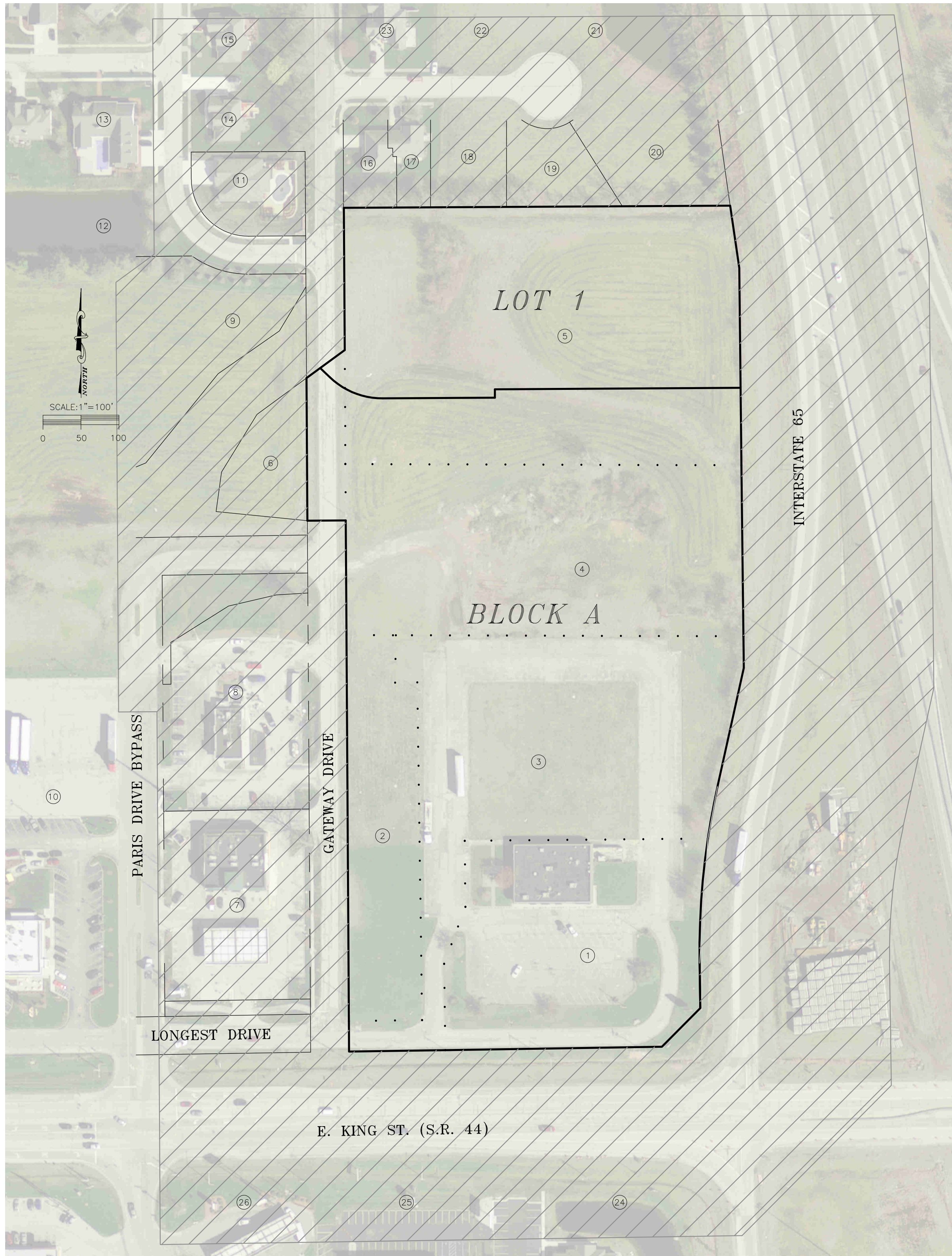


SHEET INDEX

TITLE	TITLE SHEET
SP1-SP2	SECONDARY PLAT
EG1	TOPOGRAPHIC MAP
ST1-ST2	STREET PLAN & STORM SEWER
UT1-UT2	UTILITY PLAN
EC1-EC2	EROSION CONTROL PLAN

FRANKLIN GATEWAY DEVELOPMENT  
SECONDARY PLAT – SECTION 1



SITE MAP

SUBJECT LAND OWNERS

- EAST KING STREET, LLC.  
INST. #2001-006116  
AUDITOR'S MAP #41-07-18-042-010.002-018
- PAD COMMERCIAL, LLC.  
INST. #2017-029600  
AUDITOR'S MAP #41-07-18-031-010.000-018
- CITY OF FRANKLIN  
INST. #2017-025086  
AUDITOR'S MAP #41-07-18-042-010.001-018
- J ENTERPRISES INN OF NASHVILLE, LLC.  
INST. #2017-016364  
AUDITOR'S MAP #41-07-18-042-011.000-018
- J ENTERPRISES INN OF NASHVILLE, LLC.  
INST. #2018-014511  
AUDITOR'S MAP #41-07-18-042-001.000-018

ADJOINING LAND OWNERS

- JART PROPERTIES INC.  
INST. #2017-013521  
AUDITOR'S MAP #41-07-18-031-003.000-018
- SHVZ7, LLC.  
INST. #2007-026816  
AUDITOR'S MAP #41-07-18-031-006.003-018
- POTROWSKI BK #8503  
INST. #2007-006628  
AUDITOR'S MAP #41-07-18-031-006.000-018
- JART PROPERTIES INC.  
INST. #2017-013521  
AUDITOR'S MAP #41-07-18-031-006.002-018
- MCDONALD'S CORPORATION  
D.R. 241, PG. 412  
AUDITOR'S MAP #41-07-18-031-006.001-018
- DIETRICH S. AND MICHELLE PAHL  
FAIRWAY LAKES SEC. II LOT 47  
INST. #2013-011763  
AUDITOR'S MAP #41-07-18-024-038.000-018
- FAIRWAY LAKES DEVELOPMENT  
FAIRWAY LAKES SEC. I COMMON AREA #1  
AUDITOR'S MAP #41-07-18-031-016.000-018
- DAVID W. & NANCY A. DOWDEN  
FAIRWAY LAKES SEC. II LOT 48  
AUDITOR'S MAP #41-07-18-024-018.000-018
- MARK DOMINICK & JESSICA HENSLEY  
FAIRWAY LAKES SEC. II LOT 46  
INST. #2013023281  
AUDITOR'S MAP #41-07-18-024-037.000-018
- STEPHEN HURRLE & SHANNON STOWERS  
FAIRWAY LAKES SEC. II LOT 45  
INST. #2017015203  
AUDITOR'S MAP #41-07-18-024-036.000-018
- LUIS CARLOS LOPEZ & DONNA KELP LUTES  
W. 1/2 LOT 178 - PARIS ESTATES SEC. 6  
INST. #2015-008484  
AUDITOR'S MAP #41-07-18-024-001.001-018
- LARRY J. & KATHRYN L. STOFFEL  
E. 1/2 LOT 178 - PARIS ESTATES SEC. 6  
INST. #2015-003165  
AUDITOR'S MAP #41-07-18-013-001.000-018
- W.E. PARIS PROPERTIES, LLC.  
LOT 177 - PARIS ESTATES SEC. 6  
INST. #2012-028117  
AUDITOR'S MAP #41-07-18-013-002.000-018
- W.E. PARIS PROPERTIES, LLC.  
LOT 176 - PARIS ESTATES SEC. 6  
INST. #2012-028117  
AUDITOR'S MAP #41-07-18-013-003.000-018
- W.E. PARIS PROPERTIES, LLC.  
LOT 175 - PARIS ESTATES SEC. 6  
INST. #2012-028117  
AUDITOR'S MAP #41-07-18-013-004.000-018
- W.E. PARIS PROPERTIES, LLC.  
LOT 174 - PARIS ESTATES SEC. 6  
INST. #2012028117  
AUDITOR'S MAP #41-07-18-013-006.000-018
- MICHAEL G. & KATHLEEN H. WAUGH  
LOT 173 - PARIS ESTATES SEC. 6  
INST. #2018007230  
AUDITOR'S MAP #41-07-18-013-007.000-018
- ROBERT WARREN & VALERIE J. PHILPOTT  
S. 1/2 LOT 172 - PARIS ESTATES SEC. 6  
AUDITOR'S MAP #41-07-18-013-008.001-018
- AC-FRANKLIN IN-1 LLC  
INST. #2013030185  
AUDITOR'S MAP #41-07-18-043-009.000-018
- VAG FRANKLIN LLC  
INST. #2015003013  
AUDITOR'S MAP #41-07-18-043-010.000-018
- COUTAR REMAINDER I LLC  
AUDITOR'S MAP #41-07-18-034-001.000-018

LEGEND

- XX CONTROL POINT
- SET 5/8"x30" REBAR THIS SURVEY
- FOUND/REFERENCED SECTION CORNER
- FOUND 5/8" REBAR/STEEL PIN
- FOUND IRON PIPE/STEEL POST/RAILROAD SPIKE
- FOUND MAG NAIL/P.K. NAIL
- FOUND CONCRETE MONUMENT/RIGHT-OF-WAY MARKER
- RECORD OR PLAT DIMENSION
- COMPUTED DIMENSION
- SURVEY DIMENSION
- ACRES
- POINT OF BEGINNING
- EXISTING SPOT ELEVATION
- EXISTING GAS MARKER
- EXISTING GAS VALVE
- EXISTING WATER MARKER
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING IRRIGATION CONTROL VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CLEANOUT
- EXISTING STORM SEWER MANHOLE
- EXISTING CURB INLET
- EXISTING CATCH BASIN
- EXISTING BOLLARD/WOOD POST
- EXISTING TRAFFIC HANDHOLE
- EXISTING SIGN
- EXISTING BANNER POST
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING GUY ANCHOR
- EXISTING ELECTRIC BOX/TRANSFORMER
- EXISTING TELECOMM PEDESTAL/HANDHOLE
- EXISTING FIBER OPTIC MARKER
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING DECIDUOUS TREE
- EXISTING SHRUB
- EXISTING FENCE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER SEWER
- EXISTING STORM SEWER
- EXISTING OVERHEAD UTILITIES
- EXISTING UNDERGROUND TELECOMM LINE
- VACATED DEED LINE
- EXISTING DITCH
- EXISTING TREE/BRUSH LINE

WRITTEN DESCRIPTION OF LOCATION OF PROPERTY:  
A PART OF THE SOUTH HALF OF SECTION 18, TOWNSHIP 12 NORTH, RANGE 5 EAST IN JOHNSON COUNTY, INDIANA.

CURRENT ZONING:  
MIXED-USE: REGIONAL CENTER (MXR)

PARCEL NUMBERS:  
AUDITOR'S MAP #41-07-18-042-010.002-018  
AUDITOR'S MAP #41-07-18-031-010.000-018  
AUDITOR'S MAP #41-07-18-042-010.001-018  
AUDITOR'S MAP #41-07-18-042-011.000-018  
AUDITOR'S MAP #41-07-18-042-001.000-018

LEGAL DESCRIPTION:  
A PART OF THE SOUTH HALF OF SECTION 18, TOWNSHIP 12 NORTH, RANGE 5 EAST, JOHNSON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" CAPPED REBAR (FOUND) MARKING THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION; THENCE NORTH 89°41'46" EAST (AN ASSUMED BEARING) ALONG THE NORTH LINE OF SAID QUARTER A DISTANCE OF 50.50 FEET TO THE EAST RIGHT-OF-WAY LINE OF PARIS DRIVE AND THE NORTHWEST CORNER OF "TRIPLE T PROPERTY INVESTMENTS, INC." (INST.#2012-004323); THENCE SOUTH 00°21'14" EAST ALONG SAID RIGHT-OF-WAY AND "TRIPLE T PROPERTY INVESTMENTS, INC." LINE A DISTANCE OF 187.15 FEET TO A POINT; THENCE SOUTH 53°43'06" WEST A DISTANCE OF 62.37 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF PARIS DRIVE; THENCE SOUTH 00°21'14" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 187.74 FEET TO A POINT; THENCE NORTH 89°38'48" EAST A DISTANCE OF 60.50 FEET TO A POINT ON THE EAST RIGHT-OF-WAY OF PARIS DRIVE AND THE WEST LINE OF "J ENTERPRISES INN OF NASHVILLE, LLC." (INST.#2017-016364); THENCE SOUTH 00°21'14" EAST ALONG SAID RIGHT-OF-WAY AND "J ENTERPRISES INN OF NASHVILLE, LLC." PASSING THROUGH A 5/8" CAPPED REBAR (FOUND) AT THE NORTHWEST CORNER OF "PAD COMMERCIAL, LLC." (INST.#2017-029600); AT 156.66 FEET A TOTAL DISTANCE OF 698.85 FEET TO A 5/8" REBAR (FOUND) AT THE SOUTHWEST CORNER OF "CITY OF FRANKLIN" (INST. 2017-025086) AND THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 44; THENCE NORTH 89°08'46" EAST ALONG SAID RIGHT-OF-WAY AND "CITY OF FRANKLIN" PASSING THROUGH A 5/8" REBAR (FOUND) AT THE SOUTHWEST CORNER OF "EAST KING STREET LLC." (INST. 2001-006116) AT 126.77 FEET A TOTAL DISTANCE OF 411.80 FEET TO A 5/8" CAPPED REBAR (SET) AT THE WEST RIGHT-OF-WAY LINE ON INTERSTATE 65; THENCE NORTH 44°50'53" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 71.64 FEET TO A 5/8" REBAR (FOUND); THENCE NORTH 00°53'14" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 59.01 FEET TO A 5/8" CAPPED REBAR (FOUND); THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1,004.93 FEET, PASSING THROUGH A 5/8" CAPPED REBAR (FOUND) AT THE SOUTHEAST CORNER OF "CITY OF FRANKLIN" AT AN ARC DISTANCE OF 164.60 FEET WITH A CHORD BEARING NORTH 03°48'28" EAST A DISTANCE OF 164.42 FEET A TOTAL ARC LENGTH OF 234.24 FEET WITH A CHORD BEARING NORTH 05°47'34" EAST A DISTANCE OF 233.71 FEET TO A 5/8" REBAR (FOUND); THENCE NORTH 12°28'25" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 160.00 FEET TO A 5/8" REBAR FOUND; THENCE NORTH 00°39'02" WEST ALONG SAID RIGHT-OF-WAY PASSING THROUGH A 5/8" CAPPED REBAR (FOUND) AT THE SOUTHEAST CORNER "TRIPLE T PROPERTY INVESTMENTS, INC." AT 266.50 FEET A TOTAL DISTANCE OF A DISTANCE OF 526.25 FEET TO A 5/8" REBAR (FOUND); THENCE NORTH 08°18'14" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 82.75 FEET TO A 5/8" REBAR (FOUND) AT THE NORTHEAST CORNER "TRIPLE T PROPERTY INVESTMENTS, INC."; THENCE SOUTH 89°41'46" WEST ALONG THE NORTH LINE OF "TRIPLE T PROPERTY INVESTMENTS, INC." A DISTANCE OF 508.45 FEET TO THE POINT OF BEGINNING, CONTAINING 12.97 ACRES, MORE OR LESS, AND SUBJECT TO ALL LEGAL RIGHTS OF WAY AND EASEMENTS.

FLOODPLAIN INFORMATION:  
THIS SITE IS IN THE MAPPED FLOOD PLAIN (ZONE "X"-UNSHADED (OUTSIDE 500 YEAR FLOOD PLAIN) ON THE NATIONAL FLOOD INSURANCE RATE MAP - PANEL NUMBER 1808100232D, DATED AUGUST 2, 2007. ALL CONSTRUCTION, FILLING, GRADING OR ALTERATION OF THE MAPPED FLOOD PLAIN SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS IN THE FRANKLIN & JOHNSON COUNTY, INDIANA ZONING ORDINANCE AS PERIODICALLY AMENDED.

BENCHMARK INFORMATION:  
THE HORIZONTAL COORDINATE SYSTEM IS NAD83 INDIANA EAST 1301 AND THE VERTICAL DATUM IS NAVD88 BASED ON THE INDIANA CONTINUOUSLY OPERATING REFERENCE SYSTEM (INCORS).

UTILITY INFORMATION:  
THE EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON THE DRAWING WERE OBTAINED FROM SURFACE MARKINGS BY OTHERS AND BY VISIBLE SURFACE INDICATIONS. INDEPENDENT LAND SURVEYING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY OF THE SURFACE MARKINGS MADE BY OTHERS. THIS INFORMATION IS BELIEVED TO BE CORRECT BUT IS NOT GUARANTEED. LOCATION OF ALL UTILITIES SHOULD BE FIELD VERIFIED BEFORE ANY NEW CONSTRUCTION BEGINS. DEPTHS OF UNDERGROUND UTILITIES WERE NOT MARKED AND ARE UNKNOWN UNLESS NOTED OTHERWISE.

OWNER

CITY OF FRANKLIN  
70 E MONROE ST  
FRANKLIN, IN 46131  
PHONE: 817-736-3602  
CONTACT: MAYOR BARNETT  
EMAIL: MAYOR@FRANKLIN.IN.GOV

OWNER

EAST KING STREET, LLC  
2711 E MICHIGAN ST  
INDIANAPOLIS, IN 46201  
PHONE: 317-634-0604  
CONTACT: RAY VANDIVIER  
EMAIL: RAYVANDIVIER@VANDIVIERGROUP.COM

DEVELOPER

FRANKLIN GATEWAY DEVELOPMENT, LLC  
430 2ND ST  
COLUMBUS, IN 47203  
PHONE: 812-379-2173  
CONTACT: JANEEN SPRAGUE  
EMAIL: SPRAGUECOMPANY@COMCAST.NET

OWNER

J ENTERPRISES INN  
OF NASHVILLE, LLC  
430 2ND ST  
COLUMBUS, IN 47201  
PHONE: 812-379-2173  
CONTACT: JANEEN SPRAGUE  
EMAIL: SPRAGUECOMPANY@COMCAST.NET

OWNER

PAD COMMERCIAL, LLC  
6602 W 500 S  
MORGANTOWN, IN 46160  
PHONE: 317-339-9729  
CONTACT: PETE GRIMMER  
EMAIL: PETE.GRIMMER@GMAIL.COM

SURVEYOR

INDEPENDENT LAND SURVEYING  
3640 COMMERCE DR.  
COLUMBUS, IN 47201  
PHONE: 812-372-0996  
CONTACT: TIM M. ALLEN  
EMAIL: TALLEN@ILSURVEYING.COM

UTILITIES

**WATER**  
INDIAN AMERICAN WATER COMPANY  
425 WEST MAIN STREET  
MOORESVILLE, IN 46158  
TROY BRYANT  
317-831-3385

**FIBEROPTIC**  
CENTURY LINK  
1147 N. MORTON STREET  
FRANKLIN, IN 46131  
DAVID MEYERS  
317-736-4863

**SEWER**  
CITY OF FRANKLIN DPW  
796 S. STATE STREET  
FRANKLIN, IN 46131  
RICK LITTLETON  
317-736-3648

**GAS**  
VECTREN ENERGY  
600 INDUSTRIAL DRIVE  
FRANKLIN, IN 46131  
BLAKE NIETEN  
317-736-2907

**COMMUNICATIONS**  
METRO FIBERNET  
8036 COLE WOOD BLVD.  
INDIANAPOLIS, IN 46239  
DOUG RECKART  
317-809-8067

**COMMUNICATIONS**  
COMCAST  
1600 WEST VERNAL PIKE  
BLOOMINGTON, IN 47404  
STEVE MCARTOR  
812-360-3090

**ELECTRIC**  
DUKE ENERGY  
2515 N. MORTON STREET  
FRANKLIN, IN 46131  
TAYLOR AUSTIN  
317-736-2017

**FIRE DEPARTMENT**  
CITY OF FRANKLIN FIRE DEPT.  
1800 THORNBURG LANE  
FRANKLIN, IN 46131  
BRYNE PURSIFULL  
317-736-3650

rev. no.	date	description	by
1			

PROJECT NAME: CLIENT: SPRAGUE COMPANIES  
FRANKLIN GATEWAY DEVELOPMENT  
SECONDARY PLAT – SECTION 1  
FRANKLIN, INDIANA 46131

