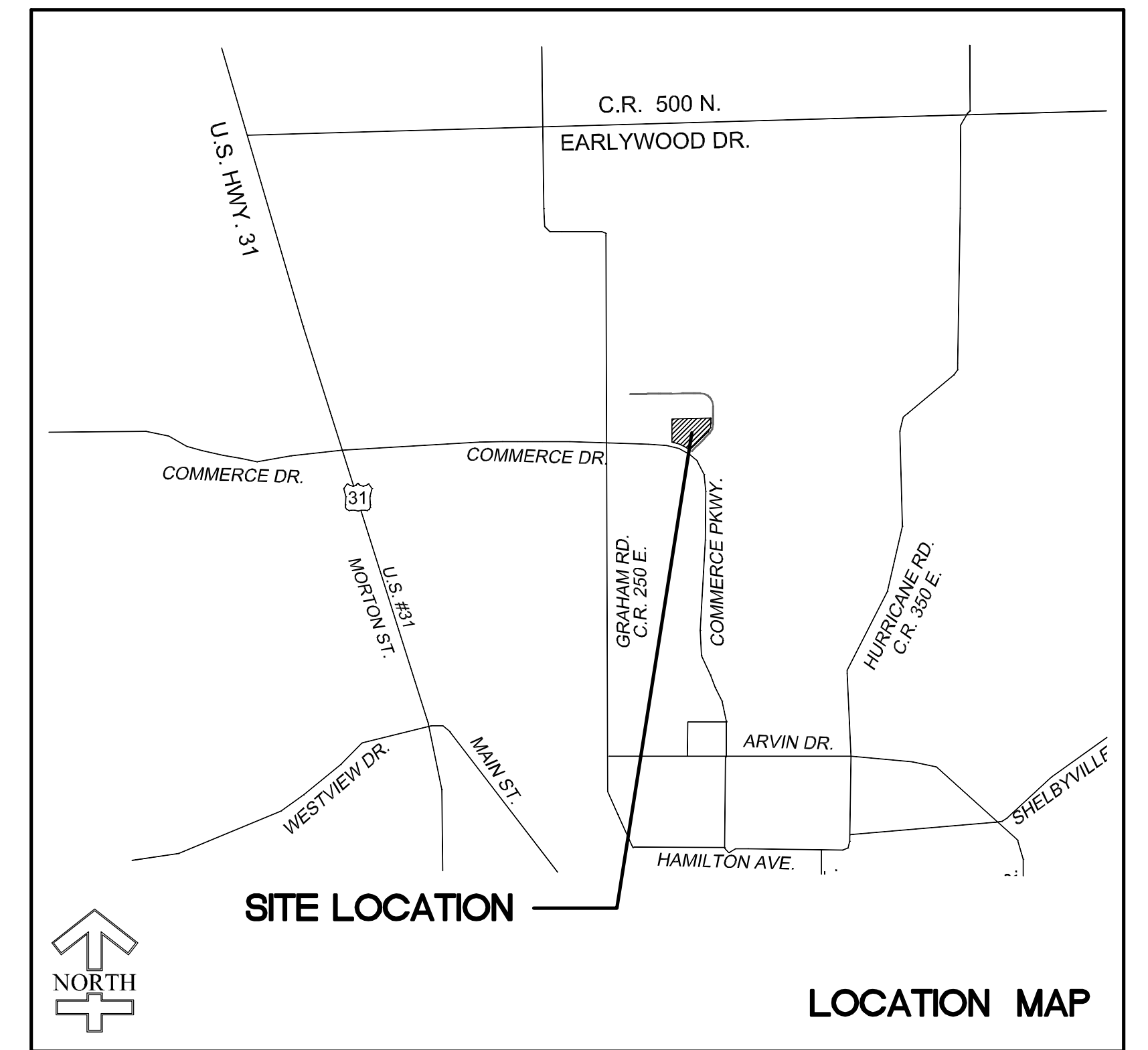
