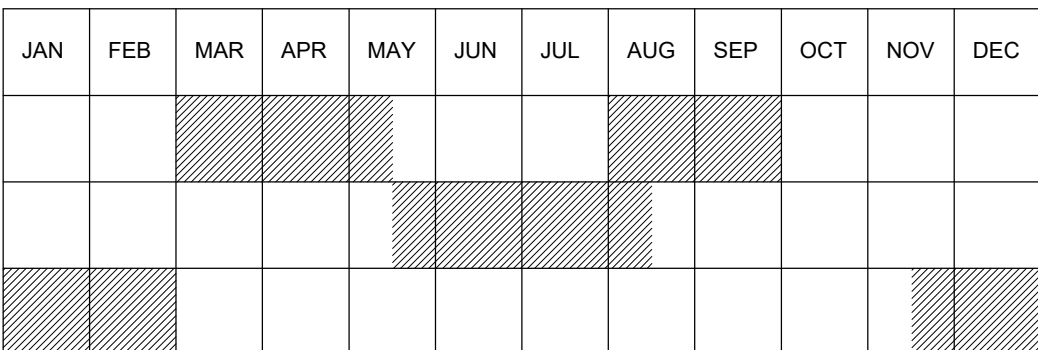
Approved By:	BCR
Drawn By:	CLH
Date of Last Field Work:	06/21/2019
Date Plotted:	07/11/2019

Reference #: C19-4943

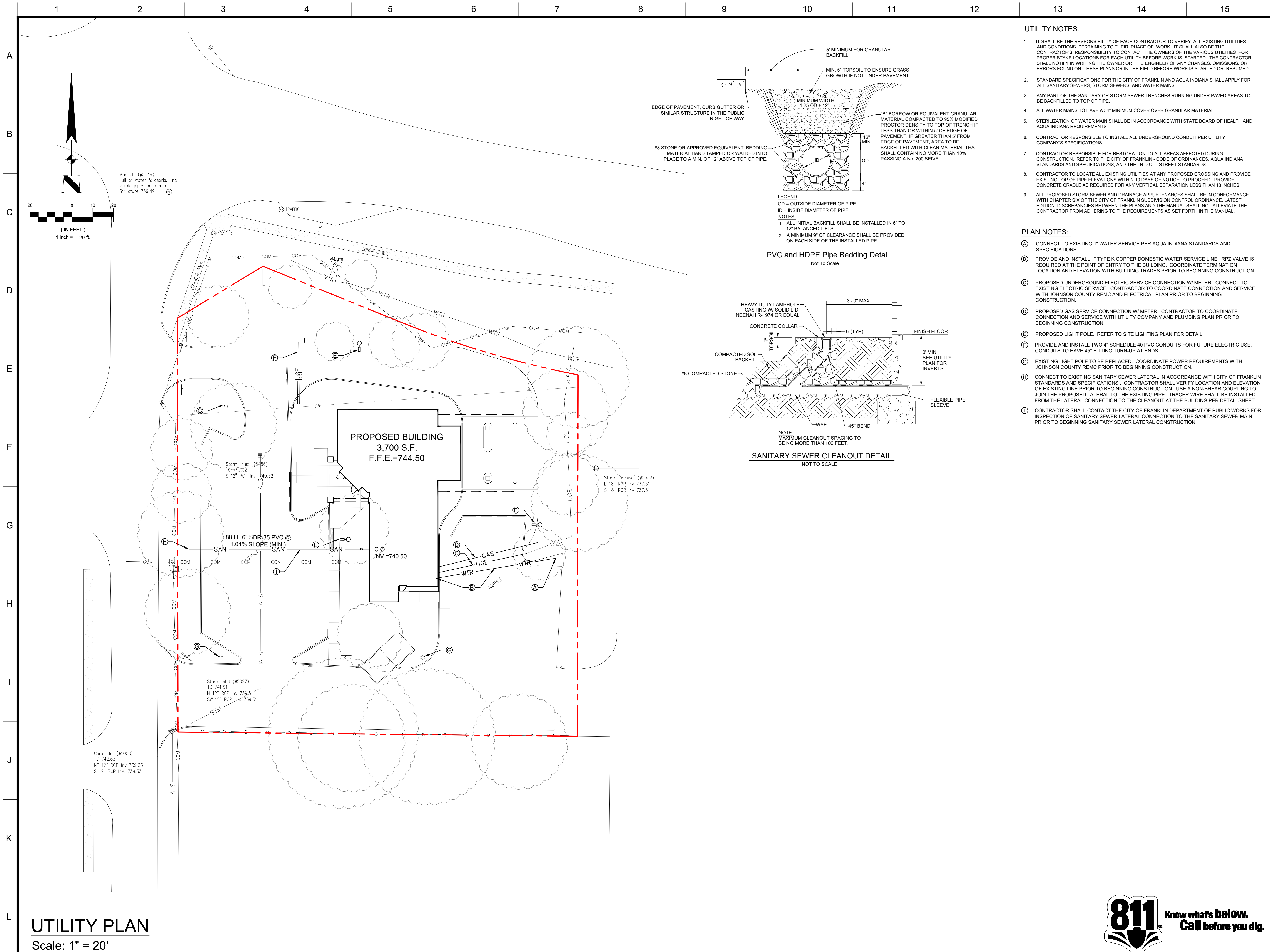
Project Number:

M19-4944
Sheet Number :
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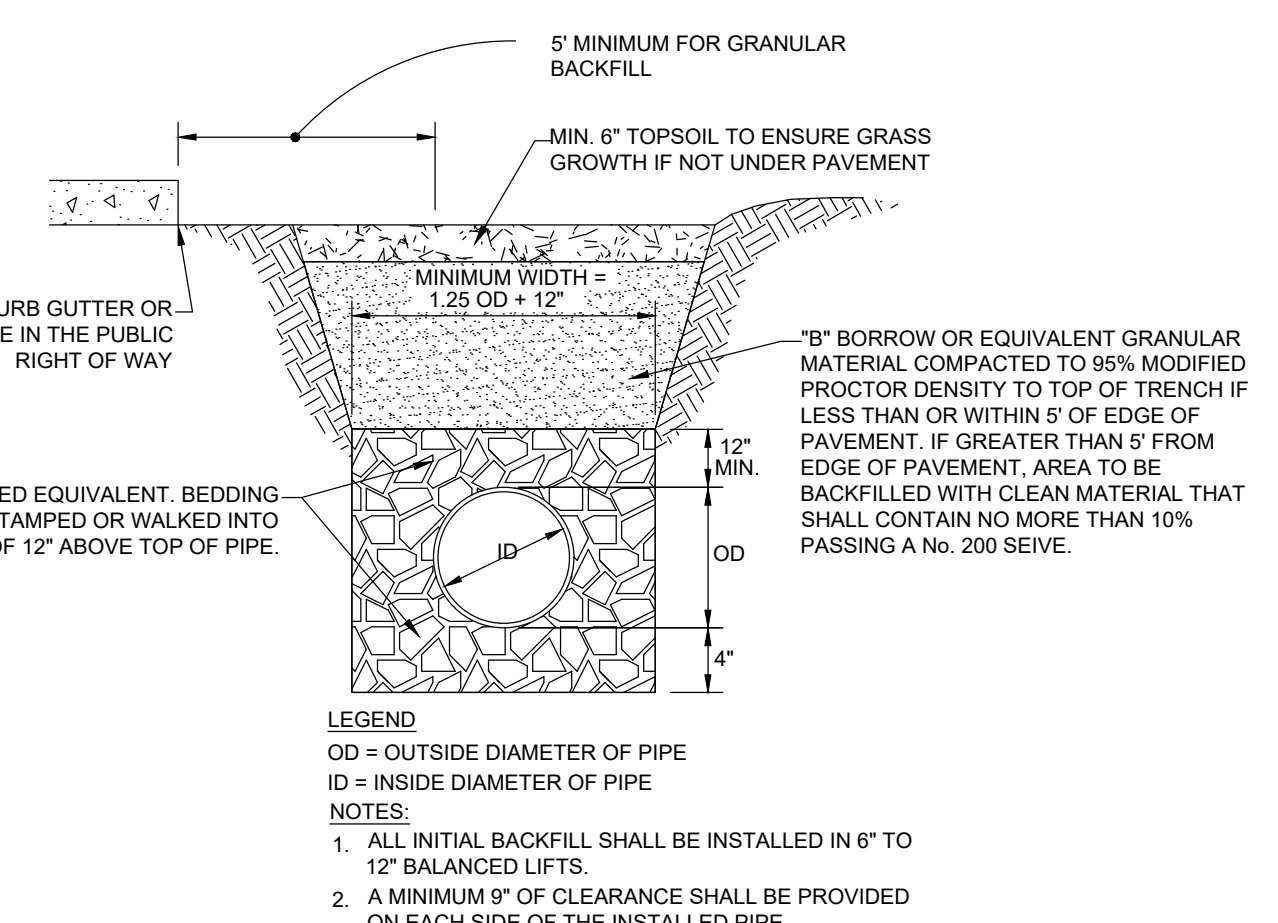