414 South Main Street  
Brownstown, Indiana 47220  
Phone: 812-358-2882  
Fax: 812-358-2605

3640 Commerce Drive  
Columbus, Indiana 47201  
Phone: 812-372-0996  
Fax: 812-372-0996

Independent Land Surveying  
www.ilsurveying.com

SHEET TITLE: TITLE

drawn by: DEK  
scale: 1"=20'  
date: JULY 12, 2018  
job no. 17174

JAMES C. LEWIS  
REGISTERED  
NO. 10705  
STATE OF INDIANA  
FACED SEAL

TIM M. ALLEN  
REGISTERED  
NO. 12705  
STATE OF INDIANA  
LAND SURVEYOR

Tim M. Allen

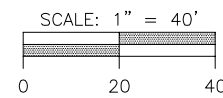
SHEET

TITLE

17174 SECONDARY  
PLAT SEC 1.dwg



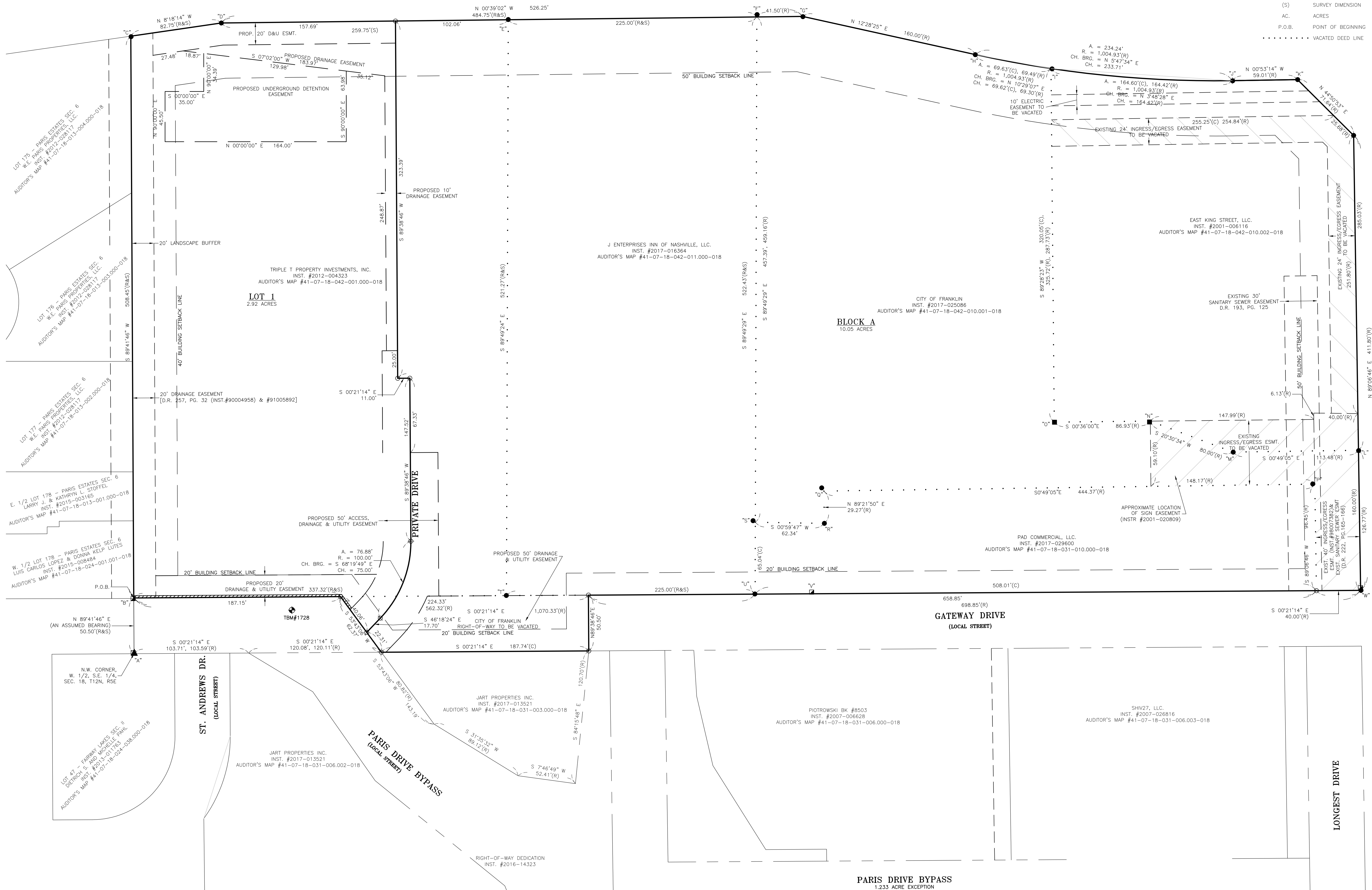


STATE ROAD 44 AND PARIS DRIVE  
FRANKLIN, INDIANA

INTERSTATE 65

# LEGEND

○	SET 5/8"x30" REBAR THIS SURVEY
▲	FOUND/REFERENCE SECTION CORNER
●	FOUND 5/8" REBAR/STEEL PIN
□	FOUND MAG NAIL/P.K. NAIL
■	FOUND CONCRETE MONUMENT/RIGHT-OF-WAY MARKER
(R)	RECORD OR PLAT DIMENSION
(C)	COMPUTED DIMENSION
(S)	SURVEY DIMENSION
AC.	ACRES
P.O.B.	POINT OF BEGINNING
.....	VACATED DEED LINE



E. KING ST. (S.R. 44)

# Independent Land Surveying

SHEET TITLE:

SECONDARY PLAT  
SECTION 1

drawn by:	DEK
scale:	1"=40'
date:	JULY 12, 20
job no.	17474

*NOT FOR CONSTRUCTION*

SHEET

SP1

17174 SECONDARY  
PLAT SEC 1.dwg



DEDICATION CERTIFICATE

WE, THE UNDERSIGNED OWNER(S) OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE, SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT.

THIS SUBDIVISION SHALL BE KNOWN AS "FRANKLIN GATEWAY DEVELOPMENT SECONDARY PLAT – SECTION 1" CONSISTING OF 1 LOT, IDENTIFIED HEREON AS "LOT 1" AND ONE BLOCK, IDENTIFIED HEREON AS "BLOCK A", CONTAINING 12.97 ACRES IN TOTAL.

THE REAL ESTATE DESCRIBED IN THIS PLAT IS SUBJECT TO THE DEDICATIONS, COVENANTS, AND RESTRICTIONS AS SEPARATELY RECORDED IN THE OFFICE OF THE RECORDER OF JOHNSON COUNTY, INDIANA AND REFERENCED TO THIS PLAT.

WITNESS OUR HANDS AND SEALS THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2018.

J ENTERPRISES INN OF NASHVILLE, LLC BY:

SIGNED \_\_\_\_\_ PRINTED NAME AND TITLE \_\_\_\_\_

STATE OF INDIANA )  
COUNTY OF \_\_\_\_\_ ) SS:

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE, PERSONALLY APPEARED \_\_\_\_\_ AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS THEIR VOLUNTARY ACT AND DEED FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC – \_\_\_\_\_

COUNTY OF RESIDENCE \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

WITNESS OUR HANDS AND SEALS THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2018.

CITY OF FRANKLIN, INDIANA BY:

SIGNED \_\_\_\_\_ PRINTED NAME AND TITLE \_\_\_\_\_

STATE OF INDIANA )  
COUNTY OF \_\_\_\_\_ ) SS:

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE, PERSONALLY

APPEARED \_\_\_\_\_ AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS THEIR VOLUNTARY ACT AND DEED FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC – \_\_\_\_\_

COUNTY OF RESIDENCE \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

WITNESS OUR HANDS AND SEALS THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2018.

EAST KING STREET, LLC BY:

SIGNED \_\_\_\_\_ PRINTED NAME AND TITLE \_\_\_\_\_

STATE OF INDIANA )  
COUNTY OF \_\_\_\_\_ ) SS:

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE, PERSONALLY

APPEARED \_\_\_\_\_ AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS THEIR VOLUNTARY ACT AND DEED FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC – \_\_\_\_\_

COUNTY OF RESIDENCE \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

WITNESS OUR HANDS AND SEALS THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2018.

PAD COMMERCIAL, LLC BY:

SIGNED \_\_\_\_\_ PRINTED NAME AND TITLE \_\_\_\_\_

STATE OF INDIANA )  
COUNTY OF \_\_\_\_\_ ) SS:

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE, PERSONALLY

APPEARED \_\_\_\_\_ AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS THEIR VOLUNTARY ACT AND DEED FOR THE PURPOSES THEREIN EXPRESSED.

WITNESS MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC – \_\_\_\_\_

COUNTY OF RESIDENCE \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

CERTIFICATE OF APPROVAL

AFTER HAVING GIVEN PUBLIC NOTICE OF THE TIME, PLACE AND NATURE OF HEARING ON THE APPLICATION FOR PRIMARY APPROVAL OF THIS SUBDIVISION BY PUBLICATION IN A NEWSPAPER OF LOCAL CIRCULATION MORE THAN TEN (10) DAYS BEFORE THE HEARING THEREON, UNDER AUTHORITY PROVIDED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA, THIS PLAT WAS GIVEN APPROVAL BY A MAJORITY OF THE MEMBERS OF THE FRANKLIN PLAN COMMISSION AT A

MEETING HELD ON THE \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_.

CITY OF FRANKLIN PLAN COMMISSION BY:

JIM MARTIN, PRESIDENT \_\_\_\_\_ SUZANNE FINDLEY, SECRETARY \_\_\_\_\_

THIS PLAT IS HEREBY RECOMMENDED FOR ACCEPTANCE BY THE CITY OF FRANKLIN BY:

JOANNA MYERS, SENIOR PLANNER \_\_\_\_\_ MARK RICHARDS, CITY ENGINEER \_\_\_\_\_

RECEIVED FOR TAXATION THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2018

PAMELA J. BURTON, COUNTY AUDITOR \_\_\_\_\_

INSTRUMENT NUMBER \_\_\_\_\_

RECEIVED FOR RECORD THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2018

AT \_\_\_\_\_ AND RECORDED IN PLAT CABINET \_\_\_\_ SLIDE \_\_\_\_

JILL JACKSON, COUNTY RECORDER \_\_\_\_\_

SURVEYOR'S REPORT

CLIENT INFORMATION AND PURPOSE OF SURVEY:  
THIS SURVEY IS BEING PREPARED FOR FRANKLIN GATEWAY DEVELOPMENT, LLC AND IS A SECONDARY PLAT OF THE LAND AS DESCRIBED AND RECORDED IN INSTRUMENTS #2017-029600, #2017-016364, #2018-014511, #2001-006116, & #2017-025086, AS RECORDED IN THE OFFICE OF THE RECORDER OF JOHNSON COUNTY, INDIANA. THIS IS AN ORIGINAL SURVEY OF LOT 1.

SURVEY STANDARDS  
IN ACCORDANCE WITH THE INDIANA SURVEY STANDARDS AS DEFINED IN INDIANA ADMINISTRATIVE CODE 865 IAC 1-12 ("RULE 12"), THE FOLLOWING OBSERVATIONS AND OPINIONS ARE SUBMITTED REGARDING THE VARIOUS UNCERTAINTIES IN THE LOCATIONS OF THE LINES AND CORNERS ESTABLISHED ON THIS SURVEY AS A DIRECT RESULT OF:  
1. VARIANCES IN THE FOUND MONUMENTATION  
2. VARIANCES IN RECORD DOCUMENTS AND PLATS  
3. INCONSISTENCIES IN LINES OF OCCUPATION  
4. RANDOM ERRORS IN MEASUREMENT (RELATIVE POSITIONAL ACCURACY).  
THERE MAY BE UNWRITTEN RIGHTS ASSOCIATED WITH THESE UNCERTAINTIES

ALL BEARINGS AND DISTANCES SHOWN ON THE DRAWING ARE FIELD MEASUREMENTS UNLESS OTHERWISE NOTED. BEARING SYSTEM IS "ASSUMED"

REFERENCED SURVEYS:

- 1) AN ALTA/NSPS LAND TITLE SURVEY PERFORMED BY SEA GROUP (PROJECT NUMBER: C17-2829N); CERTIFIED BY JAMES M. FAZEKAS ON JUNE 19, 2017.
- 2) AN ALTA/NSPS LAND TITLE SURVEY PERFORMED BY SEA GROUP (PROJECT NUMBER: C17-2829S); CERTIFIED BY JAMES M. FAZEKAS ON JUNE 16, 2017.
- 3) AN ALTA/NSPS LAND TITLE SURVEY PERFORMED BY HAHN SURVEYING GROUP, INC.; CERTIFIED BY RICHARD D. O'BRIAN ON MARCH 29, 2004, LAST REVISED ON JUNE 16, 2004.

FINDING OF FACTS:

"A" – FOUND 5/8" REBAR W/ CAP (MAINSTREET) MARKING THE NORTHWEST CORNER, OF THE WEST HALF, OF THE SOUTHEAST QUARTER, OF SECTION 18, TOWNSHIP 12 NORTH, RANGE 5 EAST. A FOUND 4"x4" CONCRETE MONUMENT LIES APPROXIMATELY 0.7' NORTH AND 1.0' EAST OF SAID REBAR.

"B" – FOUND 4"x4" CONCRETE MONUMENT LIES APPROXIMATELY 0.7' NORTH AND 1.0' EAST OF THE COMPUTED CORNER WHICH AGREES WITH THE LOCATION AS SHOWN ON REFERENCE SURVEY #1 & #2.

"H" – FOUND 5/8" REBAR AT THE POINT OF CURVATURE ON THE I-65 RIGHT-OF-WAY.

"I" – FOUND 5/8" REBAR W/ CAP (#8800177) MARKING THE NORTHEAST CORNER OF THE SUBJECT LAND AS SET IN REFERENCE SURVEY #3. SAID REBAR WAS FOUND 0.8 FEET SOUTH OF THE PROPERTY CORNER.

"J" – FOUND 5/8" REBAR W/ CAP (#8800177) MARKING THE EAST CORNER OF THE SUBJECT LAND AS SET IN REFERENCE SURVEY #3. SAID REBAR WAS FOUND 0.4 FEET SOUTH AND 0.2 FEET WEST OF THE PROPERTY CORNER.

"K" – FOUND 5/8" REBAR MARKING A CORNER OF THE SUBJECT LAND AS SHOWN ON REFERENCE SURVEY #3. SAID REBAR WAS FOUND 0.2 FEET SOUTH OF THE PROPERTY CORNER.

"L" – FOUND 5/8" REBAR MARKING A CORNER OF THE SUBJECT LAND AS SHOWN ON REFERENCE SURVEY #3.

"M" – FOUND 5/8" REBAR W/ CAP (#8800177) MARKING A CORNER OF THE SUBJECT LAND AS SHOWN ON REFERENCE SURVEY #3. SAID REBAR WAS SET IN SAID SURVEY.

"N" – FOUND PK NAIL NEAR A CORNER OF THE SUBJECT LAND. REFERENCE SURVEY #3 SHOWS SAID PK NAIL BEING 1.1' NORTHWEST OF THE CORNER WHICH AGREES WITH THE GEOMETRICS OF THE RECORD DEED. SAID SURVEY SHOWS THAT A MAG NAIL WAS ALSO SET AT THE CORNER, HOWEVER THE SET MAG NAIL WAS NOT FOUND.

"O" – FOUND MAG NAIL MARKING THE NORTHWEST CORNER OF THE SUBJECT LAND AS SHOWN ON REFERENCE SURVEY #3. SAID MAG NAIL WAS SET IN SAID SURVEY.

"P" – FOUND 5/8" REBAR NEAR A CORNER OF THE WEST ADJOINER.  
"Q" – FOUND 5/8" REBAR NEAR THE NORTHEAST CORNER OF THE SUBJECT LAND. SAID REBAR LIES APPROXIMATELY 1.9' NORTH AND 2.9' EAST OF THE COMPUTED CORNER. THE ORIGIN OF SAID MONUMENT IS UNKNOWN.

"R" – FOUND 5/8" REBAR W/CAP (MILLER) MARKING A CORNER OF THE SUBJECT LAND.

"S" – FOUND 5/8" REBAR NEAR A CORNER OF THE SUBJECT LAND. SAID REBAR LIES APPROXIMATELY 2.1' NORTH AND 1.4' EAST OF THE COMPUTED CORNER. THE ORIGIN OF SAID MONUMENT IS UNKNOWN.

"T" – FOUND 5/8" REBAR W/CAP (SEA) MARKING THE NORTHWEST CORNER OF THE SUBJECT LAND AS SHOWN ON REFERENCE SURVEY #2. SAID REBAR WAS SET IN SAID SURVEY.

"V" – FOUND CONCRETE RIGHT-OF-WAY MARKER APPROXIMATELY 1.5' EAST OF THE EAST RIGHT-OF-WAY OF PARIS DRIVE.

"W" – FOUND 5/8" REBAR MARKING A CORNER OF THE WEST ADJOINER.

A SEARCH WAS MADE AT THE REMAINING CORNERS OF THE SUBJECT LANDS BUT NO MONUMENTS WERE FOUND.

IMPROVEMENTS, AND OCCUPATIONAL FEATURES ARE LOCATED THIS SURVEY AS SHOWN HEREON.

THEORY OF LOCATION:  
THE BOUNDARY OF THE SUBJECT LAND IS ESTABLISHED PER THE GEOMETRICS OF THE RECORD DEEDS ALONG WITH THE FOUND MONUMENTS AND REFERENCE SURVEYS DISCUSSED ABOVE.

THERE IS A DISCREPANCY BETWEEN DEEDS IN THE LENGTH OF LINE "O"-"I". THE RECORD DIMENSIONS FOR THIS LINE ARE 325.72 AND 287.73. THE MEASURED DISTANCE IS 320.05.

ALL MONUMENTS SET OR FOUND THIS SURVEY ARE WITHIN 4" OF THE GROUND SURFACE, UNLESS OTHERWISE NOTED. SOME OF THE PARKING IS LOCATED ON THE WEST ADJOINERS PROPERTY.

SUMMARY:  
AS A RESULT OF THE ABOVE OBSERVATIONS, IT IS MY OPINION THAT THE UNCERTAINTIES IN THE LOCATIONS OF LINES AND CORNERS ESTABLISHED ON THIS SURVEY ARE AS FOLLOWS:

DUE TO VARIANCES IN REFERENCE MONUMENTS AS FOLLOWS: MONUMENTS "P", "Q" & "S" DO NOT AGREE WITH GEOMETRICS OF THE RECORD DEED OF THE SUBJECT AND ADJOINING LANDS OR THE REFERENCE SURVEYS. THE LOCATIONS OF THESE MONUMENTS WERE NOT HELD ON THIS SURVEY.  
DUE TO DISCREPANCIES IN THE RECORD PLATS AND DESCRIPTIONS: NONE OBSERVED.  
DUE TO INCONSISTENCIES IN LINES OF OCCUPATION: AS SHOWN AND DIMENSIONED HEREON.

DUE TO DISCREPANCIES IN THE RECORD PLATS AND DESCRIPTIONS: THE RECORD DEED CALLS FOR LINE "O"-"I" DIFFERS FROM 325.72' TO 287.73. THE COMPUTED DISTANCE IS 320.05'

DUE TO INCONSISTENCIES IN LINES OF OCCUPATION: AS SHOWN AND DIMENSIONED HEREON.

THE PRECISION AND ACCURACY STANDARD FOR THE HEREON SURVEY MEETS OR EXCEEDS THE ACCEPTABLE RELATIVE POSITIONAL ACCURACY FOR AN URBAN SURVEY: 0.07 FEET PLUS 50 PARTS PER MILLION AS DEFINED IN 865 IAC 1-12-7.

A SEARCH FOR EASEMENTS OF RECORD IS NOT TO BE IMPLIED BY THIS SURVEY. IMPROVEMENTS WERE LOCATED BY THIS SURVEY. MATTERS OF ZONING COMPLIANCE ARE NOT EXPRESSED OR GUARANTEED BY THIS SURVEY.

NOTICE: TO SUBJECT LAND OWNER, THE ADJOINING LANDOWNER MAY HAVE UNWRITTEN RIGHTS TO THAT LAND OUTSIDE OF ANY FENCES OR OCCUPATION LINES THAT YOU MAY OR MAY NOT BE OCCUPYING. BEFORE REMOVING ANY FENCES OR IMPROVEMENTS, I RECOMMEND THAT YOU CONSULT WITH AN ATTORNEY. CONTACT THIS OFFICE, IF YOU HAVE ANY QUESTIONS.

DEVELOPMENT SUMMARY

CURRENT ZONING: MXR

TOTAL DEVELOPMENT AREA: 12.97 AC.

MAXIMUM NUMBER OF FUTURE LOTS:  
BLOCK A = 10.05 AC.

NOTE: THIS SUBDIVISION IS SUBJECT TO ALL DRAINAGE SYSTEM DESIGN AND CONSTRUCTION STANDARDS OF THE FRANKLIN SUBDIVISION CONTROL ORDINANCE, ALL OTHER APPLICABLE ADOPTED STANDARDS OF THE CITY OF FRANKLIN, AND THE REQUIREMENTS OF THE CITY ENGINEER THAT PROVIDE FOR THE REPAIR AND MAINTENANCE OF THE SYSTEM. PROPER FUNCTION AND MAINTENANCE OF THE DRAINAGE SYSTEM MAY BE ENFORCED BY THE BOARD OF PUBLIC WORKS AND THE CITY ENGINEER. DRAINAGE EASEMENTS SHALL PROVIDE THE CITY OF FRANKLIN THE RIGHT OF ACCESS.

FRANKLIN GATEWAY DEVELOPMENT  
SECONDARY PLAT – SECTION 1

STATE ROAD 44 AND PARIS DRIVE  
FRANKLIN, INDIANA

WRITTEN DESCRIPTION OF LOCATION OF PROPERTY:

A PART OF THE SOUTH HALF OF SECTION 18, TOWNSHIP 12 NORTH, RANGE 5 EAST IN JOHNSON COUNTY, INDIANA.

CURRENT ZONING:

MIXED-USE: REGIONAL CENTER (MXR)

PARCEL NUMBERS:

AUDITOR'S MAP #41-07-18-042-010.002-018  
AUDITOR'S MAP #41-07-18-042-010.003-018  
AUDITOR'S MAP #41-07-18-042-010.004-018  
AUDITOR'S MAP #41-07-18-042-010.005-018  
AUDITOR'S MAP #41-07-18-042-011.000-018  
AUDITOR'S MAP #41-07-18-042-001.000-018

LEGAL DESCRIPTION:

A PART OF THE SOUTH HALF OF SECTION 18, TOWNSHIP 12 NORTH, RANGE 5 EAST, JOHNSON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" CAPPED REBAR (FOUND) MARKING THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION; THENCE NORTH 89°41'46" EAST (AN ASSUMED BEARING) ALONG THE NORTH LINE OF SAID QUARTER A DISTANCE OF 50.50 FEET TO THE EAST RIGHT-OF-WAY LINE OF PARIS DRIVE AND THE NORTHWEST CORNER OF "TRIPLE T PROPERTY INVESTMENTS, INC." (INST.#2012-004323); THENCE SOUTH 00°21'14" EAST ALONG SAID RIGHT-OF-WAY AND "TRIPLE T PROPERTY INVESTMENTS, INC." LINE A DISTANCE OF 187.15 FEET TO A POINT; THENCE SOUTH 53°43'06" WEST A DISTANCE OF 62.37 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF PARIS DRIVE; THENCE SOUTH 00°21'14" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 187.74 FEET TO A POINT; THENCE NORTH 89°38'46" EAST A DISTANCE OF 50.50 FEET TO A POINT ON THE EAST RIGHT-OF-WAY OF PARIS DRIVE AND THE WEST LINE OF "J ENTERPRISES INN OF NASHVILLE, LLC" (INST.#2017-016364); THENCE SOUTH 00°21'14" EAST ALONG SAID RIGHT-OF-WAY AND "J ENTERPRISES INN OF NASHVILLE, LLC" LINE A DISTANCE OF 5/8" CAPPED REBAR (FOUND) AT THE NORTHWEST CORNER OF "PAD COMMERCIAL, LLC" (INST.#2017-029600) AT 150.66 FEET A TOTAL DISTANCE OF 698.85 FEET TO A 5/8" REBAR (FOUND) AT THE SOUTHWEST CORNER OF "CITY OF FRANKLIN" (INST. 2017-025086) AND THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 44; THENCE NORTH 89°06'46" EAST ALONG SAID RIGHT-OF-WAY AND "CITY OF FRANKLIN" PASSING THROUGH A 5/8" REBAR (FOUND) AT THE SOUTHWEST CORNER OF "EAST KING STREET LLC" (INST. 2001-006116) AT 126.77 FEET A TOTAL DISTANCE OF 411.80 FEET TO A 5/8" CAPPED REBAR (SET) AT THE WEST RIGHT-OF-WAY LINE ON INTERSTATE 65; THENCE NORTH 44°50'53" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 71.64 FEET TO A 5/8" REBAR (FOUND); THENCE NORTH 00°53'14" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 59.01 FEET TO A 5/8" CAPPED REBAR (FOUND); THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1,004.93 FEET, PASSING THROUGH A 5/8" CAPPED REBAR (FOUND) AT THE SOUTHEAST CORNER OF "CITY OF FRANKLIN" AT AN ARC DISTANCE OF 164.60 FEET WITH A CHORD BEARING NORTH 03°48'28" EAST A DISTANCE OF 164.42 FEET A TOTAL ARC LENGTH OF 234.24 FEET WITH A CHORD BEARING NORTH 05°47'34" EAST A DISTANCE OF 233.71 FEET TO A 5/8" REBAR (FOUND); THENCE NORTH 12°28'25" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 160.00 FEET TO A 5/8" REBAR (FOUND); THENCE NORTH 00°39'02" WEST ALONG SAID RIGHT-OF-WAY PASSING THROUGH A 5/8" CAPPED REBAR (FOUND) AT THE SOUTHEAST CORNER "TRIPLE T PROPERTY INVESTMENTS, INC." AT 266.50 FEET A TOTAL DISTANCE OF A DISTANCE OF 526.25 FEET TO A 5/8" REBAR (FOUND); THENCE NORTH 08°18'14" WEST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 82.75 FEET TO A 5/8" REBAR (FOUND) AT THE NORTHEAST CORNER "TRIPLE T PROPERTY INVESTMENTS, INC."; THENCE SOUTH 89°41'48" WEST ALONG THE NORTH LINE OF "TRIPLE T PROPERTY INVESTMENTS, INC." A DISTANCE OF 508.45 FEET TO THE POINT OF BEGINNING, CONTAINING 12.97 ACRES, MORE OR LESS, AND SUBJECT TO ALL LEGAL RIGHTS OF WAY AND EASEMENTS.