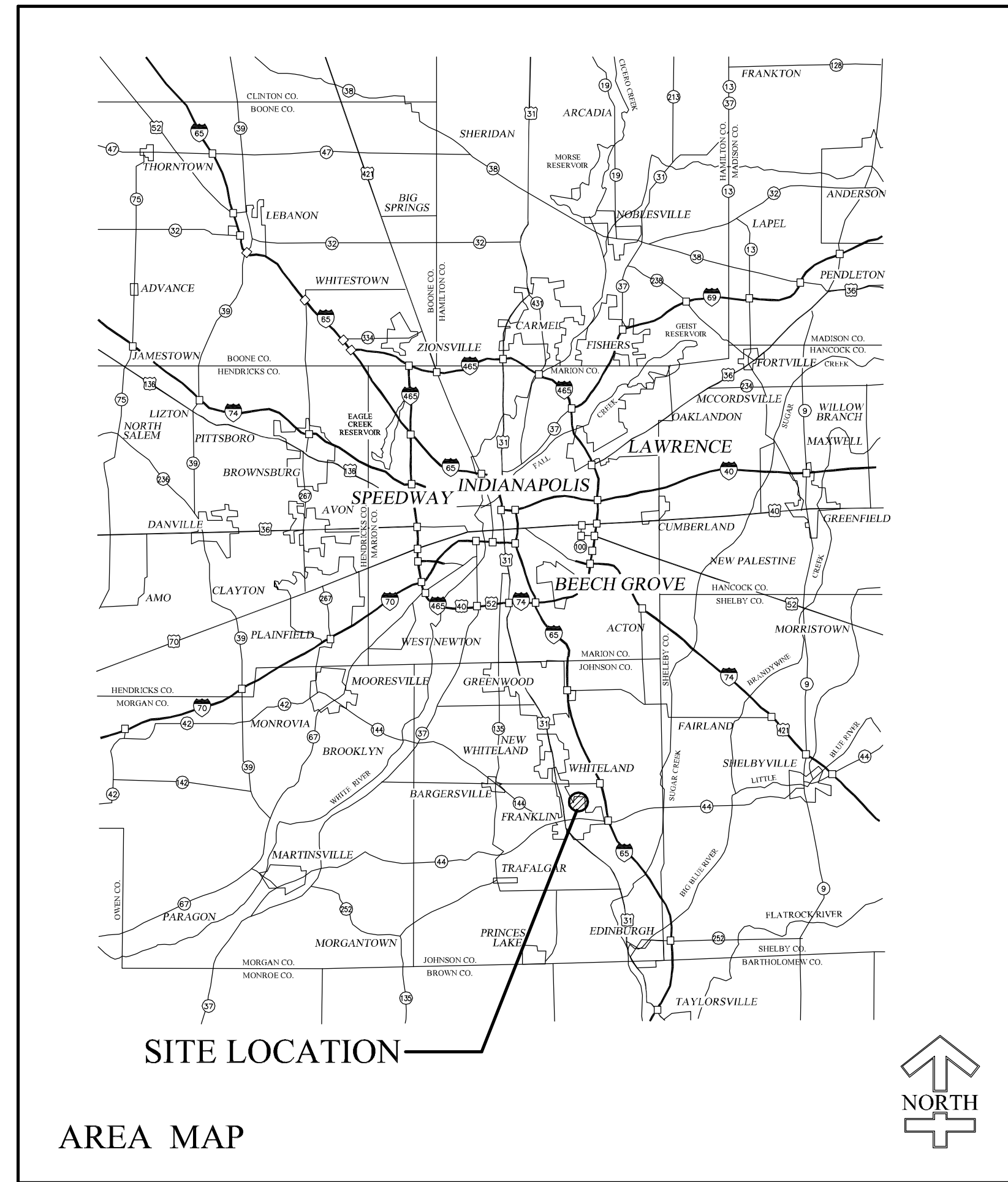