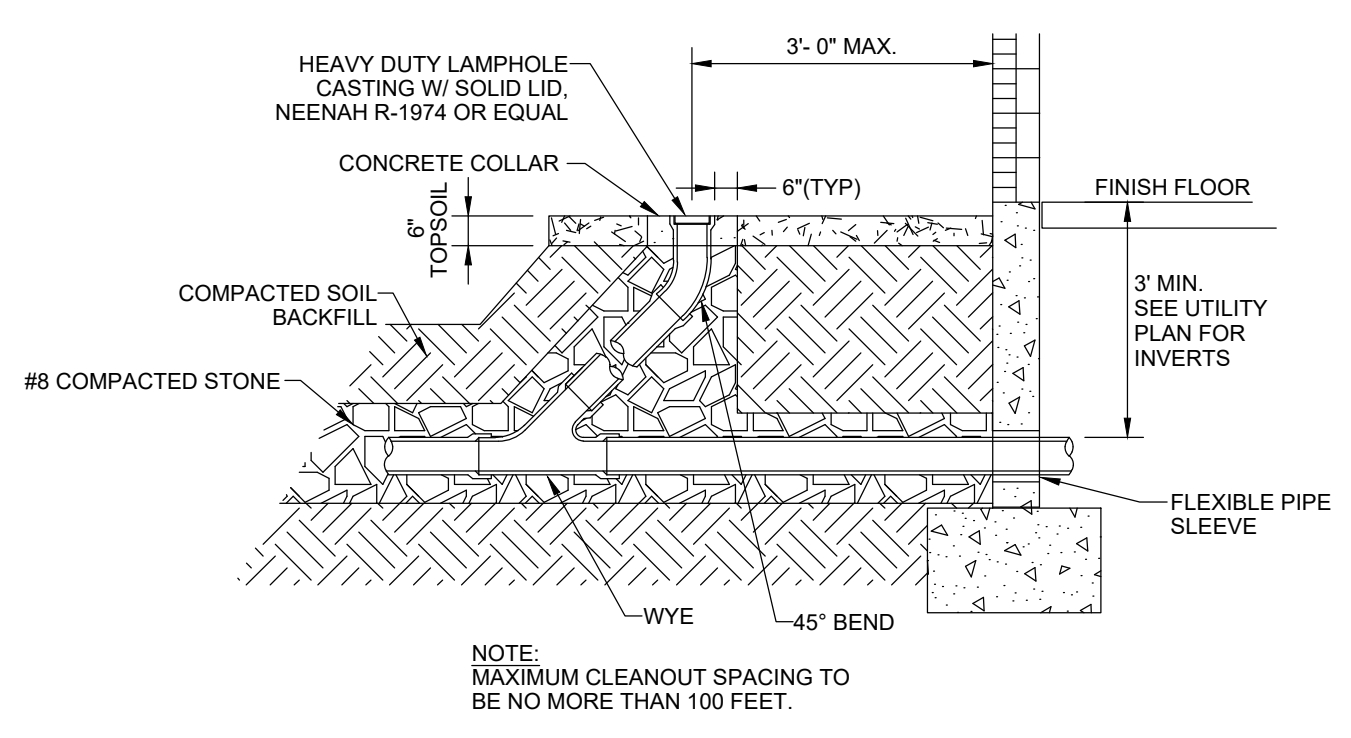
* 1 - PREFERRED 2 - WILL TOLERATE ** INOCULATE WITH SPECIFIC INOCULANT.
SEED TOLERANCE CHART
 * LATE SUMMER SEEDING DATES MAY BE EXTENDED 5 DAYS IF MULCH IS APPLIED.
 ** INCREASE SEEDING APPLICATION BY 50%.



UTILITY PLAN
Scale: 1" = 20'



PVC and HDPE Pipe Bedding Detail
Not To Scale



SANITARY SEWER CLEANOUT DETAIL
NOT TO SCALE

UTILITY NOTES:

- IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO THEIR PHASE OF WORK. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATIONS FOR EACH UTILITY BEFORE WORK IS STARTED. THE CONTRACTOR SHALL NOTIFY IN WRITING THE OWNER OR THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
- STANDARD SPECIFICATIONS FOR THE CITY OF FRANKLIN AND AQUA INDIANA SHALL APPLY FOR ALL SANITARY SEWERS, STORM SEWERS, AND WATER MAINS.
- ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED TO TOP OF PIPE.
- ALL WATER MAINS TO HAVE A 54" MINIMUM COVER OVER GRANULAR MATERIAL.
- STERILIZATION OF WATER MAIN SHALL BE IN ACCORDANCE WITH STATE BOARD OF HEALTH AND AQUA INDIANA REQUIREMENTS.
- CONTRACTOR RESPONSIBLE TO INSTALL ALL UNDERGROUND CONDUIT PER UTILITY COMPANY'S SPECIFICATIONS.
- CONTRACTOR RESPONSIBLE FOR RESTORATION TO ALL AREAS AFFECTED DURING CONSTRUCTION. REFER TO THE CITY OF FRANKLIN - CODE OF ORDINANCES, AQUA INDIANA STANDARDS AND SPECIFICATIONS, AND THE I.N.D.O.T. STREET STANDARDS.
- CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AT ANY PROPOSED CROSSING AND PROVIDE EXISTING TOP OF PIPE ELEVATIONS WITHIN 10 DAYS OF NOTICE TO PROCEED. PROVIDE CONCRETE CRADLE AS REQUIRED FOR ANY VERTICAL SEPARATION LESS THAN 18 INCHES.
- ALL PROPOSED STORM SEWER AND DRAINAGE APPURTENANCES SHALL BE IN CONFORMANCE WITH CHAPTER SIX OF THE CITY OF FRANKLIN SUBDIVISION CONTROL ORDINANCE, LATEST EDITION. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.

PLAN NOTES:

- CONNECT TO EXISTING 1" WATER SERVICE PER AQUA INDIANA STANDARDS AND SPECIFICATIONS.
- PROVIDE AND INSTALL 1" TYPE K COPPER DOMESTIC WATER SERVICE LINE. RPZ VALVE IS REQUIRED AT THE POINT OF ENTRY TO THE BUILDING. COORDINATE TERMINATION LOCATION AND ELEVATION WITH BUILDING TRADES PRIOR TO BEGINNING CONSTRUCTION.
- PROPOSED UNDERGROUND ELECTRIC SERVICE CONNECTION W/ METER. CONNECT TO EXISTING ELECTRIC SERVICE. CONTRACTOR TO COORDINATE CONNECTION AND SERVICE WITH JOHNSON COUNTY REMC AND ELECTRICAL PLAN PRIOR TO BEGINNING CONSTRUCTION.
- PROPOSED GAS SERVICE CONNECTION W/ METER. CONTRACTOR TO COORDINATE CONNECTION AND SERVICE WITH UTILITY COMPANY AND PLUMBING PLAN PRIOR TO BEGINNING CONSTRUCTION.
- PROPOSED LIGHT POLE. REFER TO SITE LIGHTING PLAN FOR DETAIL.
- PROVIDE AND INSTALL TWO 4" SCHEDULE 40 PVC CONDUITS FOR FUTURE ELECTRIC USE. CONDUITS TO HAVE 45° FITTING TURN-UP AT ENDS.
- EXISTING LIGHT POLE TO BE REPLACED. COORDINATE POWER REQUIREMENTS WITH JOHNSON COUNTY REMC PRIOR TO BEGINNING CONSTRUCTION.
- CONNECT TO EXISTING SANITARY SEWER LATERAL IN ACCORDANCE WITH CITY OF FRANKLIN STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING LINE PRIOR TO BEGINNING CONSTRUCTION. USE A NON-SHEAR COUPLING TO JOIN THE PROPOSED LATERAL TO THE EXISTING PIPE. TRACER WIRE SHALL BE INSTALLED FROM THE LATERAL CONNECTION TO THE CLEANOUT AT THE BUILDING PER DETAIL SHEET.
- CONTRACTOR SHALL CONTACT THE CITY OF FRANKLIN DEPARTMENT OF PUBLIC WORKS FOR INSPECTION OF SANITARY SEWER LATERAL CONNECTION TO THE SANITARY SEWER MAIN PRIOR TO BEGINNING SANITARY SEWER LATERAL CONSTRUCTION.

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UTILITY PLAN

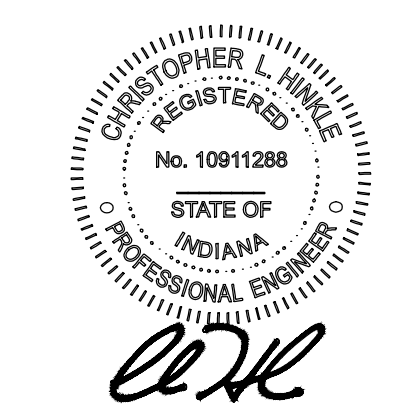
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REV. #	DATE	REV. DESC.

DRAWING LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- WTR --- WATER LINE
- UGE --- UNDERGROUND ELECTRIC
- UGT --- UNDERGROUND TELEPHONE
- SAN --- PROPOSED SANITARY LATERAL

CERTIFIED BY:



DATE: 07/11/2019
Approved By: BCR
Drawn By: CLH
Date of Last Field Work: 06/21/2019
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