FLOODPLAIN INFORMATION:

THIS SITE IS IN THE MAPPED FLOOD PLAIN (ZONE "X"-UNSHADED (OUTSIDE 500 YEAR FLOOD PLAIN) ON THE NATIONAL FLOOD INSURANCE RATE MAP – PANEL NUMBER 18081C02320, DATED AUGUST 2, 2007. ALL CONSTRUCTION, FILLING, GRADING OR ALTERATION OF THE MAPPED FLOOD PLAIN SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS IN THE FRANKLIN & JOHNSON COUNTY, INDIANA ZONING ORDINANCE AS PERIODICALLY AMENDED.

BENCHMARK INFORMATION:

THE HORIZONTAL COORDINATE SYSTEM IS NAD83 INDIANA EAST 1301 AND THE VERTICAL DATUM IS NAVD88 BASED ON THE INDIANA CONTINUOUSLY OPERATING REFERENCE SYSTEM (INCORS).

TM#1728  
MAG NAIL SET IN THE SIDEWALK ON THE EAST SIDE OF PARIS DRIVE, APPROXIMATELY 80 FEET SOUTH OF THE CENTERLINE OF SAINT ANDREWS DRIVE.  
NORTHING: 1543689.99'  
EASTING: 229148.38'  
ELEVATION: 743.73'

UTILITY INFORMATION:

THE EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ON THE DRAWING WERE OBTAINED FROM SURFACE MARKINGS BY OTHERS AND BY VISIBLE SURFACE INDICATIONS. INDEPENDENT LAND SURVEYING, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY OF THE SURFACE MARKINGS MADE BY OTHERS. THIS INFORMATION IS BELIEVED TO BE CORRECT BUT IS NOT GUARANTEED. LOCATION OF ALL UTILITIES SHOULD BE FIELD VERIFIED BEFORE ANY NEW CONSTRUCTION BEGINS. DEPTHS OF UNDERGROUND UTILITIES WERE NOT MARKED AND ARE UNKNOWN UNLESS NOTED OTHERWISE.



**OWNER**  
CITY OF FRANKLIN  
70 E MONROE ST  
FRANKLIN, IN 46131  
PHONE: 812-736-3602  
CONTACT: MAYOR BARNETT  
EMAIL: MAYOR@FRANKLIN.IN.GOV

**OWNER**  
J ENTERPRISES INN  
OF NASHVILLE, LLC  
430 2ND ST  
COLUMBUS, IN 47201  
PHONE: 812-379-2173  
CONTACT: JANEEN SPRAGUE  
EMAIL: SPRAGUECOMPANY@COMCAST.NET

**OWNER**  
EAST KING STREET, LLC  
2711 E MICHIGAN ST  
INDIANAPOLIS, IN 46201  
PHONE: 317-634-0684  
CONTACT: RAY VANDIVIER  
EMAIL: RAYVANDIVIER@VANDIVIERGROUP.COM

**OWNER**  
PAD COMMERCIAL, LLC  
6602 W 500 S  
MORGANTOWN, IN 46160  
PHONE: 317-339-9729  
CONTACT: PETE GRIMMER  
EMAIL: PETE.GRIMMER@GMAIL.COM

**DEVELOPER**  
FRANKLIN GATEWAY DEVELOPMENT, LLC  
430 2ND ST  
COLUMBUS, IN 47201  
PHONE: 812-379-2173  
CONTACT: JANEEN SPRAGUE  
EMAIL: SPRAGUECOMPANY@COMCAST.NET

**SURVEYOR**  
INDEPENDENT LAND SURVEYING  
3640 COMMERCE DR.  
COLUMBUS, IN 47201  
PHONE: 812-372-0996  
CONTACT: TIM M. ALLEN  
EMAIL: TALLEN@ILSURVEYING.COM

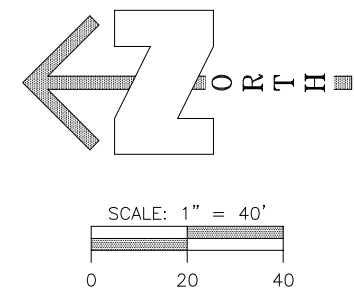
SURVEYOR'S CERTIFICATE

I, TIM M. ALLEN, HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA; THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAT CORRECTLY REPRESENTS A SURVEY COMPLETED BY ME IN JUNE OF 2018; THAT ANY CHANGES FROM THE DESCRIPTION APPEARING ON THE LAST RECORD OF TRANSFER OF THE LAND SHOWN ON THE PLAT ARE SO INDICATED; THAT ALL MONUMENTS SHOWN THEREON ACTUALLY EXIST OR WILL BE INSTALLED. FURTHERMORE, I AFFIRM UNDER PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

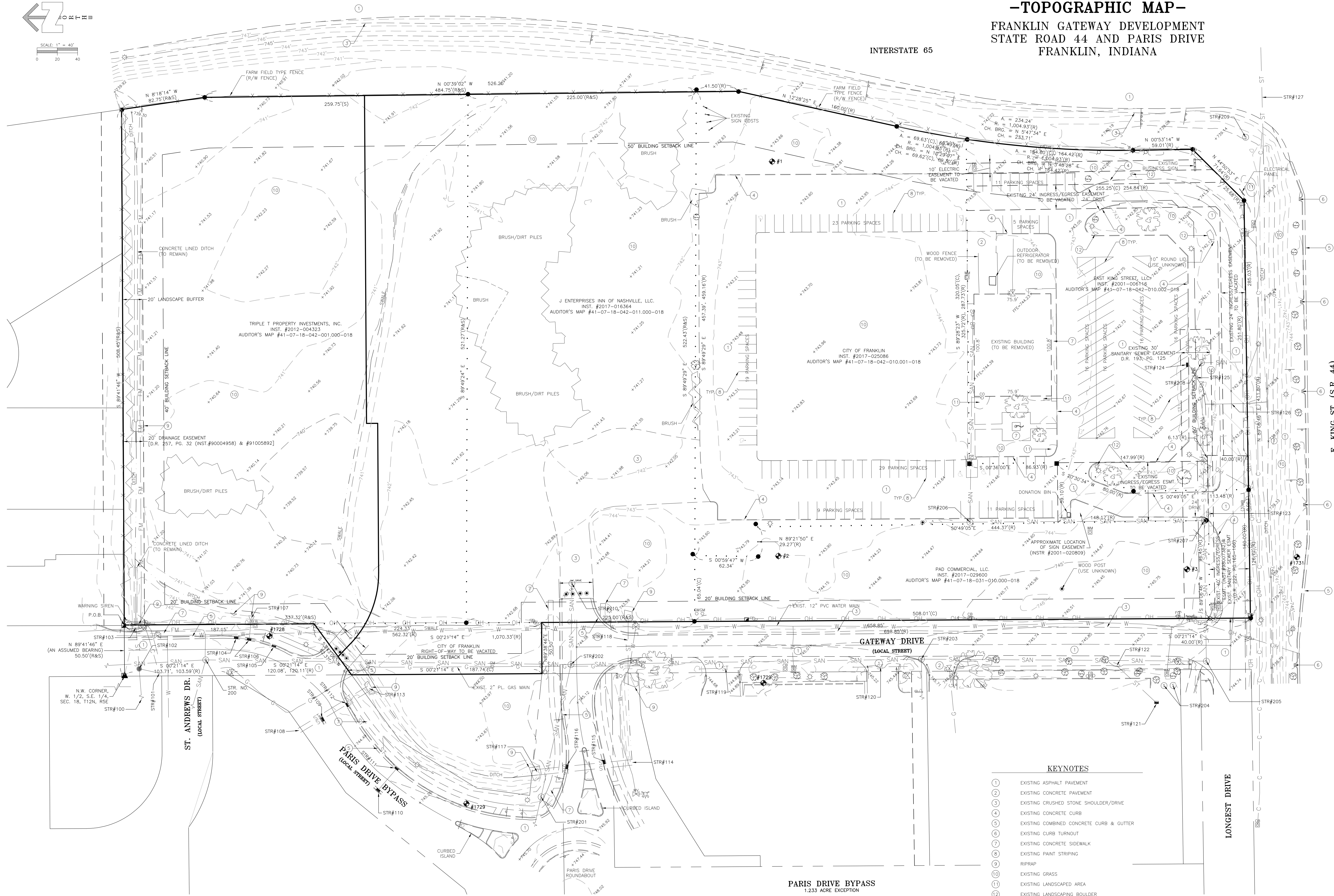
TIM M. ALLEN, LS-20700102 \_\_\_\_\_ DATE \_\_\_\_\_

by	_____	description	_____	date	_____	rev. no.	_____
PROJECT NAME				CLIENT: SPRAGUE COMPANIES FRANKLIN GATEWAY DEVELOPMENT SECONDARY PLAT – SECTION 1 FRANKLIN, INDIANA 46131			
SHEET TITLE:				414 South Main Street Bloomington, Indiana 47220 Phone: 812-358-2882 Fax: 812-358-2605 3640 Commerce Drive Columbus, Indiana 47201 Phone: 812-372-0996 Fax: 812-372-0996			
drawn by:	DEK	scale:	1"=20'	date:	JULY 12, 2018	job no.	17174
FOR CONSTRUCTION				www.ilsurveying.com			
SHEET				SP2			
17174 SECONDARY PLAT SEC 1.dwg							





**-TOPOGRAPHIC MAP-**  
**FRANKLIN GATEWAY DEVELOPMENT**  
**STATE ROAD 44 AND PARIS DRIVE**  
**FRANKLIN, INDIANA**



- KEYNOTES**
- 1 EXISTING ASPHALT PAVEMENT
  - 2 EXISTING CONCRETE PAVEMENT
  - 3 EXISTING CRUSHED STONE SHOULDER/DRIVE
  - 4 EXISTING CONCRETE CURB
  - 5 EXISTING COMBINED CONCRETE CURB & GUTTER
  - 6 EXISTING CURB TURNOUT
  - 7 EXISTING CONCRETE SIDEWALK
  - 8 EXISTING PAINT STRIPING
  - 9 RIPRAP
  - 10 EXISTING GRASS
  - 11 EXISTING LANDSCAPED AREA
  - 12 EXISTING LANDSCAPING BOULDER

E. KING ST. (S.R. 44)

by	
description	
date	
rev. no.	
PROJECT NAME	CLIENT: SPRAGUE COMPANIES FRANKLIN GATEWAY DEVELOPMENT SECONDARY PLAT - SECTION 1 FRANKLIN, INDIANA 46131
SHEET TITLE:	EXISTING FEATURES AND TOPOGRAPHY
drawn by:	DEK
scale:	1"=40'
date:	JULY 12, 2018
job no.	17174
SHEET	EG1
17174 SECONDARY PLAT SEC 1.dwg	

**Independent Land Surveying**

414 South Main Street  
Brownstown, Indiana 47220  
Phone: 812-358-2882  
Fax: 812-358-2605

3640 Commerce Drive  
Columbus, Indiana 47331  
Phone: 812-372-6996  
Fax: 812-372-0996

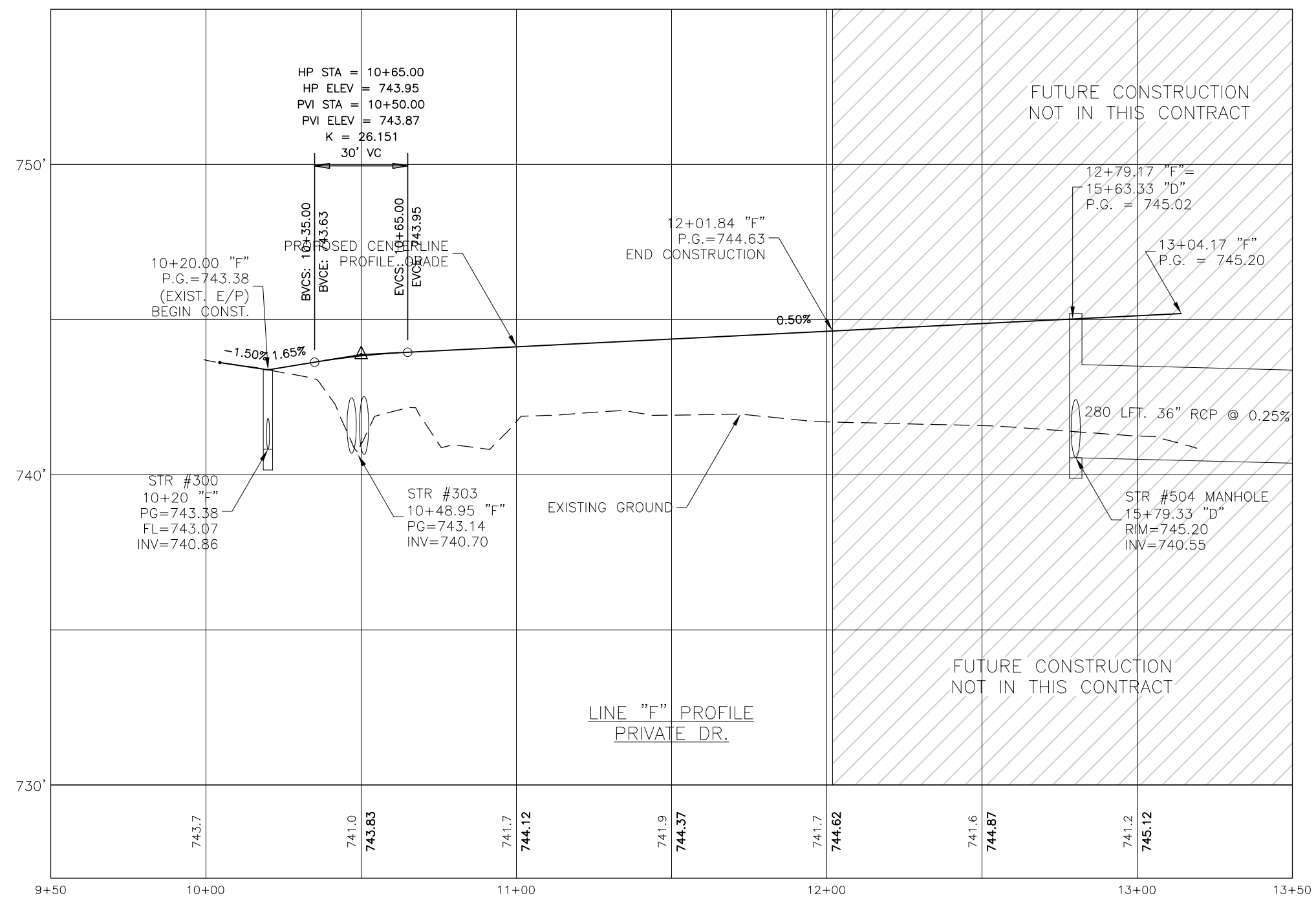
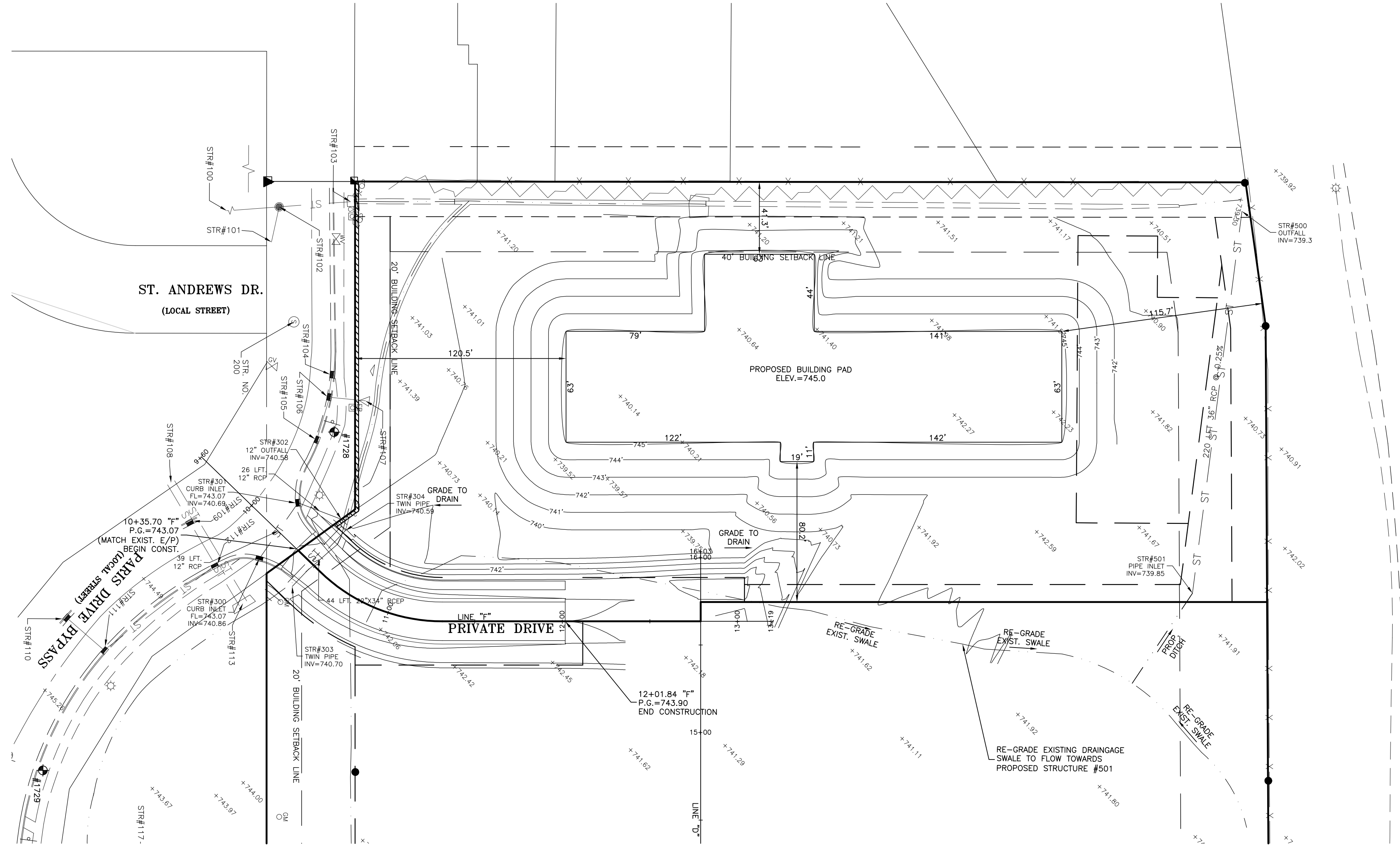
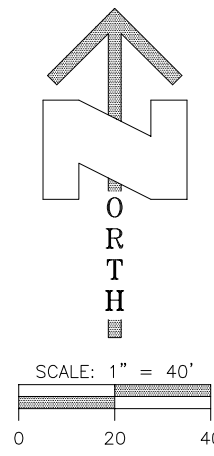
www.isurveying.com

**NOT FOR CONSTRUCTION**

INDIANA  
STATE  
LAND SURVEYOR

Tom M. [Signature]





SHEET		17174 SECONDARY PLAT SEC 1.dwg	
ST1			
SHEET			
drawn by: DEK		scale: 1"=40'	
date: JULY 12, 2018		job no. 17174	
SHEET TITLE: STREET AND STORM PLAN		PROJECT NAME: CLIENT: SPRAGUE COMPANIES FRANKLIN GATEWAY DEVELOPMENT SECONDARY PLAT - SECTION 1	
Independent Land Surveying		414 South Main Street, Brownstown, Indiana 47220, Phone: 812-358-2882, Fax: 812-358-2885, 3640 Commerce Drive, Columbus, Indiana 47201, Phone: 812-372-6996, Fax: 812-372-0996, www.ilsurveying.com	
rev. no.		date	
description		by	



**STREET SPECIFICATIONS**  
ASPHALT SHALL BE PRODUCED, HANDLED, AND PLACED IN ACCORDANCE WITH THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS (LATEST EDITION).