**CRBECK PROPERTIES**  
**AT**  
**LINVILLE BUSINESS PARK - LOT 3**  
**CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA**  
**CONSTRUCTION PLANS**

**OWNER:**  
**CRBECK PROPERTIES**  
**2750 S US HIGHWAY 31**  
**FRANKLIN, IN 46131**

**PREPARED FOR:  
ELITE HOMES, LLC  
3567 E. 700 N.  
WHITELAND, IN 46184  
PHONE: 317-474-0088  
CHRIS DUKE**



**SITE ADDRESS: 91 LINVILLE WAY  
FRANKLIN, IN 46131**

[illegible]

## SITE INFORMATION:

PARCEL NUMBER: 41-08-11-012-001.000-009  
SITE AREA: 5.05 ACRES  
IMPERVIOUS AREA: 1.47 ACRES

**DATES:**

EST. PROPOSED START DATE: SPRING 2025  
EST. COMPLETION DATE: FALL 2025

**USE:**

**PROPOSED USE:** INDUSTRIAL LIGHT  
**EXISTING ZONING:** IL

### UTILITY CONTACT INFORMATION

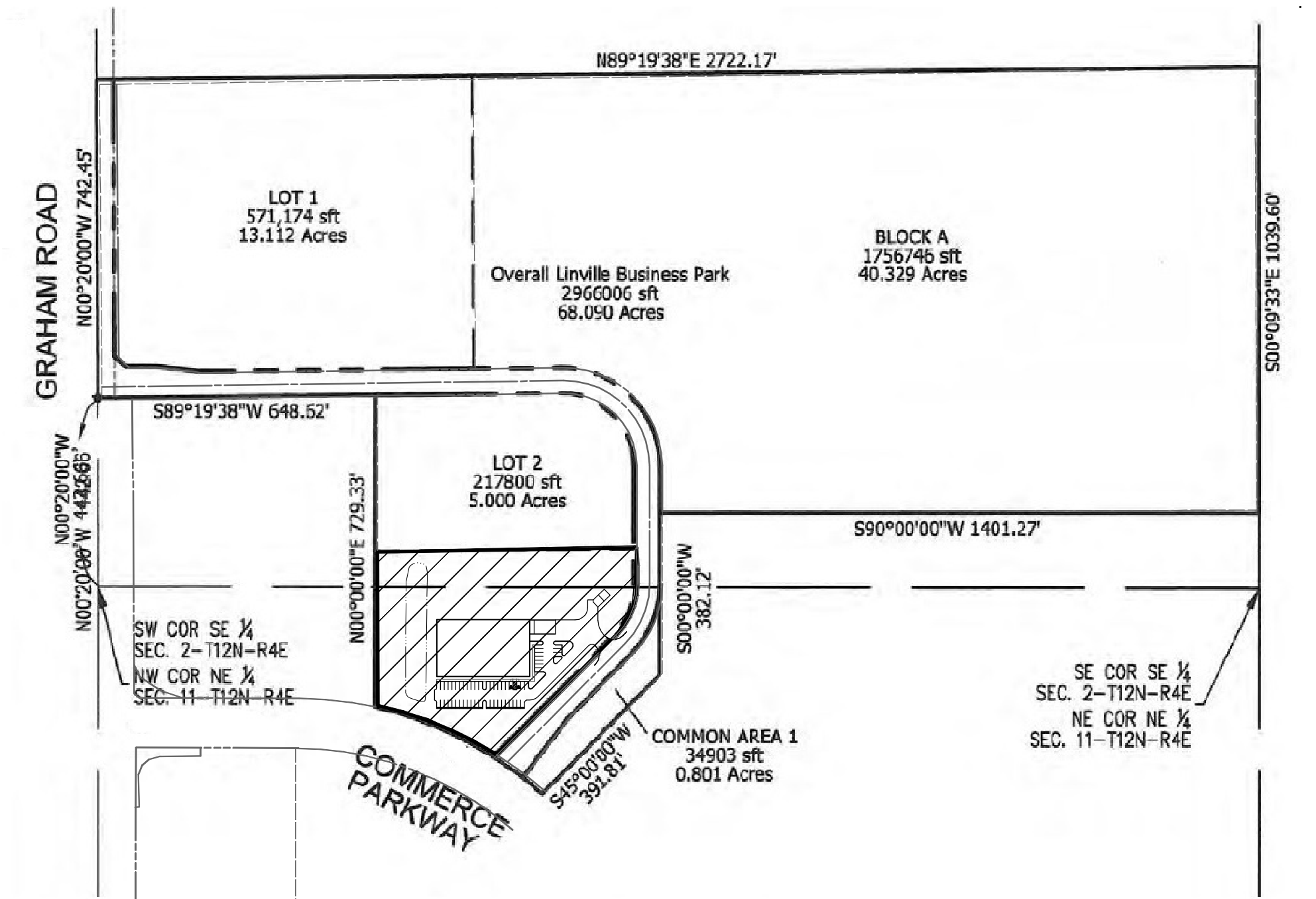
**SANITARY SEWERS**  
FRANKLIN PUBLIC WORKS  
796 SOUTH STATE ST.  
FRANKLIN, IN 46131  
PHONE #: (317) 736-3640  
CONTACT: SALLY BROWN  
SBROWN@FRANKLIN.IN.GOV