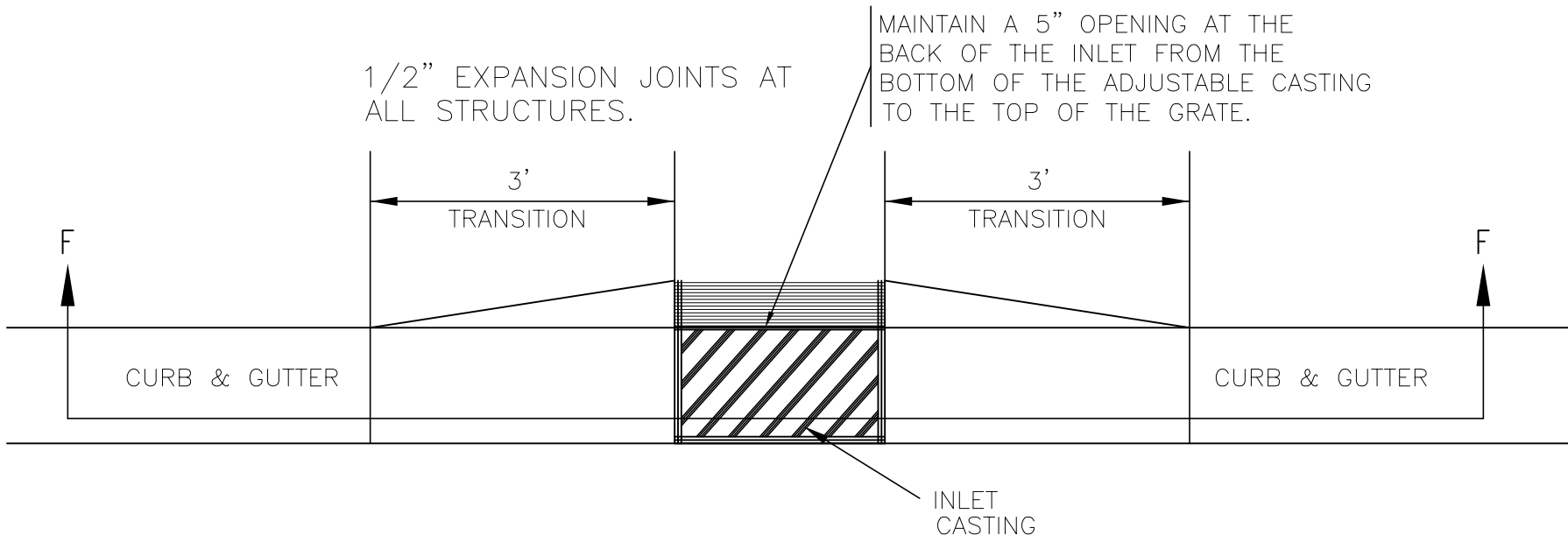
CONCRETE SHALL BE PRODUCED, HANDLED AND PLACED IN ACCORDANCE WITH THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATION (LATEST EDITION) AND SHALL CONSIST OF THE FOLLOWING:

- MAXIMUM SPACING BETWEEN LOAD TRANSFER JOINTS:  
15 FEET FOR STREETS AND CURBS.
- MAXIMUM SPACING BETWEEN EXPANSION JOINTS:  
100 FEET FOR STREET AND CURBS.
- MAXIMUM SPACING BETWEEN JOINTS FOR SIDEWALKS SHALL NOT EXCEED SIDEWALK WIDTH.
- AIR ENTRAINMENT: 5% MINIMUM

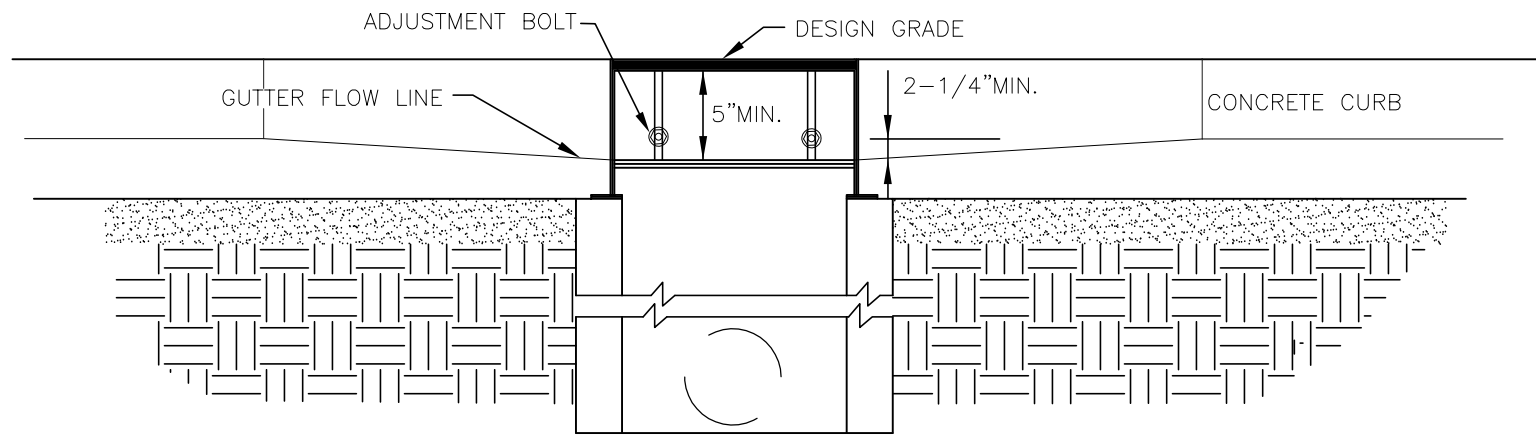
CONCRETE CURING COMPOUND:  
AN ACRYLIC BASED LIQUID MEMBRANE FORMING CURING COMPOUND MEETING REQUIREMENTS OF ASTM C-1315 (TYPE I, CLASS A) SHALL BE APPLIED TO ALL NEW CONCRETE INSTALLED IN THE RIGHT OF WAY. CURING COMPOUND SHALL BE SPRAY APPLIED AT A RATE OF 300 SQUARE FEET PER GALLON WHEN CONCRETE HAS SET UP ENOUGH TO WALK ON WITHOUT MARRING, AND IN ALL CASES APPLIED ON THE SAME DAY AS THE NEW CONCRETE IS PLACED. CURING COMPOUND AND APPLICATION DEVICE SHALL BE KEPT AT OR ABOVE 50 DEGREES F AT ALL TIMES.

PROVIDE DOUBLE THICKNESS OF EXPANSION JOINT MATERIAL AT EACH END OF CURB INLET CASTINGS.

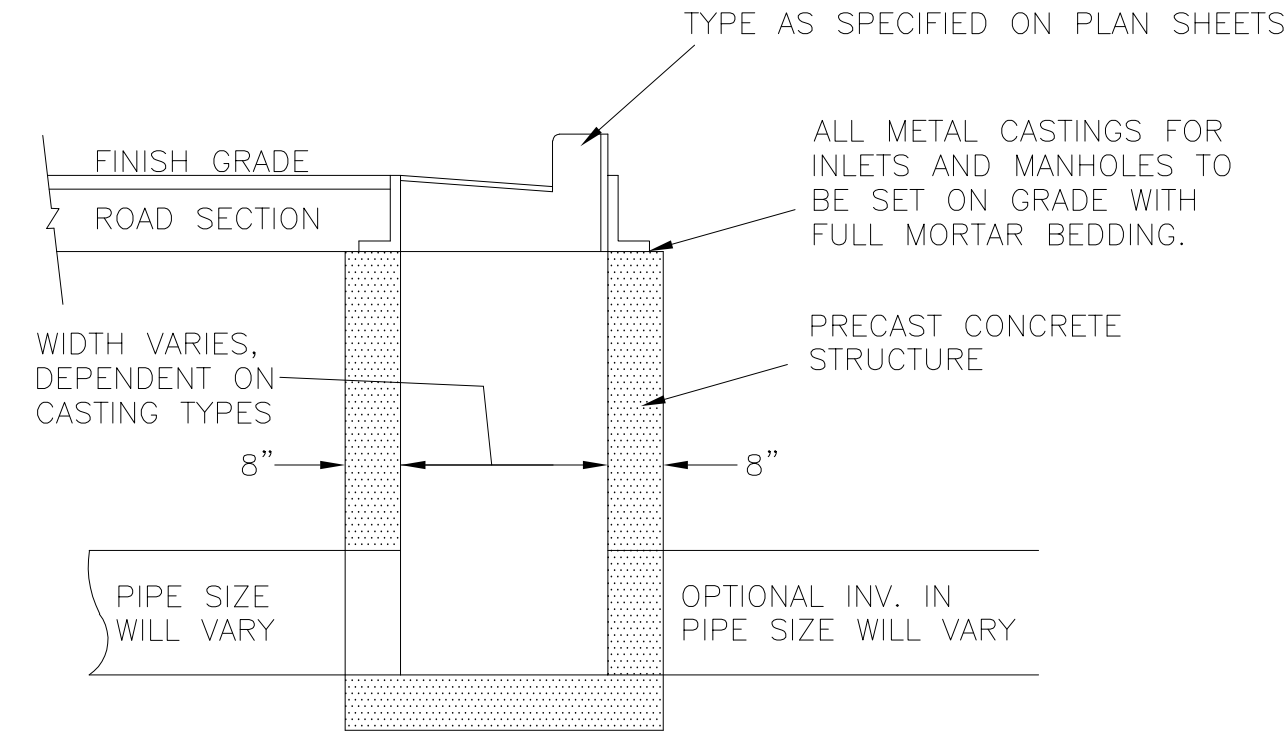
ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LATEST ADA SPECIFICATIONS.



DEPRESSED INLET DETAIL - PLAN VIEW



DEPRESSED INLET SECTION "F-F"

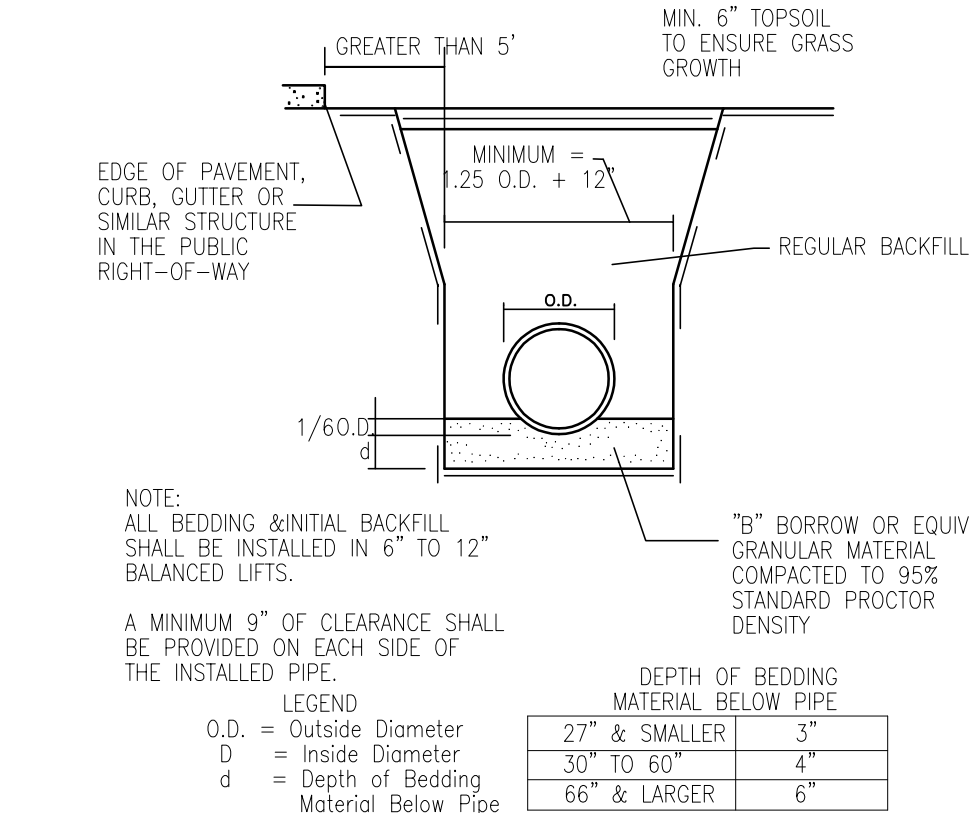


STORM SEWER INLET BOX

CASTINGS SPECIFICATIONS  
FOR STORM STRUCTURES

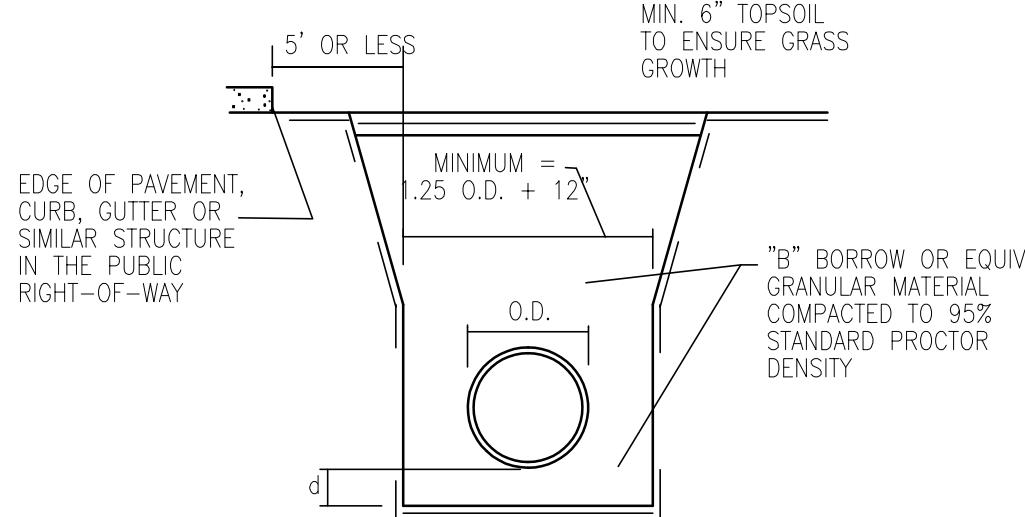
TYPE "A"  
NEENAH R-3246-A WITH  
TYPE "C" GRATE  
AND PRECAST CONCRETE  
STORM SEWER INLET BOX

STRUCTURE DATA TABLE									
STRUCTURE NUMBER	STRUCTURE TYPE	R/W	SIZE	PIPE TYPE	INVERT	REMARKS			
		ELEV.	IN.		ELEV.				
100	PIPE	-	12	RCP	741.63	OUTLET PIPE FROM FAIRWAY LAKES POND			
101	PIPE	-	12	RCP	741.35	INLET END PIPE			
102	CATCH BASIN	743.06	-	-	741.16	BEDDING INLET (RIM 6" WEST SIDE OF INLET)			
103	PIPE	-	18	RCP	740.99	OUTLET TO CONCRETE LINED DITCH			
104	CURB INLET	742.64	12	RCP	740.74	RIM 6" FLOWLINE OF GUTTER - TYPICAL ALL CURB INLETS			
105	CURB INLET	742.95	12	RCP	740.90				
106	CURB INLET	742.77	12	RCP	740.67	INVERT IN (NORTH)			
			12	RCP	740.69	INVERT IN (SOUTH)			
			14X22	RCP	740.62	INVERT OUT (EAST)			
107	PIPE	-	14X22	RCP	740.50	HORIZONTAL ELLIPTICAL PIPE W/RIPRAP OUTFALL; OUTLET TO DITCH			
108	TWIN PIPES	-	16X24	RCP	740.85	INLET END HORIZONTAL ELLIPTICAL PIPE			
109	CURB INLET	743.93	16X24	RCP	740.83	INVERT IN (WEST)			
			12	RCP	740.80	INVERT OUT (EAST)			
110	CURB INLET	744.72	12	RCP	741.57	INVERT OUT (EAST)			
111	CURB INLET	744.62	12	RCP	741.42	INVERT IN (WEST)			
			12	RCP	741.35	INVERT OUT (NORTH)			
112	CURB INLET	743.70	12	RCP	740.75	INVERT IN (WEST)			
			12	RCP	740.78	INVERT IN (SOUTH)			
			16X24	RCP	740.77	INVERT OUT (EAST)			
113	TWIN PIPES	-	16X24	RCP	740.71	OUTLET END TWIN HORIZONTAL ELLIPTICAL PIPE W/RIPRAP OUTFALL; OUTLET TO DITCH			
114	TWIN PIPES	-	20X30	RCP	741.3	INLET END HORIZONTAL ELLIPTICAL PIPE			
115	CURB INLET	745.19	20X30	RCP	741.34	INVERT IN (SOUTH)			
			20X30	RCP	741.31	INVERT OUT (NORTH)			
116	CURB INLET	745.11	20X30	RCP	741.12	INVERT IN (SOUTH)			
			20X30	RCP	741.11	INVERT OUT (NORTH)			
117	TWIN PIPES	-	20X30	RCP	741.2	OUTLET END TWIN HORIZONTAL ELLIPTICAL PIPE W/RIPRAP OUTFALL; OUTLET TO DITCH			
118	CROSS PIPE	-	12	RCP	741.70	INLET END (EAST END) W/RIPRAP			
			12	RCP	741.60	OUTLET END (WEST END) W/RIPRAP OUTFALL			
119	DRIVE PIPE	-	12	RCP	742.53	INLET END (SOUTH END)			
			12	RCP	742.47	OUTLET END (NORTH END)			
120	DRIVE PIPE	-	12	RCP	743.07	INLET END (SOUTH END)			
			12	RCP	742.91	OUTLET END (NORTH END)			
121	CURB INLET	745.26	12	CPP	741.26	INVERT IN			
122	PIPE	-	12	CPP	744.23	INLET END PIPE			
123	DRIVE PIPE	-	12	CMP	742.22	INLET END (WEST END)			
			12	CMP	741.48	OUTLET END (EAST END) W/CONCRETE HEADWALL			
124	CURB INLET	741.76	18	CMP	740.12	INVERT OUT (SOUTHWEST)			
125	PIPE	-	18	CMP	739.91	OUTLET END PIPE W/CONCRETE HEADWALL			
126	CROSS PIPE	-	24	CMP	739.80	INLET END (NORTH END)			
			24	CMP	739.67	OUTLET END (SOUTH END)			
127	CROSS PIPE	-	44X60	RCP	737.98	HORIZONTAL ELLIPTICAL PIPE INLET END (WEST END)			
			44X60	RCP	737.71	HORIZONTAL ELLIPTICAL PIPE OUTLET END (EAST END)			
200	SANITARY MANHOLE	743.14	12	-	737.16	INVERT IN (NORTH)			
			12	-	-	INVERT IN (WEST)			
			12	-	-	INVERT IN (EAST); TOP OF PIPE = 739.24			
			12	-	737.05	INVERT OUT (SOUTH)			
201	SANITARY MANHOLE	745.56	12	RCP	737.20	INVERT MANHOLE			
202	SANITARY MANHOLE	744.52	12	STL	736.30	INVERT IN (NORTH)			
			12	PVC	736.54	INVERT IN (WEST)			
			12	PVC	736.61	INVERT IN (EAST)			
			12	STL	736.28	INVERT OUT (SOUTH)			
203	SANITARY MANHOLE	745.43	-	-	735.72	INVERT IN (NORTH)			
			-	-	735.65	INVERT IN (WEST)			
			-	-	735.65	INVERT OUT (SOUTH)			
204	2 MANHOLES	746.3	-	-	737.3	UNKNOWN USE			
205	SANITARY MANHOLE	744.79	-	-	734.85	INVERT MANHOLE			
206	SANITARY MANHOLE	743.96	12	VCP	734.97	INVERT IN (NORTH)			
			12	VCP	736.43	INVERT IN (EAST)			
			12	VCP	734.90	INVERT OUT (SOUTH)			
207	SANITARY MANHOLE	744.18	12	-	734.28	INVERT IN (NORTH)			
			12	-	734.31	INVERT IN (WEST)			
			12	-	734.22	INVERT OUT (EAST)			
208	SANITARY MANHOLE	742.31	12	-	733.80	INVERT MANHOLE			
209	MANHOLE	740.18	-	-	-	MANHOLE INACCESSIBLE			
210	SANITARY MANHOLE	743.22	8	PVC	736.92	INVERT OUT (WEST)			



REINFORCED CONCRETE PIPE (RCP)  
TRENCH DETAIL

Greater Than 5' From Edge of Pavement



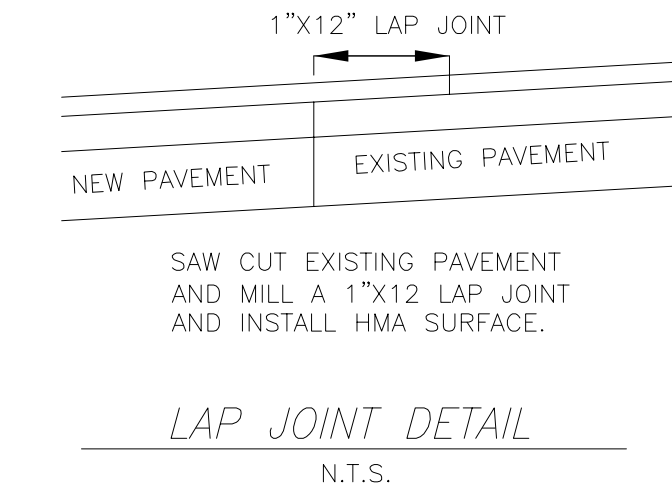
NOTE:  
ALL BEDDING & INITIAL BACKFILL  
SHALL BE INSTALLED IN 6" TO 12"  
BALANCED LIFTS.

A MINIMUM 9" OF CLEARANCE SHALL  
BE PROVIDED ON EACH SIDE OF  
THE INSTALLED PIPE.

LEGEND			DEPTH OF BEDDING MATERIAL BELOW PIPE	
O.D. = Outside Diameter			27" & SMALLER	3"
D = Inside Diameter			30" TO 60"	4"
d = Depth of Bedding Material Below Pipe			66" & LARGER	6"

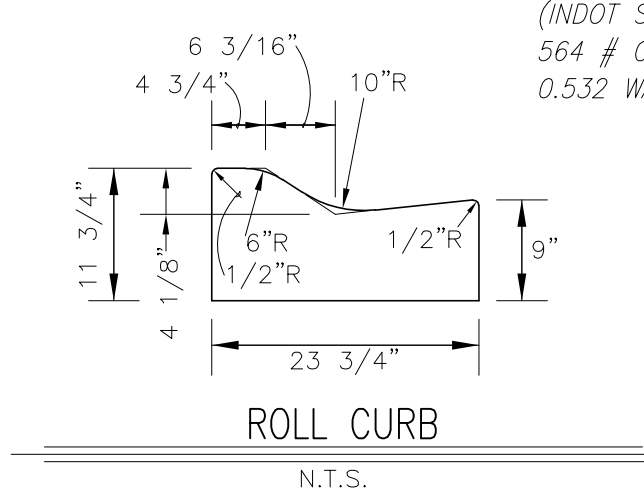
REINFORCED CONCRETE PIPE (RCP)  
TRENCH DETAIL

Within 5' of Edge of Pavement  
Within 5' of Edge of Pavement



LAP JOINT DETAIL

N.T.S.