**TELEPHONE**  
CENTURYLINK  
1147 NORTH MORTON STREET  
FRANKLIN, IN 46131  
PHONE #: (317) 736-4863  
CONTACT: JOHN C. UNVERFERTH  
JOHN.C.UNVERFERTH@CENTURYLINK.COM

**WATER**  
INDIANA—AMERICAN WATER CO.  
153 N. EMERSON AVE.  
GREENWOOD, IN 46143  
PHONE #: (317) 893-3560  
CONTACT: ADAM BOONE  
ADAM.BOONE@AMWATER.COM

**ELECTRIC**  
DUKE ENERGY  
2515 N. MORTON ST.  
FRANKLIN, IN 46131  
PHONE #: (317) 736-2014  
CONTACT: REECE HEILERS  
REECE.HEILERS@DUKE-ENERGY.COM

**GAS**  
VECTREN ENERGY  
600 INDUSTRIAL DRIVE  
FRANKLIN, IN 46131  
PHONE #: (317) 736.2915  
CONTACT: KIMBERLY BURTON—KELLY  
KIM.KELLY@CENTERPOINTENERGY.COM

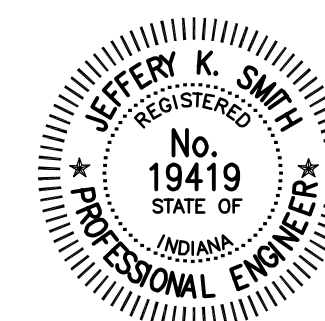


## LEGAL DESCRIPTION

LOT 3 IN LINVILLE BUSINESS PARK SECONDARY PLAT, AS PER  
PLAT THEREOF, RECORDED IN PLAT CABINET E, ENVELOPE 320  
PAGES A-C, AKA INSTRUMENT NUMBER 2018-009566, IN THE  
OFFICE OF THE RECORDER OF JOHNSON COUNTY, INDIANA.

CERTIFIED BY:

*Jeffery K. Smith* 10/25/24  
JEFFERY K. SMITH  
REGISTERED ENGINEER NO. 19419  
STATE OF INDIANA



PREPARED BY:  
**PROJECTS** *plus*  
GREENWOOD SURVEYING COMPANY

**SITE ENGINEERING—LAND SURVEYING—CONSTRUCTION LAYOUT**  
1257 Airport Parkway Suite A - Greenwood, Indiana 46143  
(317)-882-5003

SHEET **C101**  
JOB # 23005.01

[illegible]