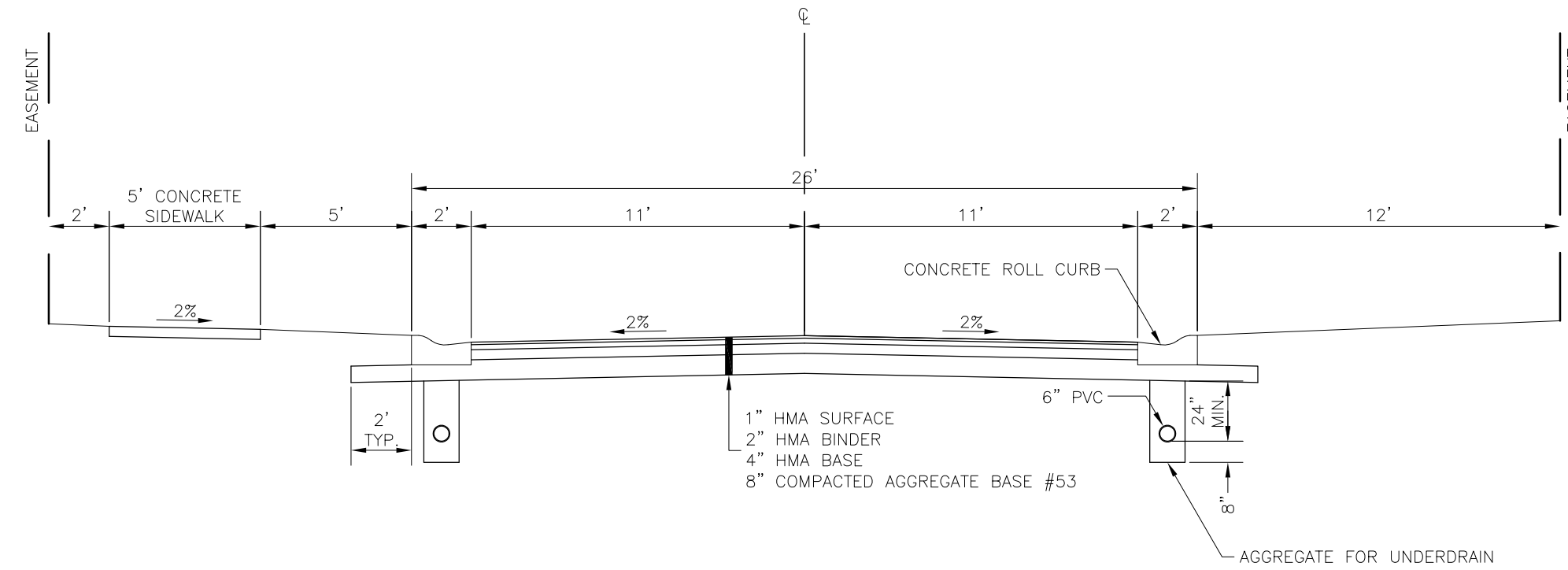


ROLL CURB

N.T.S.

CLASS A CONCRETE  
(INDOT SPECIFICATIONS SECT. 702)  
564 # CEMENT/SYD  
0.532 WATER/CEMENT RATIO

6" COMPACTED #53  
AGGREGATE BASE  
REQUIRED UNDER  
CURBS PER CITY  
REQUIREMENTS



TYPICAL CROSS SECTION - PRIVATE DRIVES

N.T.S.



ST2

17174 SECONDARY  
PLAT SEC 1.dwg

by

description

date

rev. no.

PROJECT NAME

CLIENT: SPRAGUE COMPANIES

FRANKLIN GATEWAY DEVELOPMENT

SECONDARY PLAT - SECTION 1

FRANKLIN, INDIANA 46131

414 South Main Street  
Brownstown, Indiana 47220  
Phones: 812-358-2862  
Fax: 812-358-2665

3640 Commerce Drive  
Columbus, Indiana 47301  
Phones: 812-372-6996  
Fax: 812-372-0996

www.isurveying.com

SHEET TITLE:

STREET AND  
STORM DETAILS

drawn by:

DEK

scale:

1"=20'

date:

JULY 12, 2018

job no.

17174

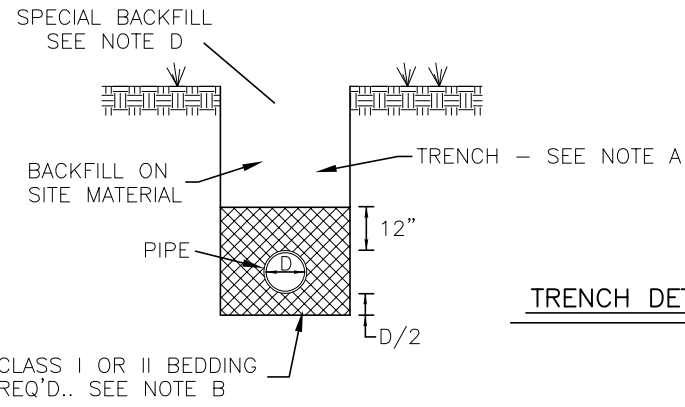
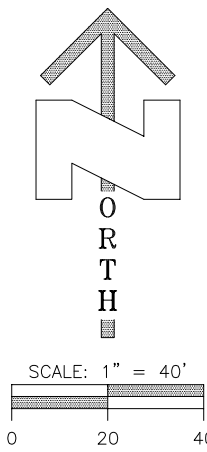
JAMES C. LEWAT  
REGISTERED  
NO. 10705  
STATE OF INDIANA  
Professional Engineer

THOMAS J. LEWAT  
REGISTERED  
NO. 12770  
STATE OF INDIANA  
Professional Engineer

Jim M. M.

SHEET

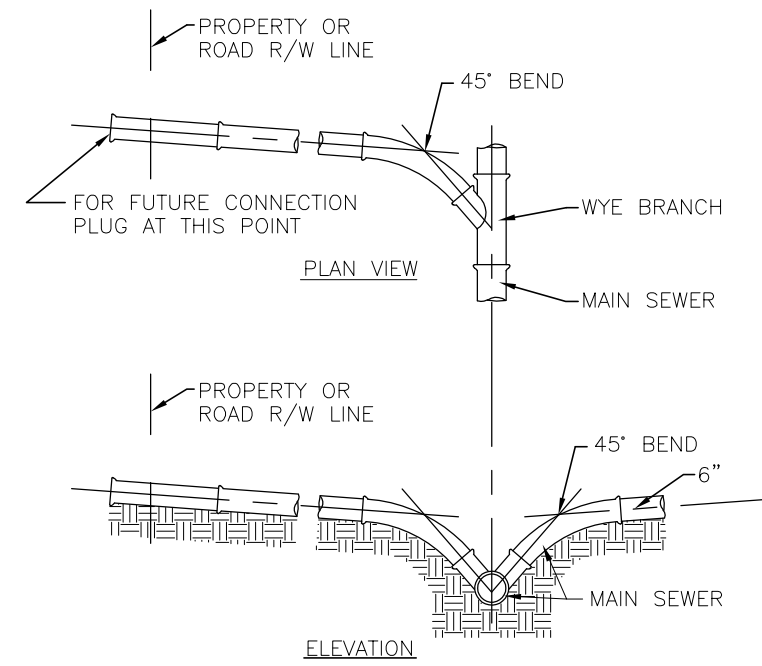
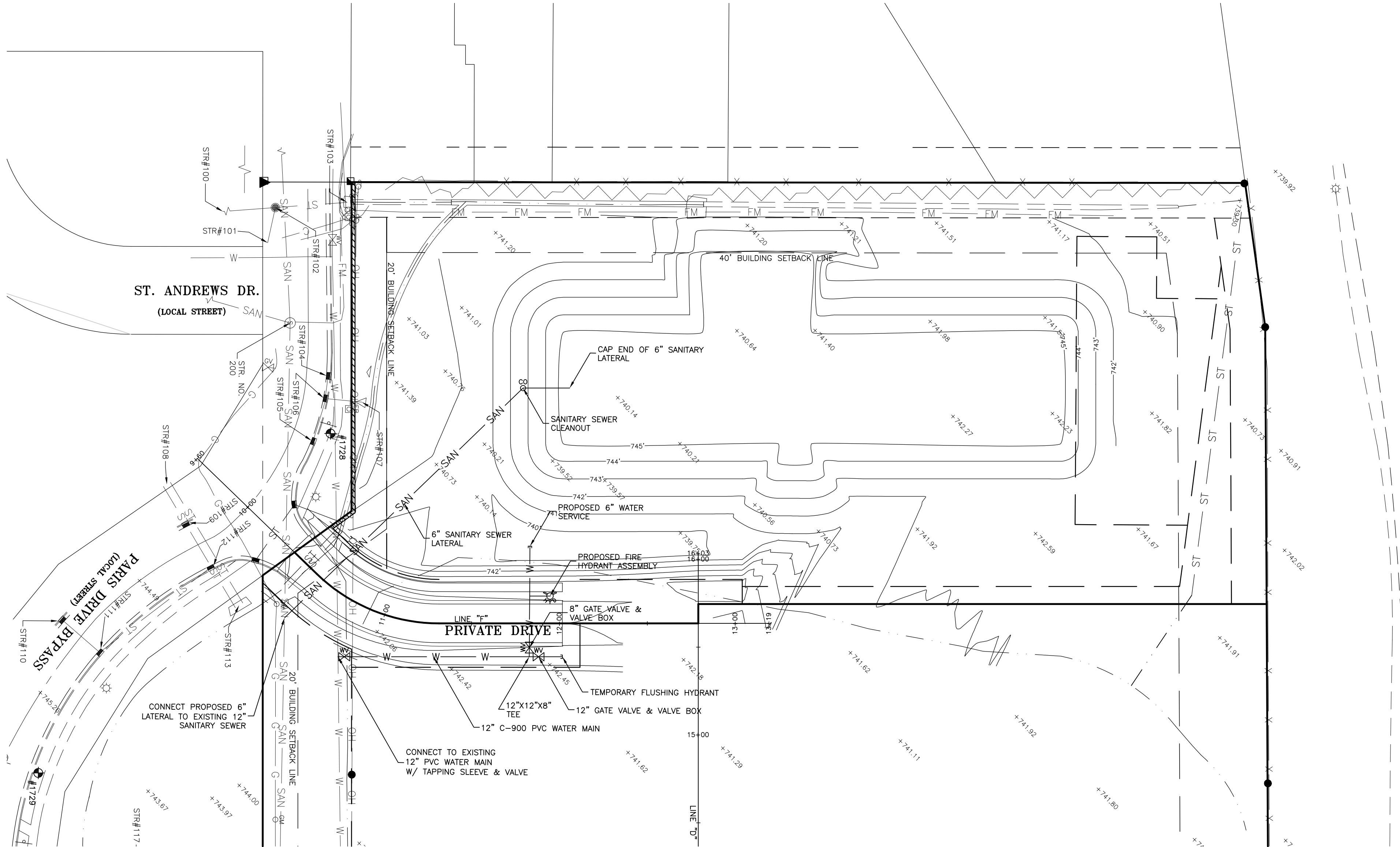




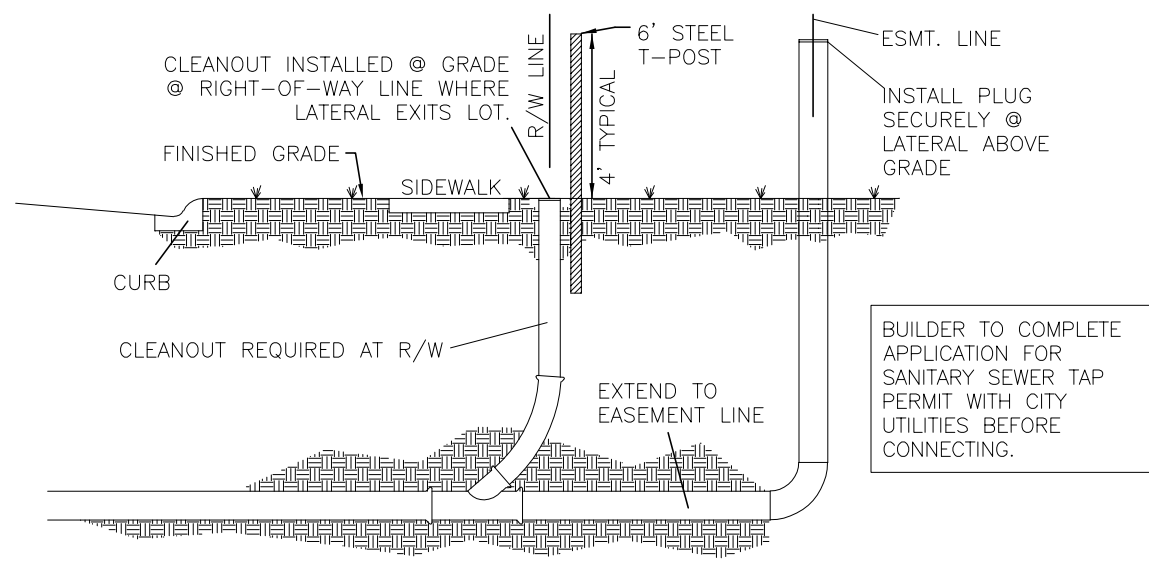
NOTES:

- A. ALL TRENCH WIDTHS SHALL BE IN ACCORDANCE WITH OSHA RECOMMENDATIONS TO PERMIT SAFE WORKING.
- B. ALL PIPE SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER WITH CLASS I OR II BEDDING AND IN ACCORDANCE WITH ASTM D-2321. BACKFILL SHALL BE FREE OF LARGE ROCKS. IN THE EVENT UNUSUAL SOIL CONDITIONS ARE ENCOUNTERED, THE SURVEYOR SHALL BE NOTIFIED BEFORE PIPE IS LAID.
- C. ALL SEWER LINES SHALL BE PVC SDR 35 PIPE IN ACCORDANCE WITH ASTM-3034 WITH RUBBER RING JOINT. SOLVENT WELD JOINT IS NOT ACCEPTABLE.
- D. GRANULAR BACKFILL REQUIRED FOR AREAS UNDER PAVED SURFACES, SEE DETAIL SHEET FOR SHADED AREAS.

TRENCH DETAIL



STANDARD SERVICE CONNECTION



NOTES:

- ALL WYES AND LATERALS SHALL BE MARKED WITH A 5" STEEL FENCE POST SET FLUSH WITH THE GROUND. THE CONTRACTOR SHALL NOTE THE DISTANCE FROM THE DOWNSTREAM MANHOLE TO EACH WYE AND NOTE THIS INFORMATION ON THE AS BUILT DRAWINGS. CONTRACTOR SHALL STAMP "SS" ON CURB, TO MARK LATERAL LOCATION.

SERVICE CONNECTION

WATER MAIN NOTES:

- 1) WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY AND EIGHTEEN (18) INCHES VERTICALLY, FROM ANY STORM OR SANITARY SEWER. IF THE REQUIRED SEPARATION FROM STORM OR SANITARY SEWER CANNOT BE MET, USE THE APPROVED ALTERNATIVE TECHNICAL STANDARD.
- 2) ALL WATER MAINS SHALL BE PVC C-900 DR-14. COMPACTED 3/4-INCH CLEAN GRANULAR FILL MATERIAL SHALL BE USED FROM 6" BELOW THE PIPE TO THE BOTTOM OF THE PIPE.
- 3) HORIZONTAL AND VERTICAL DEFLECTION IS NOT PERMITTED. APPROPRIATE BENDS AND FITTINGS SHALL BE USED TO OBTAIN CURVATURE.
- 4) JOINT DEFLECTION IS NOT PERMITTED FOR PVC PIPE.
- 5) DUCTILE IRON FITTINGS ARE REQUIRED AND SHALL USE CORROSION RESISTANT, BLUE FLUOR COATED T-BOLTS AND SHALL BE WRAPPED IN POLYETHYLENE ENCASUREMENT.
- 6) FOR RESTRAINT, THRUST BLOCKS OR MEGA LUGS AT FITTINGS AND BELL RESTRAINT JOINTS (STAINLESS STEEL ONLY) AT PIPE LENGTHS SHALL BE USED.
- 7) 2 VALVES SHALL BE USED AT ALL 3-WAY TEES.
- 8) MAXIMUM SPACING FOR VALVES IS 1,000 FEET.
- 9) WATER MAINS SHALL BE PROVIDED WITH A MINIMUM OF 48 INCHES OF EARTHEN COVER.
- 10) SEE UT2 FOR CONSTRUCTION DETAILS AND UCC (UTILITY CONFLICTS CROSSING) DETAILS FOR WATER MAIN CROSSINGS ABOVE UTILITIES AND WATER MAIN CROSSING BELOW UTILITIES BOTH SHALLOW AND DEEP.
- 11) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HEREON PLANS AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES.
- 12) ALL WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE LOCAL WATER UTILITY DEPARTMENT SPECIFICATIONS.
- 13) IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL UTILITIES IN THE CONSTRUCTION AREA AND VERIFY THE LOCATION OF EXISTING WATER MAINS.
- 14) IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE LEAKAGE AND PRESSURE TESTING, AND DISINFECTING OF THE MAIN, AS REQUIRED BY, AND TO THE SPECIFICATIONS OF, INDIANA AMERICAN WATER COMPANY.

QUANTITIES

TAPPING SLEEVE AND VALVE	1
FIRE HYDRANT ASSEMBLY	1
12" C-900 WATER MAIN	191 LFT
12"x12"x8" TEE	1
12" GATE VALVE & VALVE BOX	2
8" GATE VALVE & VALVE BOX	1
FLUSH HYDRANT ASSEMBLY	1

(CONTRACTOR TO VERIFY QUANTITIES)

SANITARY SEWER NOTES

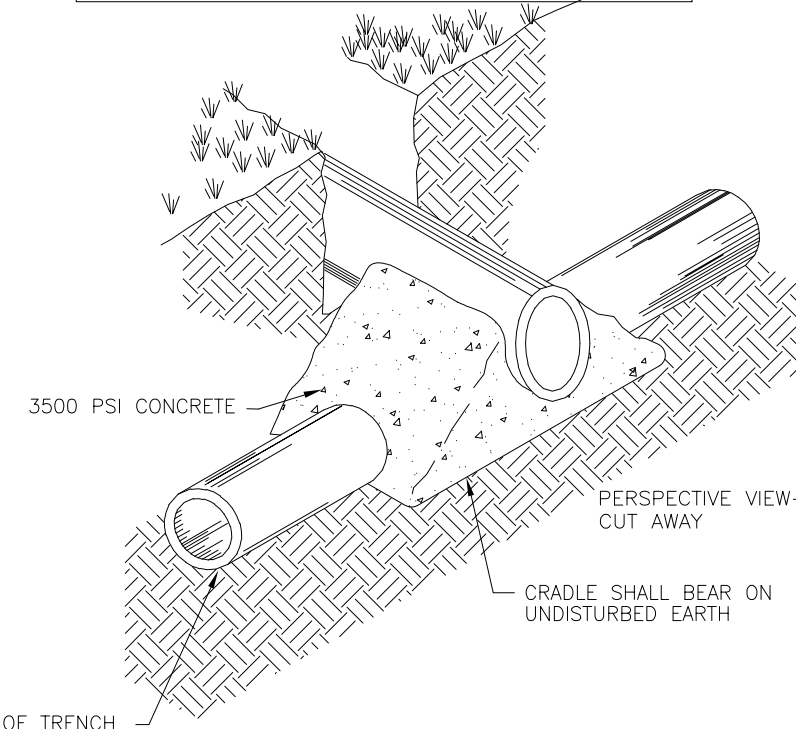
1. FOR MANHOLES IN EXISTING STREETS, COVERS SHALL MATCH EXISTING GRADE.
2. ALL SLOPES TO BE FINISHED WITHIN 1" TO TOP OF CASTING RING.
3. MANHOLE STEPS TO BE STANDARD PLASTIC WITH STEEL REINFORCING.
4. DROP MANHOLES SHALL BE PROVIDED FOR ANY SEWER ENTERING A MANHOLE AT AN ELEVATION OF 24" OR MORE ABOVE MANHOLE INVERT DROP PIPES TO BE OF THE SAME MATERIAL AS THE SEWER MAINS.
5. ROOF DRAINS, FOUNDATION DRAINS, OR ANY OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
6. TESTING:
- A. INFILTRATION/EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER DAY PER INCH DIAMETER PER MILE OF PIPE.
- B. IF FLEXIBLE PIPE IS USED, INSTALLATION SHALL BE TESTED FOR DEFLECTION IN ACCORDANCE WITH AWWA C 900 SECTION 4.2.2.
- C. MANHOLES SHALL BE AIR TESTED IN ACCORDANCE WITH ASTM C 1244-93. STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLE BY NEGATIVE AIR PRESSURE (VACUUM).
7. ALL WYES, LATERALS, AND STUBOUTS SHALL BE SEALED OR PLUGGED WITH AN APPROVED PLUG COMPATIBLE WITH THE TYPE OF PIPE USED.
8. ALL STUBS AND INDIVIDUAL SERVICE LINES SHALL BE 6" PIPE AS NOTED.
9. INSPECTION: PERIODIC OBSERVATION OF WORK IN PROGRESS SHALL BE PROVIDED BY A REPRESENTATIVE OF INDEPENDENT LAND SURVEYING, INC. THE CITY UTILITIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO HIS STARTING WORK AND PRIOR TO RESTARTING WORK AFTER DELAYS OR SHUT-DOWNS.
10. SEWERS SHALL BE LAID AT LEAST TEN (10) FEET, HORIZONTALLY, FROM ANY EXISTING WATER MAINS.

CROSSINGS OF BURIED SEWERS AND WATER LINES SHALL BE AVOIDED AS MUCH AS POSSIBLE. HOWEVER, WHERE CROSSINGS ARE NECESSARY, A MINIMUM OF 18 INCHES VERTICAL CLEARANCE SHALL BE MAINTAINED (MEASURED FROM THE BOTTOM OF THE UPPER PIPE TO THE TOP OF THE LOWER PIPE), PREFERABLY WITH THE WATER MAIN ABOVE THE SEWER.

WHEN IT IS IMPOSSIBLE TO MAINTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION, THE SEWER SHALL BE CONSTRUCTED OF WATERWORKS GRADE DUCTILE IRON PIPE WITH MECHANICAL JOINTS OR SDR 26 PVC PRESSURE SEWER PIPE IN ACCORDANCE WITH ASTM D-3034 WITH COMPRESSION FITTINGS, AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.