## FLOOD ZONE DESIGNATION

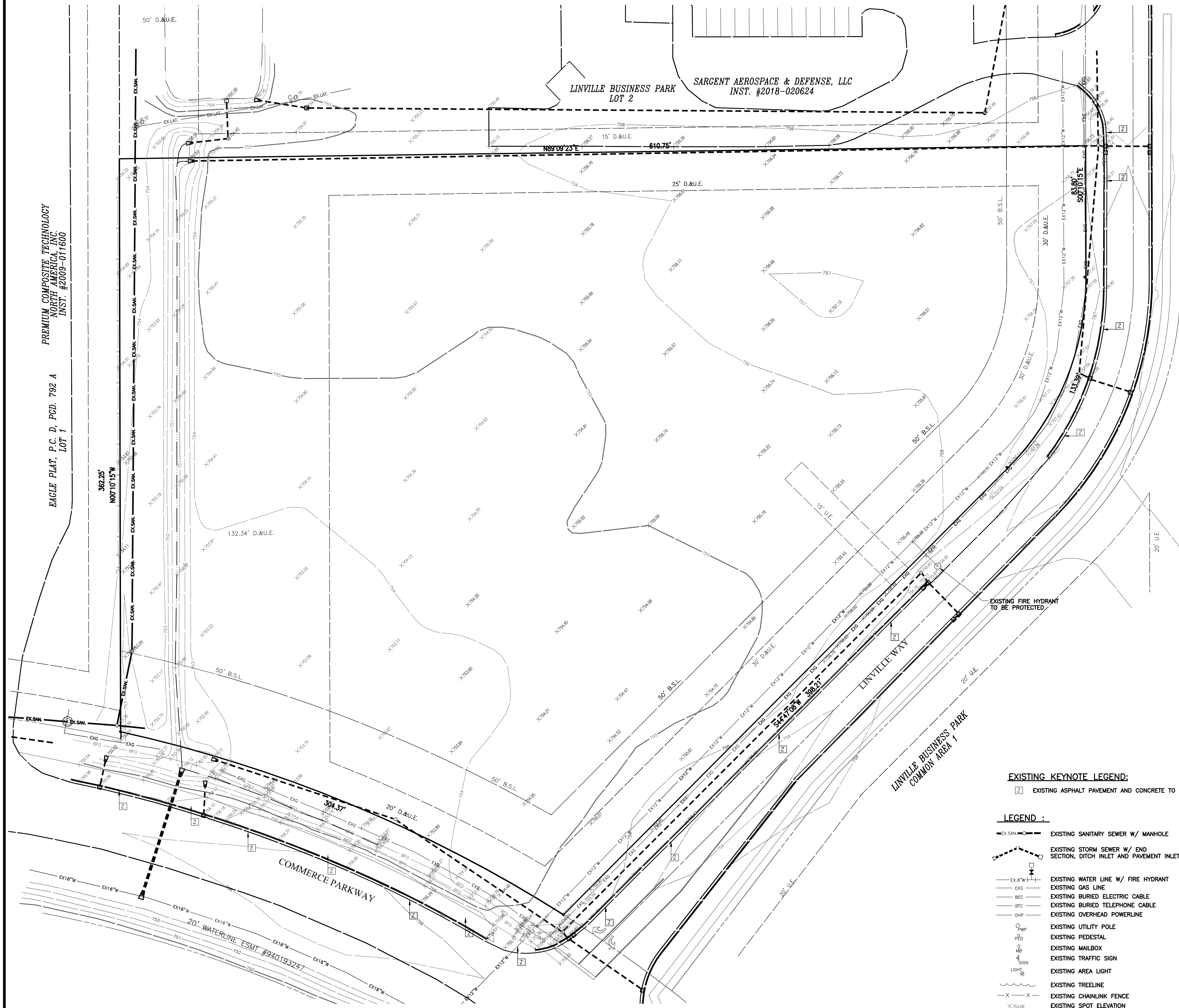
THE ACCURACY OF THE FLOOD HAZARD DATA SHOWN ON THIS REPORT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF JOHNSON, INDIANA, COMMUNITY #180114, MAP #180810143E DATED JANUARY 29, 2021, THE DESCRIBED REAL ESTATE LIES WITHIN THE SHADED ZONE "X", WHICH IS AN AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN ONE FOOT OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE.

**BENCHMARKS:**

SITE ELEVATIONS ARE BASED ON GPS GEOID "G2012bu7" USING A PROJECTION OF "INDIANA EAST" AND DATUM NAD83 NO TRANS.

ONSITE BENCHMARK - ELEVATION 752.90 (NAVD 1983)  
METAL REBAR FOUND FLUSH MARKING THE SOUTHWEST CORNER OF THE SUBJECT TRACT, APPROXIMATELY 339' WEST OF LINVILLE WAY AND 62' NORTH OF COMMERCE PARKWAY



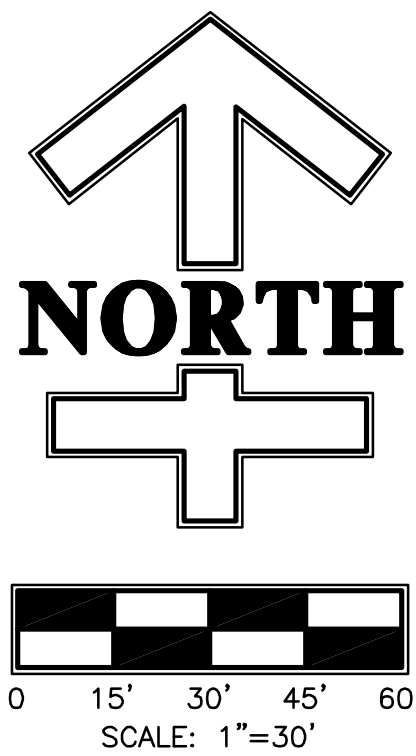


**PREMIUM COMPOSITE TECHNOLOGY  
NORTH AMERICA, INC.  
INST. #2009-011600**

EAGLE PLAT, P.C. D, PCD. 792 A  
LOT 1

AN. 