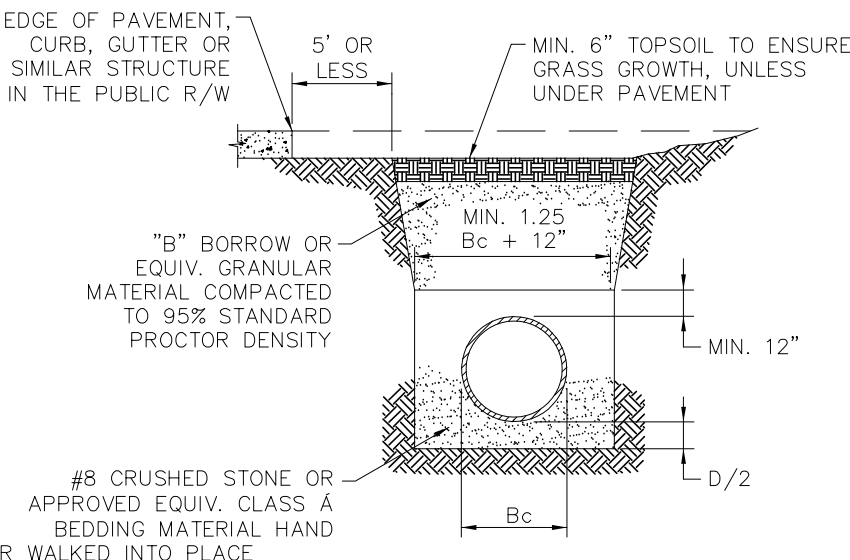
11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HEREON PLANS AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES.

NOTE:  
TO BE USED WHEN CLEAR DISTANCE (FROM EXTERIOR PIPE DIAMETER TO EXTERIOR PIPE DIAMETER) BETWEEN SANITARY SEWER PIPING (MAINS, LATERALS, FORCE MAINS, ETC.) AND ALL OTHER PIPES IS 18" OR LESS, PER ENGINEER'S DIRECTION, OR WHERE NOTED ON THE CONSTRUCTION PLANS. A MINIMUM CLEAR DISTANCE OF 3" MUST BE PROVIDED TO MAINTAIN STRUCTURAL INTEGRITY OF THE CONCRETE.  
CONCRETE MUST NOT COME INTO CONTACT WITH FORCE MAIN, AT LEAST 3" OF SAND MUST BE PLACED AS A CUSHION AROUND THE FORCE MAIN.  
IF THE CONFLICT IS BETWEEN A WATER MAIN AND ANY SANITARY SEWER PIPING, 18" CLEARANCE MUST BE MAINTAINED OR NOTE ABOVE APPLIES AND ONLY GRANULAR FILL MAYBE USED.



CONCRETE CRADLE DETAIL

N.T.S.



NOTES:  
ALL BEDDING & INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS.  
A MINIMUM 9" CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE.

LEGEND:  
Bc = OUTSIDE DIAMETER  
D = INSIDE DIAMETER  
d = DEPTH OF BEDDING MATERIAL BELOW PIPE

PLASTIC PIPE (PVC & HDPE) TRENCH DETAIL UNDER OR WITHIN 5' OF EDGE OF PAVEMENT

by

description

date

rev. no.

PROJECT NAME  
CLIENT: SPRAGUE COMPANIES  
FRANKLIN GATEWAY DEVELOPMENT  
SECONDARY PLAT - SECTION 1  
FRANKLIN, INDIANA 46131

414 South Main Street  
Brownstown, Indiana 47220  
Phone: 812-358-2882  
Fax: 812-358-2885  
3640 Commerce Drive  
Columbus, Indiana 47331  
Phone: 812-372-0996  
Fax: 812-372-0996

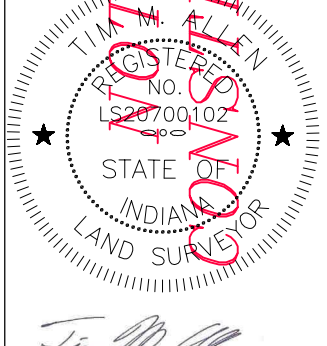
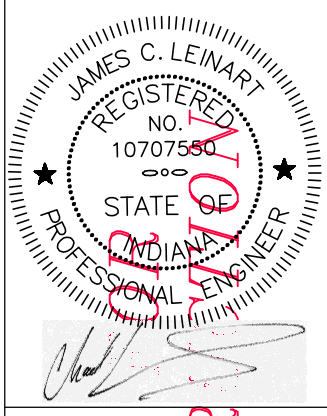
Independent  
Land  
Surveying  
www.ilsurveying.com

SHEET TITLE:

UTILITY PLAN &  
SANITARY SEWER  
DETAILS

drawn by:

DEK  
scale: 1"=40'  
date: JULY 12, 2018  
job no. 17174



SHEET

UT1

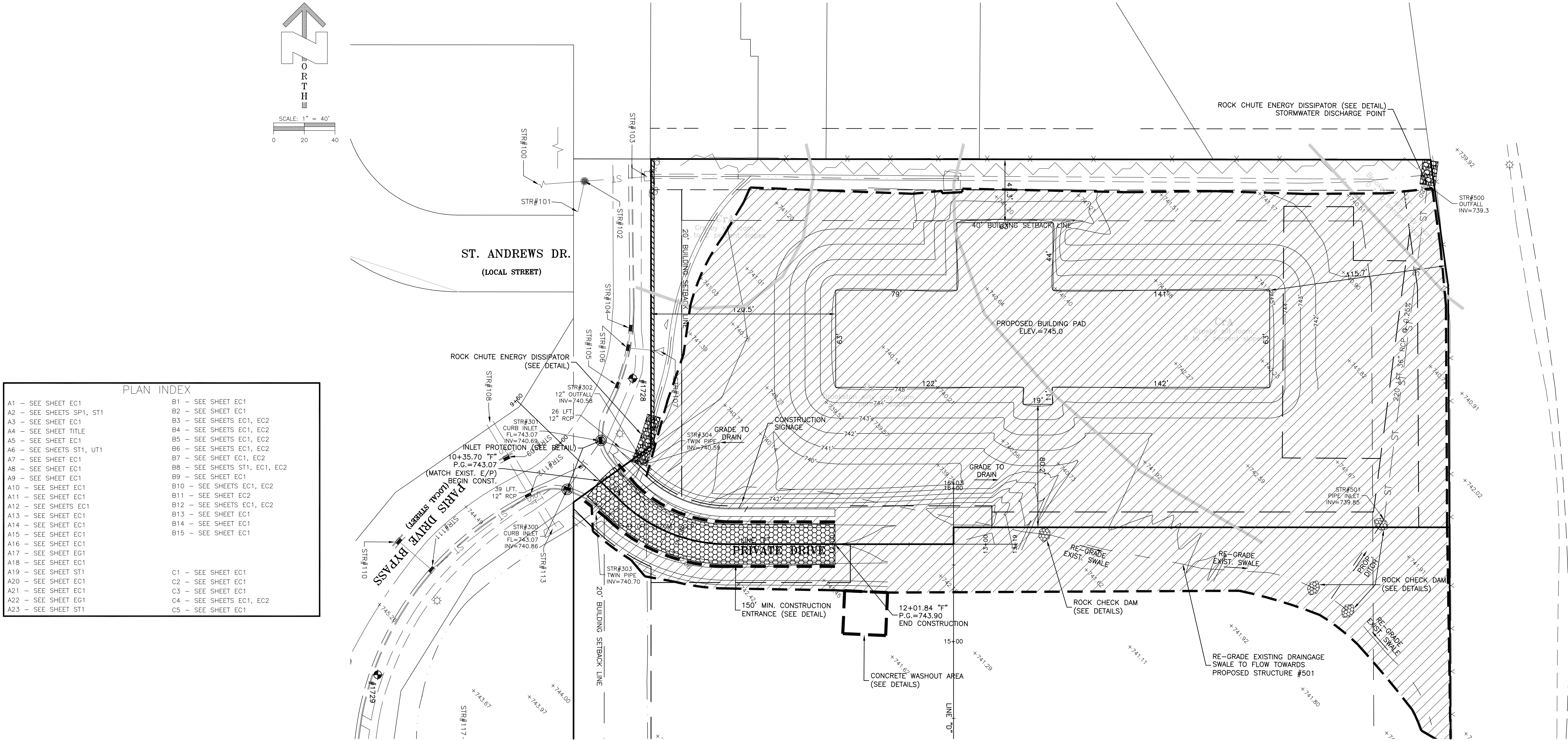
17174 SECONDARY  
PLAT SEC 1.dwg











PLAN INDEX	
A1 - SEE SHEET EC1	B1 - SEE SHEET EC1
A2 - SEE SHEETS SP1, ST1	B2 - SEE SHEET EC1
A3 - SEE SHEET EC1	B3 - SEE SHEETS EC1, EC2
A4 - SEE SHEET TITLE	B4 - SEE SHEETS EC1, EC2
A5 - SEE SHEET EC1	B6 - SEE SHEETS EC1, EC2
A6 - SEE SHEETS ST1, UT1	B6 - SEE SHEETS EC1, EC2
A7 - SEE SHEET EC1	B7 - SEE SHEET EC1, EC2
A8 - SEE SHEET EC1	B8 - SEE SHEETS ST1, EC1, EC2
A9 - SEE SHEET EC1	B9 - SEE SHEET EC1
A10 - SEE SHEET EC1	B10 - SEE SHEETS EC1, EC2
A11 - SEE SHEET EC1	B11 - SEE SHEET EC2
A12 - SEE SHEETS EC1	B12 - SEE SHEETS EC1, EC2
A13 - SEE SHEET EC1	B13 - SEE SHEET EC1
A14 - SEE SHEET EC1	B14 - SEE SHEET EC1
A15 - SEE SHEET EC1	B15 - SEE SHEET EC1
A16 - SEE SHEET EC1	
A17 - SEE SHEET EC1	
A18 - SEE SHEET EC1	
A19 - SEE SHEET ST1	C1 - SEE SHEET EC1
A20 - SEE SHEET EC1	C2 - SEE SHEET EC1
A21 - SEE SHEET EC1	C3 - SEE SHEET EC1
A22 - SEE SHEET EC1	C4 - SEE SHEETS EC1, EC2
A23 - SEE SHEET ST1	C5 - SEE SHEET EC1

**SOIL DESCRIPTIONS**

BR-BROOKSTON SILTY CLAY LOAM. THIS NEARLY LEVEL SOIL IS ON BROAD FLATS AND IN DEPRESSIONS AND NARROW DRAINAGEWAYS BETWEEN BETTER DRAINED SOILS ON BROAD PLAINS. MOST AREAS ARE IRREGULARLY SHAPED BUT SOME ARE ELONGATED OR ROUNDED. AREAS OF THIS SOIL RANGE FROM 2 TO 200 ACRES. SLOPES ARE 0 TO 2 PERCENT.

INCLUDED WITH THIS SOIL IN MAPPING ARE SMALL AREAS OF SOMEWHAT POORLY DRAINED CROSBY SOILS AND SHOALS SOILS, SMALL AREAS OF VERY POORLY DRAINED SLOAN SOILS, SMALL AREAS OF BROOKSTON SOILS THAT HAVE A SURFACE LAYER OF GRAYISH BROWN OR BROWNISH GRAY SILT LOAM 10 TO 20 INCHES THICK, AND SMALL AREAS OF VERY POORLY DRAINED SOILS THAT HAVE THIN DISCONTINUOUS STRATA OF LOAMY SAND SANDY LOAM AND LOAM IN THE UNDERLYING SOIL MATERIAL. ALSO INCLUDED ARE SMALL, ISOLATED, UNDRAINED WET AREAS. THESE AREAS ARE SHOWN ON THE MAP BY A SPECIAL SYMBOL.

RUNOFF IS VERY SLOW OR PONDED. WETNESS IS THE MAIN LIMITATION TO USE OF THIS SOIL AND IS A SEVERE LIMITATION FOR MOST NONFARM USES. IF ADEQUATELY DRAINED, THIS SOIL IS WELL SUITED TO CORN AND SOYBEANS. MOST AREAS ARE CULTIVATED. A FEW AREAS ARE WOODED. WOODED AREAS HAVE FAIR STANDS OF HARDWOOD TREES BUT SOME HAVE BEEN HEAVILY PASTURED. CAPABILITY UNIT IHW-1; WOODLAND SUITABILITY SUBCLASS 2W.

BUILDING SITE DEVELOPMENT (TABLE 4):  
SHALLOW EXCAVATIONS - SEVERE; WETNESS  
SMALL COMMERCIAL BUILDINGS - SEVERE; WETNESS  
LOCAL ROADS AND STREETS - SEVERE; WETNESS, FROST ACTION

CRA-CROSBY SILT LOAM. 0 TO 2 PERCENT SLOPES. THIS NEARLY LEVEL SOIL IS ON BROAD PLAINS, ON RIDGETOPS IN ROLLING AREAS, AND IN LOW DRAINAGEWAYS. MOST AREAS ARE IRREGULARLY SHAPED, BUT SOME ON RIDGETOPS ARE LONG AND NARROW. AREAS OF THIS SOIL RANGE FROM 2 TO 150 ACRES. THIS SOIL HAS THE PROFILE DESCRIBED AS REPRESENTATIVE OF THE SERIES.

INCLUDED WITH THIS SOIL IN MAPPING ARE SMALL AREAS OF VERY POORLY DRAINED BROOKSTON SOILS IN DEPRESSIONS AND NARROW WATER COURSES, SMALL AND INTRICATELY ASSOCIATED AREAS OF SOMEWHAT POORLY DRAINED SOILS THAT CONTAIN LESS CLAY IN THE SUBSOIL THAN THIS CROSBY SOIL, AND SMALL AREAS OF SOILS THAT HAVE CALCAREOUS UNDERLYING MATERIAL AT A DEPTH OF LESS THAN 24 INCHES.

RUNOFF IS SLOW. WETNESS IS THE MAIN LIMITATION TO USE OF THIS SOIL. IF ADEQUATELY DRAINED, THIS SOIL IS WELL SUITED TO CORN, SOYBEANS, AND MOST SMALL GRAIN AND MEADOW CROPS. BECAUSE OF WETNESS AND SLOW PERMEABILITY THIS SOIL HAS SEVERE LIMITATIONS FOR MOST NONFARM USES. MOST AREAS ARE FARMED. THE FEW WOODED AREAS HAVE FAIR STANDS OF HARDWOOD TREES BUT SOME HAVE BEEN HEAVILY PASTURED. CAPABILITY UNIT IIW-2; WOODLAND SUITABILITY SUBCLASS 3W.

BUILDING SITE DEVELOPMENT (TABLE 4):  
SHALLOW EXCAVATIONS - SEVERE; WETNESS  
SMALL COMMERCIAL BUILDINGS - MODERATE; WETNESS, SHRINK-SWELL, LOW STRENGTH  
LOCAL ROADS AND STREETS - SEVERE; FROST ACTION

LEGEND	
	AREAS TO BE TEMPORARY SEEDED
	SILT FENCE
	ROCK CHUTES FOR THE OUTLET STRUCTURES WILL NOT BE CONSTRUCTED UNTIL THE OUTLET STRUCTURES W/ END SECTIONS ARE IN PLACE. THE ROCK CHUTES SHALL BE CONSTRUCTED IN 1 DAY AND THE DISTURBED AREAS AROUND THE OUTLET STRUCTURES W/ END SECTIONS AND ROCK CHUTES WILL BE SEEDED AND STRAWED IMMEDIATELY.
	INLET PROTECTION (SEE DETAIL SHOWN HEREON)
	ROCK CHECK DAM (ESTIMATED LOCATION - TO BE INSTALLED CREST TO TOE SPACE AS REQUIRED PER INDIANA STORM WATER QUALITY MANUAL - SEE DETAIL SHEET EC2)

THE FOLLOWING WAS PREPARED TO ADDRESS THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT RULE FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY AND OBTAIN A PERMIT FOR THIS PROJECT. THE SECTION AND SUB-ITEMS CORRESPOND TO THE CONSTRUCTION & STORMWATER POLLUTION PREVENTION PLAN TECHNICAL REVIEW AND COMMENT FORM AS ADMINISTERED BY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (IDEM). THE CONTRACTOR SHALL BE COMPLETELY AND SOLELY RESPONSIBLE TO ENSURE THAT THE CONSTRUCTION & STORMWATER POLLUTION PREVENTION PLAN IS IMPLEMENTED AND MAINTAINED THROUGHOUT THE PROJECT.

**SECTION A - CONSTRUCTION PLAN ELEMENTS**

1. PLAN INDEX SHOWING LOCATIONS OF REQUIRED ITEMS:  
REFER TO SHEET EC1 - EROSION CONTROL FOR THE STORMWATER POLLUTION PREVENTION MEASURES AND LOCATIONS.

2. 11x17 INCH PLAT SHOWING BUILDING LOT NUMBER/BOUNDARIES AND ROAD LAYOUT/NAMES:  
11x17 INCH PLAT NOT PROVIDED. BUILDING LOT BOUNDARIES ARE SHOWN ON SHEET SP1 - SECONDARY PLAT AND ROADS ARE SHOWN ON SHEET ST1 - STREET AND STORM PLAN.

3. NARRATIVE DESCRIBING PROJECT NATURE AND PURPOSE:  
THIS PROJECT IS THE NEW CONSTRUCTION OF A PRIVATE DRIVE AND THE GRADING FOR A FUTURE BUILDING. PARKING LOT ALONG WITH ASSOCIATED UTILITIES ON THE SUBJECT LAND. THIS WILL INCLUDE THE CONSTRUCTION OF THE BUILDING PAD AND THE MASS GRADING FOR THE SITE, AND UTILITIES. THE RUNOFF HAS BEEN ACCOUNTED FOR THROUGH STORM INLETS, AND STORM SEWER PIPES DISCHARGING AT THE NORTHEAST CORNER OF THE PROPERTY.

4. VICINITY MAP SHOWING PROJECT LOCATION:  
REFER TO THE VICINITY MAP ON SHEET TITLE - TITLE SHEET.

5. LEGAL DESCRIPTION:  
4.04 ACRE PARCEL (AUDITOR'S MAP #41-07-18-042-001,000-018) AS RECORDED IN INSTRUMENT #2012-004323, IN THE OFFICE OF THE RECORDER OF JOHNSON COUNTY INDIANA LOCATED IN THE SOUTH HALF OF SECTION 15, TOWNSHIP 12 NORTH, RANGE 3 EAST IN JOHNSON COUNTY, INDIANA.  
LAT. N 39°29'10", LONG. W 86°00'58"

6. LOCATION OF ALL LOTS AND PROPOSED SITE IMPROVEMENTS:  
LOCATION OF ALL LOTS AND PROPOSED SITE IMPROVEMENTS ARE AS INDICATED ON SHEET ST1 - STREET AND STORM PLAN, SHEET UT1 - UTILITY PLAN.

7. HYDROLOGIC UNIT CODE: 05120204090070.

8. NOTATION OF ANY STATE OR FEDERAL WATER QUALITY PERMITS:  
THERE APPEAR TO BE NO PERMITS REQUIRED RELATED TO WATER QUALITY AT THIS TIME.

9. SPECIFIC POINTS WHERE STORMWATER DISCHARGE WILL LEAVE THE SITE:  
STORMWATER WILL BE CONVEYED BY STORM INLETS AND STORM SEWER PIPE AND DISCHARGED AT THE NORTHEAST CORNER OF THE SITE. STORMWATER FLOWS INTO AMITY DITCH AND EVENTUALLY INTO YOUNGS CREEK.

10. LOCATION AND NAME OF ALL WETLANDS, LAKES, AND WATERCOURSES ON/OR ADJACENT TO THE SITE:  
THERE ARE NO IDEM APPOINTED WETLANDS AFFECTING THE CONSTRUCTION AREA.

11. IDENTIFY ALL RECEIVING WATERS:  
STORMWATER RUNOFF FROM THE SITE IS EVENTUALLY CONVEYED INTO THE EAST FORK OF WHITE RIVER.

12. IDENTIFICATION OF POTENTIAL DISCHARGES TO GROUNDWATER:  
THERE ARE NO KNOWN LOCATIONS.

13. 100 YEAR FLOOD PLAINS, FLOODWAYS, AND FLOODWAY FRINGES:  
THIS SITE IS IN THE MAPPED FLOOD PLAIN (ZONE "X"-UNSHADED (OUTSIDE 500 YEAR FLOOD PLAIN) ON THE NATIONAL FLOOD INSURANCE RATE MAP - PANEL NUMBER 1508100220, DATED AUGUST 2, 2007. ALL CONSTRUCTION, FILLING, GRADING OR ALTERATION OF THE MAPPED FLOOD PLAIN SHALL BE DONE IN ACCORDANCE WITH THE PROVISIONS IN THE FRANKLIN & JOHNSON COUNTY, INDIANA ZONING ORDINANCE AS PERIODICALLY AMENDED.

14. PRE-CONSTRUCTION AND POST CONSTRUCTION ESTIMATE OF PEAK DISCHARGE:  
THE PRE-CONSTRUCTION TO 10 YEAR (1 HR.) RAINFALL YIELDS A DISCHARGE RATE OF APPROXIMATELY 1.21 CUBIC FEET PER SECOND (CFS). THE 10 YEAR (1 HR.) POST-CONSTRUCTION RAINFALL YIELDS A DISCHARGE RATE OF 0.28 CFS.

15. ADJACENT LAND USE, INCLUDING UPSTREAM WATERSHED:  
RESIDENTIAL, SUBORDINATE TO THE NORTH, COMMERCIAL (BUILDINGS, PARKING, ETC.) TO THE SOUTH AND WEST; VACANT LAND (WOODED/AGRICULTURAL, FIELDS) TO THE EAST.

16. LOCATIONS AND APPROXIMATE BOUNDARIES OF ALL DISTURBED AREAS:  
THE LIMITS OF THE AREA TO BE TEMPORARILY SEEDED AS SHOWN ON THE SITE MAP ON SHEETS EC1 - EROSION CONTROL CONSTITUTES THE CONSTRUCTION LIMITS OF THIS SITE.

17. IDENTIFICATION OF EXISTING VEGETATIVE COVER:  
SUBJECT LAND IS A GRASSED VACANT LOT. REFER TO SHEET EC1 - EXISTING FEATURES AND TOPOGRAPHY.

18. SOIL MAP INCLUDING DESCRIPTIONS AND LIMITATIONS:  
REFER TO SHEET EC1 - EROSION CONTROL FOR THE SOILS MAP AND SOIL PROPERTIES.

**SECTION A - CONSTRUCTION PLAN ELEMENTS (CONTINUED)**

- A19. LOCATION, SIZE AND DIMENSIONS OF PROPOSED STORMWATER SYSTEMS:  
REFER TO THE SHEET ST1 - STREET AND STORM PLAN FOR THE PROPOSED STORM SEWER INFORMATION.
- A20. PLAN FOR ANY OFF-SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT: THERE ARE NO ADDITIONAL OFF-SITE CONSTRUCTION ACTIVITIES PLANNED.
- A21. LOCATIONS OF PROPOSED SOIL STOCKPILES, BORROW AND/OR DISPOSAL AREAS:  
NO STOCKPILE, BORROW OR DISPOSAL AREAS ARE ANTICIPATED.
- A22. EXISTING SITE TOPOGRAPHY AT AN INTERVAL APPROPRIATE TO SHOW DETAILED DRAINAGE PATTERNS:  
THE EXISTING SITE TOPOGRAPHY IS DEPICTED ON SHEET EC1 - EXISTING FEATURES AND TOPOGRAPHY.
- A23. PROPOSED FINAL TOPOGRAPHY AT AN INTERVAL APPROPRIATE TO SHOW DETAILED DRAINAGE PATTERNS:  
PROPOSED FINAL TOPOGRAPHY IS DEPICTED ON SHEET ST1 - STREET AND STORM PLAN.