EX16



DEMOLITION PLAN NOTES

1. NOTIFY ENGINEER IMMEDIATELY IF THERE ARE QUESTIONS REGARDING THE DRAWINGS AND/OR THE SPECIFICATIONS, OR IF THERE ARE ANY CONFLICTS BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS.
2. ALL PERIMETER EROSION CONTROL AND/OR CONSTRUCTION FENCING SHALL BE IN PLACE PRIOR TO ANY SOIL DISTURBANCE
3. THE EXISTING UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND PROJECTS PLUS MAKES NO GUARANTEES THAT THE UTILITY INFORMATION SHOWN COMPREHES ALL SUCH UTILITIES IN THE AREA, IN PARTICULAR, ABANDONED UTILITIES. THE SLOTTED UTILITY STATES THAT THE UNDERGROUND UTILITY DATA SHOWN DOES NOT INDICATE PRECISE LOCATIONS. ANY CONTRACTOR DOING ANY EXCAVATION WILL CALL IN THEIR OWN UTILITY LOCATOR TO COME TO THE PROJECT. ANY DAMAGE SHALL BE REPAIRED TO SATISFACTION OF STORAGE EXPRESS AND OPERATING AUTHORITY AT NO COST TO STORAGE EXPRESS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UNDERGROUND UTILITIES TO BE REMOVED, RELOCATED OR ABANDONED PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
4. THE CONTRACTOR SHALL COORDINATE WORK ASSOCIATED WITH THE PROJECT, INCLUDING RELOCATION OF UTILITIES WITH THAT UTILITY COMPANY OR ENTITY HAVING OWNERSHIP OF EACH RESPECTIVE UTILITY. COSTS FOR DISCONNECTION, REMOVAL, AND/OR RELOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS OR AS NECESSARY TO ALLOW FOR EXECUTION OF THE WORK SHALL BE PAID BY THE CONTRACTOR.
5. ALL EXISTING ON-SITE UTILITIES SHALL REMAIN UNLESS DESIGNATED FOR REMOVAL. SHOULD ANY UTILITIES BE DESIGNATED FOR REMOVAL, THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES TO REMAIN. ALL UTILITIES WITHIN THE PROPOSED BUILDING FOOTPRINT WILL BE REMOVED UNLESS OTHERWISE NOTED.
6. REMOVE EXISTING UTILITIES ONLY AFTER CRITICAL NEW SYSTEMS ARE IN PLACE AND OPERATIONAL (I.E. STORM DRAINAGE, SERVICES TO EXISTING STRUCTURES). IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PROPER PROTECTION, INCLUDING SLOTTED UTILITY LOCATOR, TO PREVENT FURTHER, CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
7. THE OWNER HAS FIRST SALVAGE RIGHTS ON ALL ITEMS REMOVED. IF OWNER FORFEITS RIGHTS THEN ALL DEMOLISHED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF OFF-SITE UNLESS OTHERWISE SHOWN.
8. UNLESS SCHEDULED FOR DEMOLITION ON THE DRAWINGS, ALL TREES AND VEGETATION SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE PROJECT. PROTECTING AND MAINTAINING ALL TREES AND VEGETATION AND MAINTENANCE OF TREE PROTECTION FENCING TO BE LOCATED WHERE SHOWN AND AT THE DRILLINE OF ALL TREES LOCATED WITHIN CLOSE PROXIMITY OF AREAS WHERE HEAVY EQUIPMENT WILL OPERATE.
9. A CLEAN, STRAIGHT EDGE SHALL BE SAWCUT BETWEEN ALL CONCRETE AND ASPHALT SURFACES SCHEDULED FOR DEMOLITION AND CONCRETE AND ASPHALT SURFACES TO REMAIN. ALL UTILITIES NOT TO BE REMOVED OR UNDERGROUND UTILITIES ABANDONED IN-PLACE SHALL BE CUT, CAPPED AND PLUGGED. THE ENDS OF DISCONNECTED UNDERGROUND UTILITIES SHALL BE MARKED FOR FUTURE IDENTIFICATION WITH DETECTABLE LOCATOR TAPE OR A METAL ROD.
10. ALL FOUNDATIONS, SLABS, STRUCTURAL STEEL, MASONRY, SIDEWALKS, RETAINING WALLS, CURBS, APPARATUSSES, ETC., WITHIN THE DESIGNATED DEMOLITION AREA SHALL BE REMOVED ACCORDING TO THE SPECIFICATIONS. ALL DEMOLITION WITHIN PROPOSED FOOTPRINT SHALL BE COORDINATED WITH THE DRAWING DRAWINGS. NO OPEN BURNING SHALL BE PERMITTED ON THE SITE.
11. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SAFE ACCESS FOR PEDESTRIAN AND VEHICLE TRAFFIC. THE CONTRACTOR SHALL PROVIDE ALL UTILITY SERVICES TO THE BUSINESS. IF ANY UTILITY SERVICES ARE INTERRUPTED, THE CONTRACTOR SHALL COORDINATE THAT SHUTDOWN TO MINIMIZE IMPACT TO THE BUSINESSES AND EXISTING FACILITIES. COORDINATE WITH THE LEASOR AND ADVANCE WITH BUSINESS OWNERS AND BUSINESS REPRESENTATIVE AND FACILITY MANAGER.
12. MANHOLES, CATCH BASINS, CLEANOUTS, VALVE BOXES, FRAMES COVERS AND GRATES REMAINING IN USE SHALL BE PROTECTED AND ADJUSTED TO FINAL GRADES.




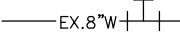




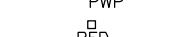

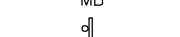
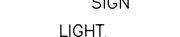
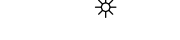



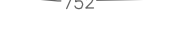
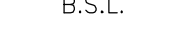
## NOTICES AND PERMITS

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3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

EXISTING KEYNOTE LEGEND:

- ☒ EXISTING ASPHALT PAVEMENT AND CONCRETE TO BE REMOVED

**LEGEND :**

- |   |   |
|---|---|
|  | EXISTING SANITARY SEWER W/ MANHOLE                                  |
|  | EXISTING STORM SEWER W/ END SECTION, DITCH INLET AND PAVEMENT INLET |
|  | EXISTING WATER LINE W/ FIRE HYDRANT                                 |
|  | EXISTING GAS LINE   |
|  | EXISTING BURIED ELECTRIC CABLE                                      |
|  | EXISTING BURIED TELEPHONE CABLE                                     |
|  | EXISTING OVERHEAD POWERLINE   |
|  | EXISTING UTILITY POLE   |
|  | EXISTING PEDESTAL   |
|  | EXISTING MAILBOX  |
|  | EXISTING TRAFFIC SIGN   |
|  | EXISTING AREA LIGHT   |
|  | EXISTING TREELINE   |
|  | EXISTING CHANLINK FENCE   |
|  | EXISTING SPOT ELEVATION   |
|  | EXISTING CONTOUR LINE   |
|  | BUILDING SETBACK LINE   |
|  | DRAINAGE AND UTILITY EASEMENT                                       |