**SECTION B - CONSTRUCTION COMPONENT**

- B1. DESCRIPTION OF POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH THE CONSTRUCTION ACTIVITIES:  
A. THE MOST ABUNDANT POLLUTANT CAUSED BY CONSTRUCTION WOULD BE SOIL SUSPENDED IN STORM WATER RUNOFF.  
B. FUEL, OILS, AND OTHER FLUIDS ASSOCIATED WITH THE CONSTRUCTION EQUIPMENT COULD POSSIBLY RUNOFF AS WELL.  
C. TRASH ASSOCIATED WITH HUMAN ACTIVITY, INCLUDING CONSTRUCTION MATERIALS.  
D. WASTE CONCRETE LEFT IN THE CONCRETE WASHOUT.
- B2. SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO LAND DISTURBING ACTIVITIES:  
CONCENTRATED FLOW OCCURS AT THE TAIL END OF THE OUTLET CULVERTS AND IN CHANNELS. STABILIZATION WILL OCCUR WITH RIP RAP OUTFALLS TO DISAPPEAR RUNOFF. SEE THE SITE MAP ON SHEET EC1 - EROSION CONTROL FOR THE LOCATION OF THE RIP RAP OUTFALLS AND SHEET EC2 - EROSION CONTROL FOR DETAILS AND SPECIFICATIONS.
- B3. STABLE CONSTRUCTION ENTRANCE LOCATIONS AND SPECIFICATIONS:  
REFER TO THE SITE MAP ON SHEET EC1 - EROSION CONTROL AND THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE DETAIL ON SHEET EC2 - EROSION CONTROL FOR THE LOCATION AND SIZE OF THE CONSTRUCTION ENTRANCE.
- B4. SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS:  
A COMBINATION OF SILT FENCE AND EXISTING GRASS SURFACES ARE PROPOSED TO CONTROL EROSION FROM SHEET FLOW AREAS. SEE THE SITE MAP ON SHEET EC1 - EROSION CONTROL FOR THE LOCATION OF THE SILT FENCES AND SHEET EC2 - EROSION CONTROL FOR DETAILS AND SPECIFICATIONS.
- B5. SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS:  
CONCENTRATED FLOW OCCURS AT THE TAIL END OF THE OUTLET CULVERTS AND IN CHANNELS. STABILIZATION WILL OCCUR WITH RIP RAP OUTFALLS TO DISAPPEAR RUNOFF. SEE THE SITE MAP ON SHEET EC1 - EROSION CONTROL FOR THE LOCATION OF THE RIP RAP OUTFALLS AND SHEET EC2 - EROSION CONTROL FOR DETAILS AND SPECIFICATIONS.
- B6. STORM SEWER INLET PROTECTION MEASURE LOCATION AND SPECIFICATIONS:  
INLETS WILL BE PROTECTED AS SHOWN ON THE SITE MAP ON SHEET EC1 - EROSION CONTROL FOR THE LOCATIONS OF INLET PROTECTION AND SEE THE DETAILS ON SHEET EC2 - EROSION CONTROL FOR SPECIFICATIONS WITHIN THE SCHEDULE.
- B7. RUNOFF CONTROL MEASURES:  
RUNOFF CONTROL MEASURES (DIVERSION DITCHES, SLOPE DRAINS, GRADE BREAKS) ARE NOT APPLICABLE TO THIS PROJECT. ROCK CHECK DAMS WILL BE USED IN EXISTING AND PROPOSED SWALES AND DITCHES. SEE THE SITE MAP ON SHEET EC1 - EROSION CONTROL FOR THE LOCATION OF THE ROCK CHECK DAMS AND SHEET EC2 - EROSION CONTROL FOR DETAILS AND SPECIFICATIONS.
- B8. STORMWATER OUTLET PROTECTION SPECIFICATIONS:  
ALL PROPOSED PIPE OUTLETS WILL UTILIZE AN END SECTION AND RIP RAP OUTFALL APPROPRIATE TO THE PIPE SIZE AND DISCHARGE, INSTALLED AS SHOWN ON SHEET ST1 - STREET AND STORM PLAN, AND PROTECTED AS SHOWN ON THE SITE MAP ON SHEET EC1 - EROSION CONTROL AND THE DETAILS ON SHEET EC2 - EROSION CONTROL.
- B9. GRADE STABILIZATION STRUCTURE LOCATIONS AND SPECIFICATIONS:  
EROSION CONTROL FABRIC AND RIPRAP ARMORING WILL BE USED TO STABILIZE PROBLEM AREAS. THESE AREAS WILL BE ASSESSED ON A CASE BY CASE BASIS.
- B10. LOCATION, DIMENSIONS, SPECIFICATIONS AND CONSTRUCTION DETAILS OF EACH STORMWATER QUALITY MEASURE:  
EACH ELEMENT TO BE IMPLEMENTED AS A PART OF THIS PLAN IS SHOWN ON SHEETS EC1 - EROSION CONTROL. DETAILS ARE PROVIDED AND ARE TO BE ADHERED TO.

**SECTION B - CONSTRUCTION COMPONENT (CONTINUED)**

- B11. TEMPORARY SURFACE STABILIZATION METHODS APPROPRIATE FOR EACH SEASON:  
TEMPORARY SURFACE STABILIZATION WILL BE REQUIRED ON ANY BARE AREA THAT IS SCHEDULED TO REMAIN INACTIVE FOR MORE THAN 15 DAYS. REFER TO THE "SEASONAL SOIL PROTECTION CHART" SHOWN ON SHEET EC2 - EROSION CONTROL.
- B12. PERMANENT SURFACE STABILIZATION SPECIFICATIONS:  
REFER TO THE SITE MAP ON SHEET EC1 - EROSION CONTROL AND THE DETAILS ON SHEET EC2 - EROSION CONTROL FOR SPECIFICATIONS.
- B13. MATERIAL HANDLING AND SPILL PREVENTION PLAN:  
ALL MATERIALS ON-SITE WILL BE HANDLED PER THE REQUIREMENTS OF THE MSDS SHEETS. THE CONTRACTOR SHALL HAVE AN EMERGENCY SPILL CLEAN-UP KIT ON SITE FOR RECOVERY OF PETROLEUM PRODUCT SPILLS AT ALL TIMES. IF A REPORTABLE AMOUNT OF SEDIMENT LADEN WATER OR OTHER POLLUTANT IS ALLOWED TO LEAVE THE SITE, THE CONTRACTOR IS OBLIGATED TO NOTIFY IDEM'S SPILL LINE AT (317) 233-7745 WITHIN 24 HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINES AND ANY LIABILITY ASSOCIATED WITH SUCH AN EVENT. SEDIMENT LADEN WATER, WHICH OTHERWISE WOULD FLOW FROM THE PROJECT SITE, SHALL BE TREATED BY EROSION AND SEDIMENT CONTROL MEASURES APPROPRIATE TO MINIMIZE SEDIMENTATION. ALL WATER (INCLUDING STORMWATER, GROUNDWATER, OR ANY OTHER WATER) THAT LEAVES THE CONSTRUCTION SITE MUST HAVE A TOTAL SUSPENDED SOLIDS LEVEL OF LESS THAN 50 PARTS PER MILLION OR HAVE NO VISIBLE SEDIMENT. THIS CAN BE DETERMINED ON SITE BY TAKING A SETTLEABLE SOLIDS SAMPLE WITH AN IMHOFF CONE WITH A RESULT OF LESS THAN 0.5 ML PER LITER. IF IT SHOULD BE EXPECTED THAT ALL MATERIALS NECESSARY TO CONSTRUCT THE PROPOSED SITE IMPROVEMENTS WILL BE ENCOUNTERED ON SITE AT ONE TIME OR ANOTHER, ALL MATERIALS THAT APPEAR ON SITE WILL BE ACCOMPANIED WITH MSDS SHEETS IN ACCORDANCE WITH OSHA GUIDELINES AND THE CODE OF FEDERAL REGULATION (CFR). MSDS SHEETS PROVIDE AMONG OTHER THINGS, THE PROCEDURES FOR CLEAN-UP OF SPILLS AND LEAKS. QUMSTERS WILL BE PROVIDED FOR DISPOSAL OF ALL WASTE AS NEEDED AND A CONCRETE WASH OUT AREA WILL BE FACILITATED AND MAINTAINED THROUGHOUT THE PROJECT. REFER TO ITEM B1 ABOVE FOR ADDITIONAL INFORMATION.
- B14. MONITORING AND MAINTENANCE GUIDELINES FOR EACH PROPOSED POLLUTION PREVENTION MEASURE:  
MONITORING AND MAINTENANCE OF ALL POLLUTION PREVENTION MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INSPECT ALL MEASURES AT LEAST ONCE A WEEK AND AFTER EACH STORM EVENT. THE CONTRACTOR SHALL PREPARE A WRITTEN REPORT FOR EACH INSPECTION NOTING CONDITIONS AND MAINTENANCE PROVIDED. A COPY OF EACH REPORT SHALL BE KEPT ON FILE AT THE PROJECT SITE.

**TEMPORARY CONSTRUCTION ROAD MAINTENANCE:**

- INSPECT DAILY
- RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL
- TOP-DRESS WITH CLEAN AGGREGATE AS NEEDED.
- IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS.
- FLUSHING SHOULD ONLY BE USED IF THE WATER FROM THE CONSTRUCTION DRIVE CAN BE CONVEYED INTO A SEDIMENT TRAP OR BASIN.

**TEMPORARY SEEDING:**

- INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS
- CHECK FOR EROSION OR MOVEMENT OF MULCH AND REPAIR IMMEDIATELY.
- MONITOR FOR EROSION DAMAGE AND ADEQUATE COVER (80 PERCENT DENSITY; RESEED, FERTILIZE, AND APPLY MULCH WHERE NECESSARY.
- IF NITROGEN DEFICIENCY IS APPARENT, TOP-DRESS FALL SEEDING WHEAT OR RYE SEEDING WITH 50 POUNDS PER ACRE OF NITROGEN IN FEBRUARY OR MARCH.

**EROSION CONTROL BLANKET:**

- INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS
- CHECK FOR EROSION OR DISPLACEMENT OF THE BLANKET
- IF ANY AREA SHOWS EROSION, PULL BACK THAT PORTION OF THE BLANKET COVERING THE ERODED AREA, ADD SOIL AND TAMP, RESEED THE AREA, REPLACE AND STAPLE THE BLANKET.

**ROCK CHECK DAM:**

- INSPECT WITHIN 24 HOURS OF EACH RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
- IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, INSTALL AN EROSION-RESISTANT LINER IN THAT PORTION OF THE CHANNEL.
- REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES ONE-HALF THE HEIGHT OF THE DAM TO MAINTAIN CHANNEL CAPACITY, ALLOW DRAINAGE THROUGH THE DAM, AND PREVENT LARGE FLOW FROM DISPLACING SEDIMENT.
- ADD RIPRAP AND AGGREGATE AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION OF THE DAMS.
- WHEN DAMS ARE NO LONGER NEEDED, REMOVE THE RIPRAP AND AGGREGATE AND STABILIZE THE CHANNEL, USING AN EROSION-RESISTANT LINING IF NECESSARY. (RIPRAP AND AGGREGATE FROM THE DAM MAY BE REMOVED OR UTILIZED TO STABILIZE THE CHANNEL.)

**DROP INLET PROTECTION:**

- INSPECT DAILY
- REMOVE SEDIMENT WHEN POOL AREA IS APPROXIMATELY ONE-HALF FULL OF SEDIMENT.
- REMOVE AND REPLACE AGGREGATE IF SEDIMENT HINDERS DRAINAGE.
- ONCE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, REMOVE SEDIMENT, SEAL WEEP HOLES, FILL BASIN WITH SOIL, COMPACT AND GRADE TO FINISHER ELEVATION AND STABILIZE.

**SECTION B - CONSTRUCTION COMPONENT (CONTINUED)**

- B14. MONITORING AND MAINTENANCE GUIDELINES FOR EACH PROPOSED POLLUTION PREVENTION MEASURE:

**SILT FENCE:**

- INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS.
- IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY. NOTE: ALL REPAIRS SHOULD MEET SPECIFICATIONS AS OUTLINED WITHIN THIS MEASURE.
- REMOVE DEPOSITED SEDIMENT WHEN IT IS CAUSING THE FILTER FABRIC TO BULGE OR WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT. WHEN CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, GRADE THE SITE TO BLEND WITH THE SURROUNDING AREA, AND STABILIZE.

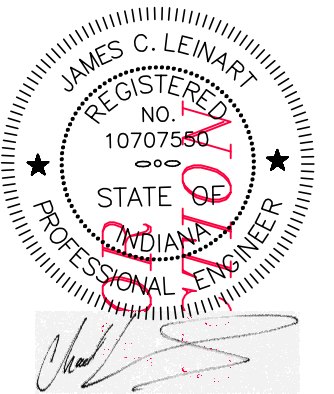
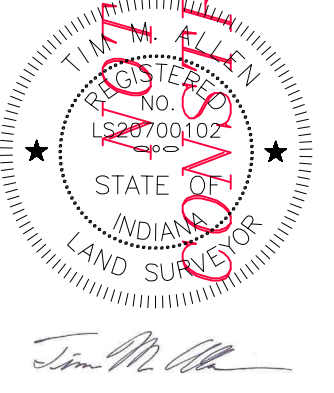
**CONCRETE WASHOUT:**

- ALL CONCRETE SHALL BE DISPOSED OF IN THE DESIGNATED AREA. THIS AREA SHALL BE INSPECTED ON A DAILY BASIS AS A MINIMUM. WHEN THIS AREA BECOMES FULL, THE POLLUTANTS SHALL BE EXCAVATED, PLACED IN AN ACCEPTABLE CONTAINER AND DISPOSED OF IN A PROPER MANNER.

- B15. EROSION & SEDIMENT CONTROLS SPECIFICATIONS FOR INDIVIDUAL BUILDING LOTS:  
THIS ITEM DOES NOT APPLY TO THIS PROJECT.

**SECTION C - POST CONSTRUCTION COMPONENT**

- C1. DESCRIPTION OF POLLUTANTS AND THEIR SOURCES ASSOCIATED WITH THE PROPOSED LAND USE:  
THE MAIN POST CONSTRUCTION POLLUTANTS WILL COME FROM THE PROPOSED ACCESS DRIVES AND PARKING LOT. THE POLLUTANTS MAY INCLUDE FUEL, OIL, ANTIFREEZE, SUSPENDED SOLIDS, NITROGEN, PHOSPHORUS, COPPER, LEAD, AND ZINC.
- C2. SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION:  
THE POST CONSTRUCTION STORMWATER QUALITY MEASURES WILL BE INSTALLED AS PART OF AND DURING CONSTRUCTION OF THE STORMWATER COLLECTION AND CONVEYANCE SYSTEM AND THE FINAL VEGETATION OF THE SITE.
- C3. DESCRIPTION OF PROPOSED POST CONSTRUCTION STORMWATER QUALITY MEASURES:  
STORMWATER WILL BE CONVEYED BY STORM INLETS AND STORM SEWER PIPE AND DISCHARGED AT THE NORTHEAST CORNER OF THE SITE.
- C4. LOCATION, DIMENSIONS, SPECIFICATIONS AND CONSTRUCTION DETAILS OF EACH STORMWATER QUALITY MEASURE:  
REFER TO SHEET C101 - SITE LAYOUT, SHEET EC1 - EROSION CONTROL FOR RELATED DESIGN AND DETAILS.
- C5. DESCRIPTION OF MAINTENANCE GUIDELINES FOR PROPOSED POST CONSTRUCTION WATER QUALITY MEASURES:  
A. THE PROPOSED VEGETATED WATERWAYS ARE TO BE MAINTAINED REGULARLY AND THE VEGETATION IS TO REMAIN HEALTHY.  
B. TYPICAL PROPERTY MAINTENANCE AND UPKEEP SHOULD KEEP VEGETATION HEALTHY SUCH AS SEEDING AND TRIMMING OF VEGETATION.  
C. SEE THE O&M MANUAL - NOT INCLUDED IN THESE PLANS (SUBMITTED SEPARATELY), ADDRESSING THE OPERATION AND MAINTENANCE OF THE STRUCTURAL BMP'S AND DETENTION PONDS.



drawn by:	DEK
scale:	1"=40'
date:	JULY 12, 2018
job no.	17174

SHEET TITLE:	EROSION CONTROL PLAN
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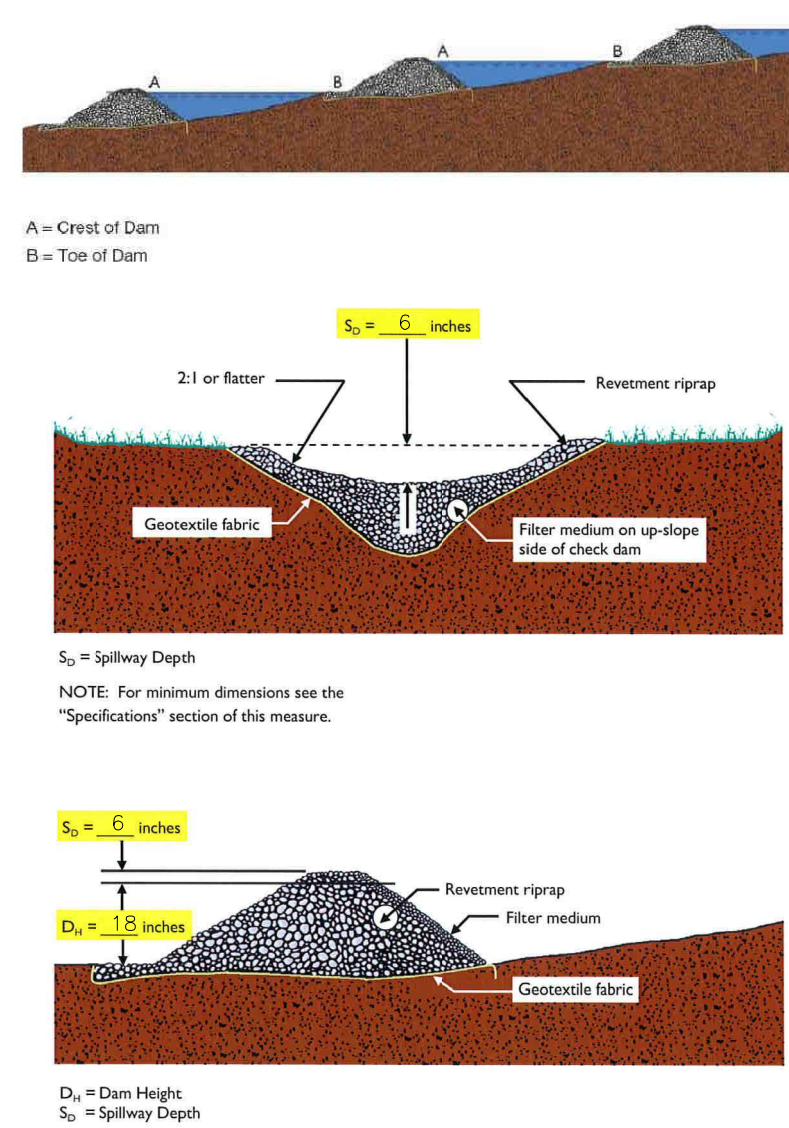
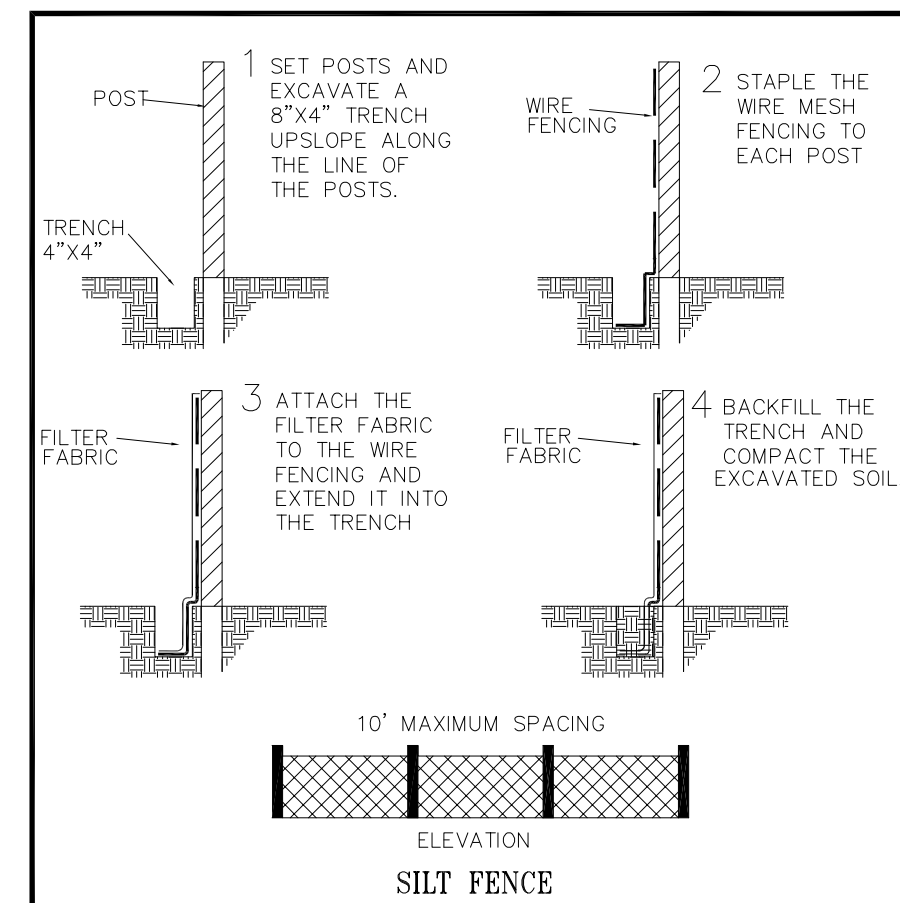
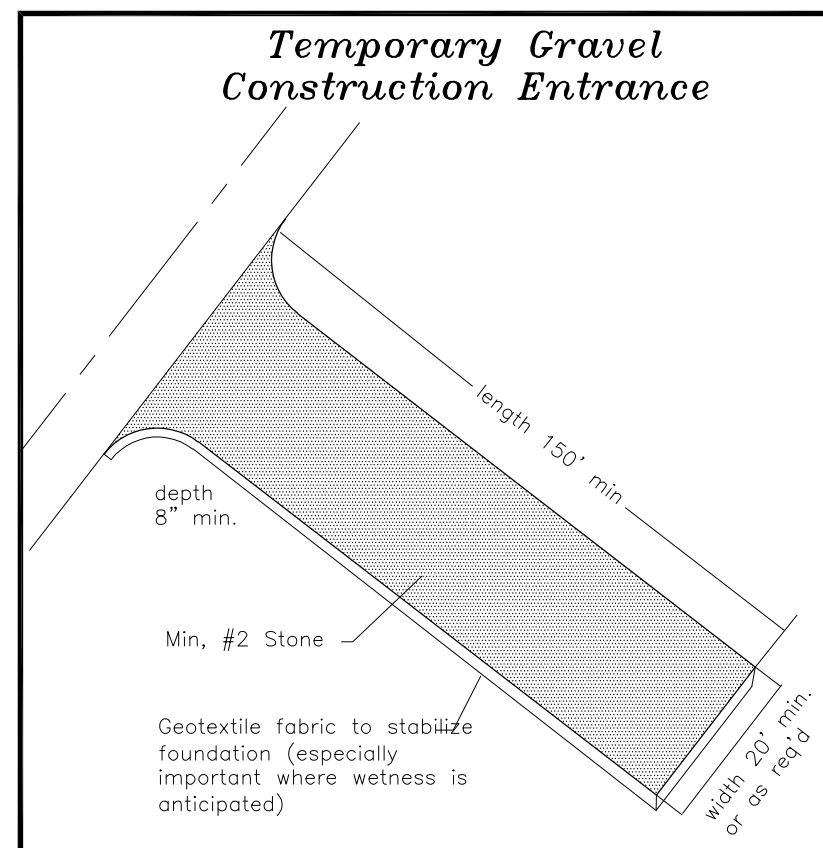
PROJECT NAME  
CLIENT: SPRAGUE COMPANIES  
FRANKLIN GATEWAY DEVELOPMENT  
SECONDARY PLAT - SECTION 1  
FRANKLIN, INDIANA 46131

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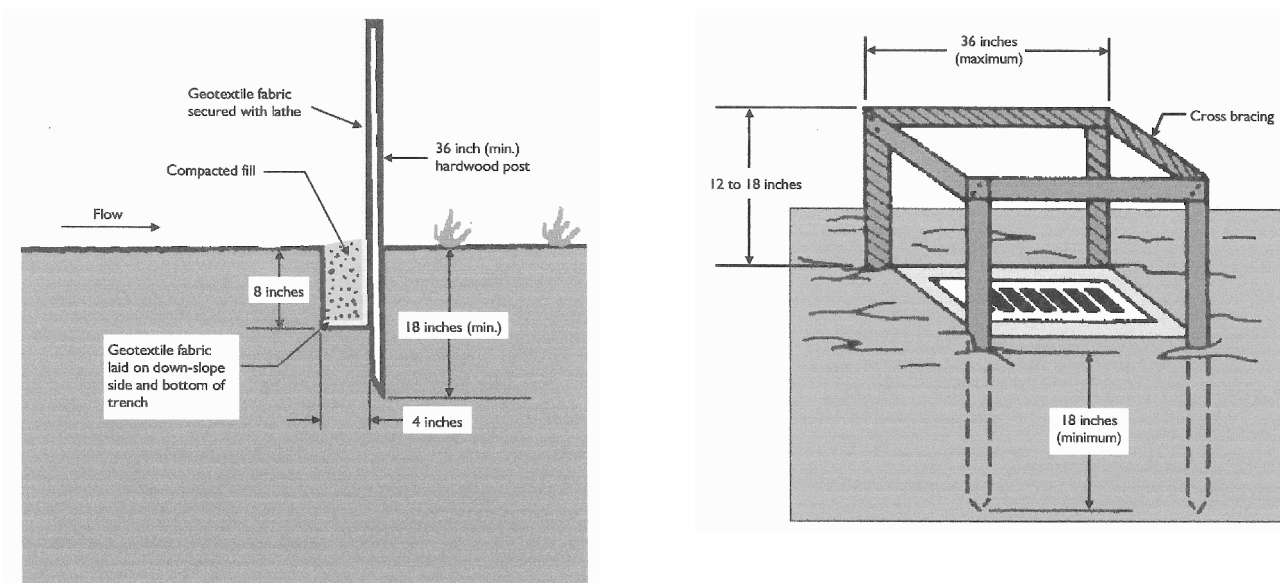


4. CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
5. CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED ONTO EXISTING ROADS.
6. LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION, WHENEVER POSSIBLE. NATURAL VEGETATION SHALL BE MAINTAINED AND PROTECTED TO THE MAXIMUM EXTENT POSSIBLE. EROSION CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTAINED ON SITE.
7. ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS AND SPECIFICATIONS. SEEDING SHALL BE COMPLETED PRIOR TO THE START OF THIS SEEDING.
8. PERMANENT AND FINAL VEGETATION OR STRUCTURES. EROSION CONTROL DEVICES SHALL BE INSTALLED AFTER CONSTRUCTION UNDER EXPOSED AREAS.
9. THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM. WHEN CONSTRUCTION IS COMPLETED, EROSION CONTROL DEVICES SHALL CEASE FOR MORE THAN TWO WEEKS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
10. ALL STORM SEWER INLET AND OUTLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME OF CONSTRUCTION COMPLETION.
11. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL SATURATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR.
12. WHEN EROSION CONTROL DEVICES ARE NO LONGER REQUIRED TO PREVENT EROSION, NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
13. THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
14. EROSION CONTROL SHALL BE IN ACCORDANCE WITH SECTION 1027 OF THE ILL. AND INDIANA HANDBOOK FOR EROSION CONTROL IN DEVELOPING AREAS.
15. THE CITY ENGINEER HAS THE AUTHORITY TO REQUEST ADDITIONAL EROSION CONTROL MEASURES OR ALTER EROSION CONTROL MEASURES TO SUIT LOCAL SITE CONDITIONS.
16. THERE ARE NO AREAS ON SITE WHERE STORMWATER MAY ENTER GROUNDWATER.

STORMWATER POLLUTION PREVENTION SCHEDULE		
EROSION CONTROL MEASURE	MAINTENANCE	INSTALLATION SEQUENCE
STONE ENTRANCE	DAILY	PRIOR TO CLEARING AND GRADING
SILT FENCE	WEEKLY, AFTER STORM EVENTS AND AS NEEDED	PRIOR TO CLEARING AND GRADING
TEMPORARY SEEDING	WATER AS NEEDED	AFTER ROUGH GRADING
PERMANENT SEEDING	WATER AS NEEDED	AFTER FINISH GRADING
INLET PROTECTION	DAILY	AFTER EACH INLET IS PLACED
REMOVAL OF INLET PROTECTION	N/A	AFTER ALL AREAS DRAINING TO THESE AREAS ARE STABILIZED
REMOVAL OF SILT FENCE	N/A	AFTER ALL AREAS DRAINING TO THESE AREAS ARE STABILIZED
	N/A	



1. FILL GEOTEXTILE BAGS APPROXIMATELY HALF FULL WITH 2 TO 3 INCH STONE OR GRAVEL.
2. AT A POSITION DOWNSLOPE OF THE LOT AND UPSLOPE OF THE INLET AND BAGS TIGHTLY IN A ROW CURVING UPSLOPE FROM CURB AND AWAY FROM INLET.
3. OVERLAP BAGS ONTO THE CURB AND EXTEND A MINIMUM OF 3 FEET INTO THE LOT.
4. FOR ADDITIONAL LAYERS, OVERLAP BAGS WITH THE ROW BENEFATH, AND LEAVE A ONE-BAG GAP IN THE MIDDLE OF THE TOP ROW TO SEEDING AND SPLITTING.
5. PLACE BAGS IN AN ARC AROUND CURB INLETS THAT ARE IN A SET UP POSITION.
6. SUMP CAUSING / TRAFFIC BARRIERS TO KEEP VEHICLES FROM HITTING BAGS, CAUSING POSSIBLE INJURY.
7. INSPECT AND REPAIR AS NEEDED, AND REMOVE ANY ACCUMULATED SEDIMENTS AFTER EVERY STORM.

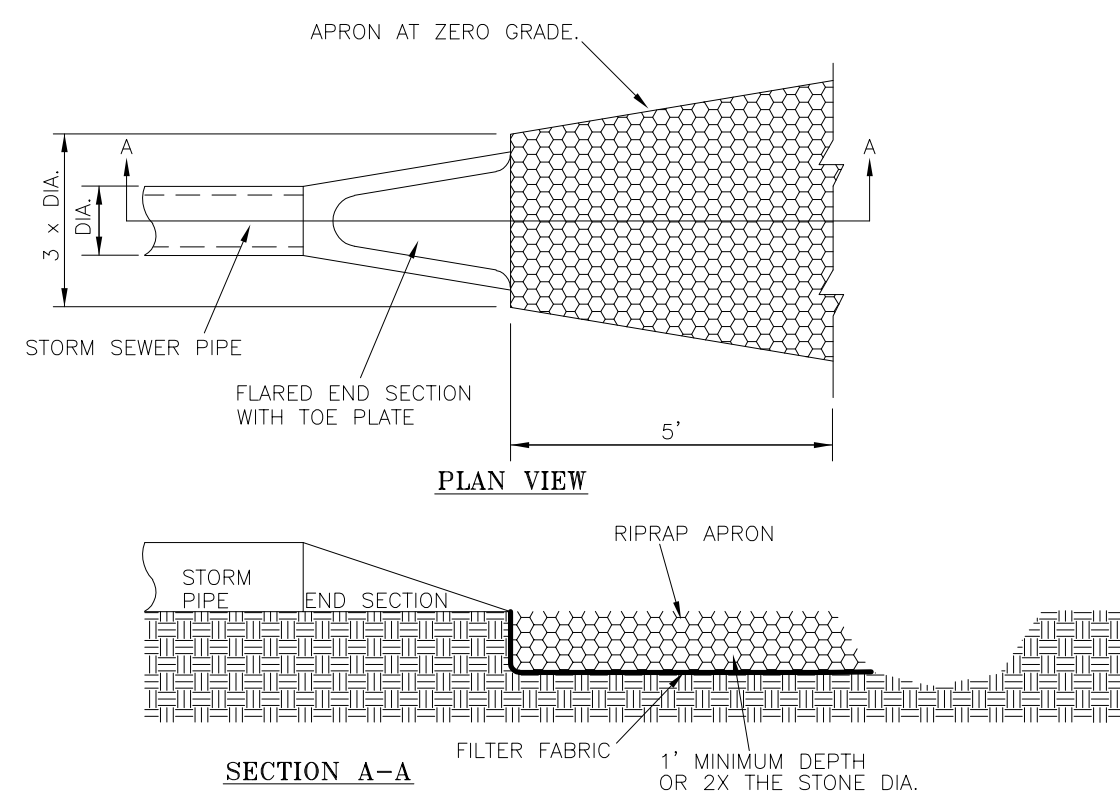
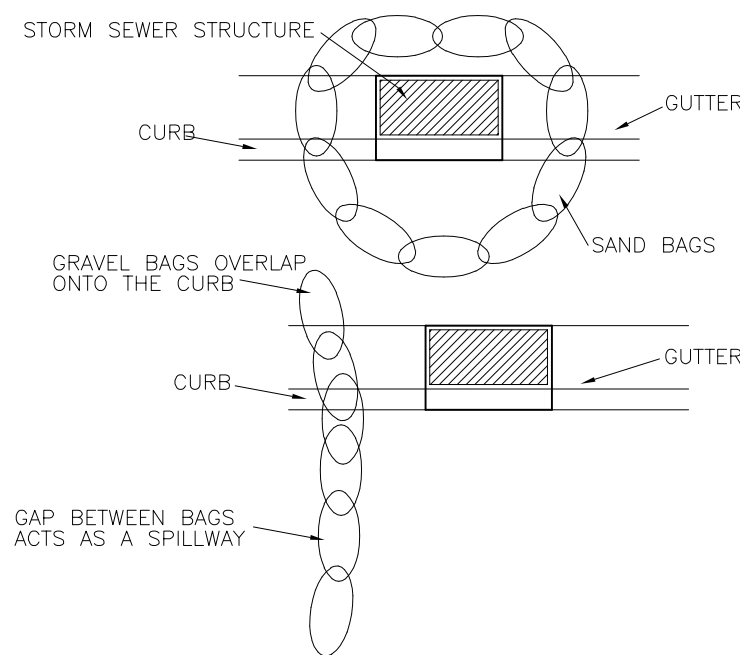


NOT TO SCALE  
(REFERENCE PAGE 254 OF THE INDIANA STORM WATER QUALITY MANUAL)

1. DIG AN EIGHT-INCH-DEEP, FOUR-INCH WIDE TRENCH AROUND THE PERIMETER OF THE INLET.
2. IF USING PRE-ASSEMBLED GEOTEXTILE FABRIC AND POSTS, DRIVE THE POSTS INTO THE SOIL TO THE STRETCHING THE GEOTEXTILE FABRIC BETWEEN POSTS AS EACH IS DRIVEN. (POSTS MUST BE PLACED ON THE INLET SIDE OF THE ANCHOR TRENCH WITH THE GEOTEXTILE FABRIC ON THE SIDE OF THE TRENCH FARTHEST FROM THE INLET.)  
NOTE: IF ASSEMBLING THE GEOTEXTILE FABRIC AND POSTS ON SITE, DRIVE THE POSTS INTO THE SOIL, THEN SECURE THE GEOTEXTILE FABRIC TO THE POSTS BY PLACING A PIECE OF LATHE OVER THE FABRIC AND FASTENING IT TO THE POST (STRETCHING THE FABRIC BETWEEN POSTS AS IT IS FASTENED).
3. USE THE WRAP JOINT METHOD WHEN JOINING POSTS (SEE SILT FENCE ON PAGE 215 INDIANA STORM WATER QUALITY MANUAL).
4. PLACE THE BOTTOM 12 INCHES OF GEOTEXTILE FABRIC INTO THE EIGHT-INCH DEEP TRENCH, LAYING THE REMAINING FOUR INCHES IN THE BOTTOM OF THE TRENCH AND EXTENDING AWAY FROM THE INLET.
5. BACKFILL THE TRENCH WITH SOIL MATERIAL AND COMPACT IT IN PLACE.
6. BRACE THE POSTS BY NAILING BRACES INTO EACH CORNER POST OR UTILIZE RIGID PANELS TO SUPPORT FABRIC.

NOTE: FILTER FABRIC MUST BE NON-WOVEN FILTER FABRIC.

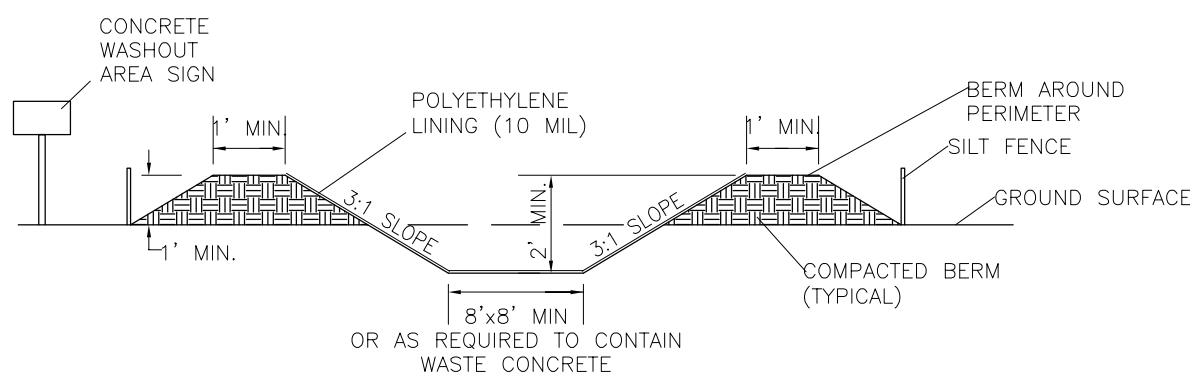
(REFERENCE PAGE 156 OF THE INDIANA STORM WATER QUALITY MANUAL)



1. EXCAVATE THE APRON AREA SUBGRADE BELOW DESIGN ELEVATION TO ALLOW FOR THICKNESS OF THE FILTER FABRIC AND RIPRAP.
2. COMPACT ANY FILL PLACED IN THE SUBGRADE TO THE DENSITY OF THE SURROUNDING UNDISTURBED MATERIAL AND SMOOTH ENOUGH TO PROTECT FABRIC FROM TEARING.
3. PLACE THE FABRIC ON THE COMPACTED AND SMOOTHED FOUNDATION. IF MORE THAN ONE PIECE OF FABRIC IS NEEDED, THE UPSTREAM PIECE SHOULD OVERLAP THE DOWNSTREAM PIECE BY AT LEAST ONE FOOT.
4. INSTALL THE RIP RAP TO THE LINES AND ELEVATIONS SHOWN IN THE DESIGN. IF THE CHANNEL IS POORLY DEFINED, THE FINAL CROSS-SECTION SHOULD BE LEVEL OR SLIGHTLY DEPRESSIONED IN THE MIDDLE AND SLOPED DOWN TO THE SIDES AND EXTEND TO THE TOP OF THE BANK.
5. MAKE SURE THE TOP OF THE RIP RAP APRON IS LEVEL WITH OR SLIGHTLY BELOW THE RECEIVING STREAM.
6. BLEND THE RIP RAP SMOOTHLY TO THE SURROUNDING GRADE.
7. STABILIZE ALL DISTURBED AREAS IMMEDIATELY FOLLOWING INSTALLATION.

ROCK CHUTE SIZING AT CULVERT PIPE OUTLETS			
PIPE SIZE	AVERAGE RIPRAP DIAMETER	APRON WIDTH	APRON LENGTH
INCH	INCH	FEET	FEET
8	3	2 TO 3	5 TO 7
12	5	3 TO 4	6 TO 12
18	8	4 TO 6	8 TO 18
24	10	6 TO 8	12 TO 22
30	12	8 TO 10	14 TO 28
36	14	10 TO 12	16 TO 32

APRON THICKNESS:  
STONE SIZE 15" OR LARGER = 1.2 X STONE DIA.  
STONE SIZE 15" OR SMALLER = 1.5 X STONE DIA



NOT TO SCALE

NOTES:

1. CONC WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONC PLACEMENT ON SITE.
2. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONC WASHOUT AREA TO OPERATORS OF CONC TRUCKS AND PUMP TRUCKS.
3. THE CONC WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONC.
4. AT THE END OF CONSTRUCTION, ALL CONC IN WASHOUT SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED SITE.
5. WHEN THE CONC WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE INSPECTOR.

## SEASONAL SOIL PROTECTION CHART

STABILIZATION PRACTICE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A			* // // // // // // //			* // //			
DORMANT SEEDING	B →											B →
TEMPORARY SEEDING		C		E →			* // // // // // //	D →				
SODDING			F **				* // // // // // //					
MULCHING	G →											

A = KENTUCKY BLUEGRASS 100 LBS./ACRE; CREEPING RED FESCUE 100 LBS./ACRE; PLUS 2 TONS STRAW MULCH/ACRE, OR ADD ANNUAL RYEGRASS 20 LBS./ACRE FERTILIZE AS RECOMMENDED BY SOIL TEST. IF TESTING IS NOT DONE, APPLY 400-600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.  
 B = KENTUCKY BLUEGRASS 120 LBS./ACRE; CREEPING RED FESCUE 120 LBS./ACRE; PLUS 2 TONS STRAW MULCH/ACRE, OR ADD ANNUAL RYEGRASS 30 LBS./ACRE FERTILIZE AS RECOMMENDED BY SOIL TEST. IF TESTING IS NOT DONE, APPLY 400-600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.  
 C = SPRING OATS 3 BUSHELS/ACRE FERTILIZE AS RECOMMENDED BY SOIL TEST. IF TESTING IS NOT DONE, APPLY 400-600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.  
 D = WHEAT OR RYE 2 BUSHELS/ACRE FERTILIZE AS RECOMMENDED BY SOIL TEST. IF TESTING IS NOT DONE, APPLY 400-600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.  
 E = ANNUAL RYEGRASS 40 LBS./ACRE (1 LB/1000 SQ. FT.) FERTILIZE AS RECOMMENDED BY SOIL TEST. IF TESTING IS NOT DONE, APPLY 400-600 LBS./ACRE OF 12-12-12 ANALYSIS, OR EQUIVALENT, FERTILIZER.  
 F = SOD  
 G = STRAW MULCH 2 TONS/ACRE  
 \* // = IRRIGATION NEEDED DURING JUNE, JULY, AUGUST AND/OR SEPTEMBER  
 \*\* = IRRIGATION NEEDED FOR 2 WEEKS AFTER SUPPLYING SOD

SEEDBED PREPARATION:

1. TEST SOIL TO DETERMINE PH AND NUTRIENT LEVELS, (CONTACT YOUR COUNTY SWCD OR COOPERATIVE EXTENSION OFFICE FOR ASSISTANCE) AND SOILS INFORMATION, INCLUDING AVAILABLE TESTING SERVICES.)
2. IF SOIL PH IS UNSUITABLE FOR THE SPECIES TO BE SEED,ED, APPLY LIME ACCORDING TO TEST RECOMMENDATIONS.
3. FERTILIZE AS RECOMMENDED BY THE SOIL TEST, IF TESTING IS NOT DONE, CONSIDER APPLYING 100 LBS. OF 10-10-10 PER ACRE.
4. TILL THE SOIL TO OBTAIN A UNIFORM SEEDBED, WORKING THE FERTILIZER AND LIME INTO THE SOIL 2-4 IN. DEEP WITH A DISK OR RAKE OPERATED ACROSS THE SLOPE.
5. DO NOT OVER FERTILIZE. IF YOUR SOIL TEST RESULTS SHOW THAT YOUR SOIL TESTS DETERMINE THAT THERE IS A PHOSPHORUS DEFICIENCY, USE PHOSPHORUS FREE FERTILIZERS (2-0-12).

RULE 5 REQUIRES THAT ALL DISTURBED AREAS THAT WILL POTENTIALLY BE IDLE FOR 15 DAYS OR MORE BE STABILIZED (SEEDED, MULCHED, ETC.) IMMEDIATELY.