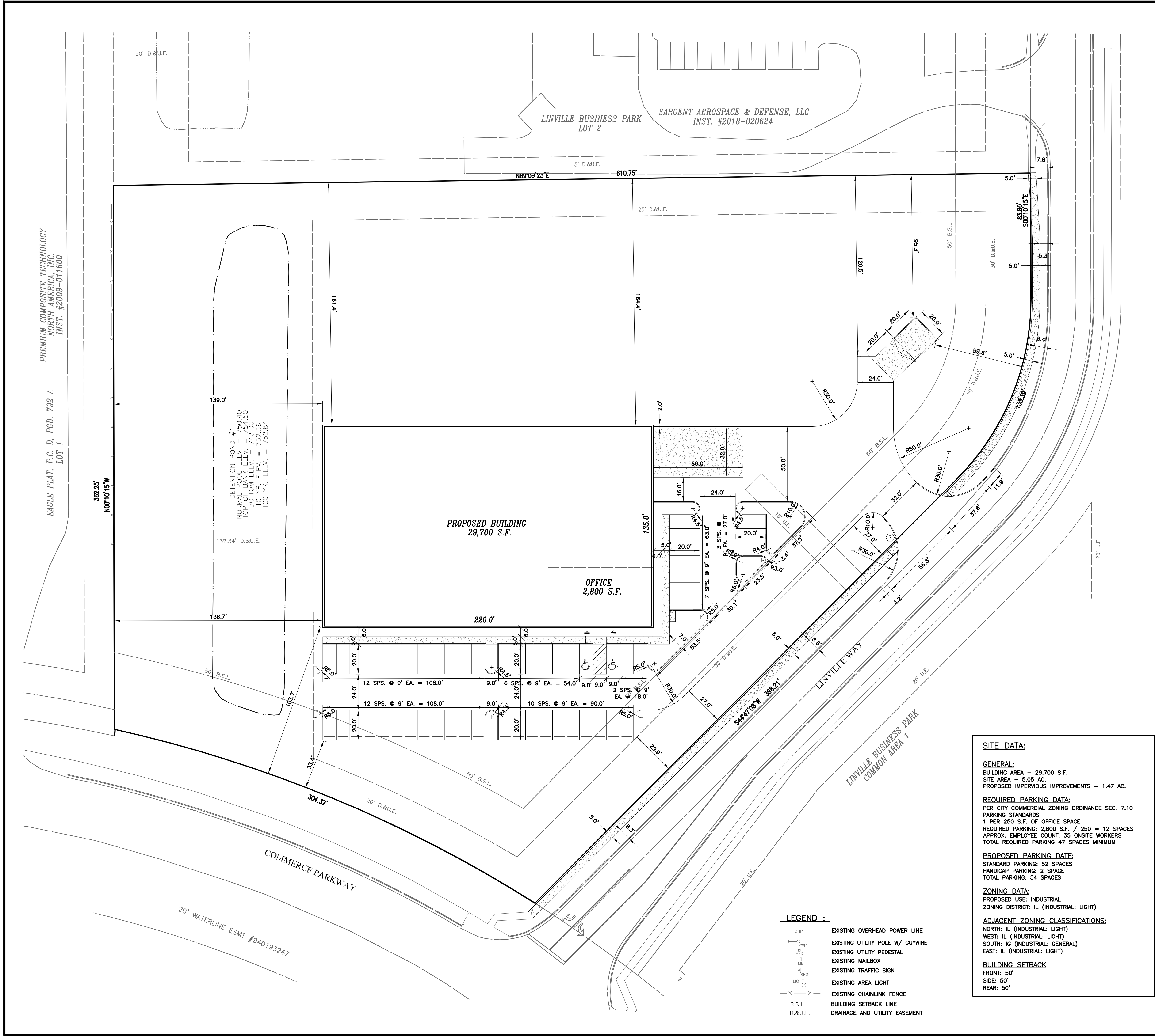


Know what's below.  
Call before you dig.  
**'IT'S THE LAW'**

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<h1>PROJECTS <i>plus</i></h1> <div> <b>GREENWOOD SURVEYING COMPANY</b>          SITE ENGINEERING—LAND SURVEYING—CONSTRUCTION LAYOUT          1257 Airport Parkway, Suite A — Greenwood, Indiana 46143          (317) — 882-5003       </div>		PROJECT CRBECK PROPERTIES AT LINVILLE BUSINESS PARK — LOT 3 CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA		SCALE 1"=30'	REVISION	DATE
		TITLE EXISTING SITE PLAN		DRAWN JPH		
				CHECKED JKS		
				CERTIFIED JKS		





- GENERAL NOTES:**
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  - CONTRACTORS SHALL CONSULT ARCHITECTURAL, PLUMBING AND ELECTRICAL PLANS FOR: INVERT ELEVATIONS AND EXACT LOCATION OF DOWNSPOUTS, WATER LINES, GAS LINES, TRANSFORMER'S PAD OR POLE, AND BUILDING DIMENSIONS.
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  - ALL PIPE LENGTHS SHOWN ON DRAWINGS ARE FOR HYDRAULIC CALCULATION PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE EXACT LENGTHS REQUIRED FOR ACTUAL INSTALLATION.
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**SITE DATA:**

**GENERAL:**  
BUILDING AREA - 29,700 S.F.  
SITE AREA - 5.05 AC.  
PROPOSED IMPERVIOUS IMPROVEMENTS - 1.47 AC.

**REQUIRED PARKING DATA:**  
PER CITY COMMERCIAL ZONING ORDINANCE SEC. 7.10  
PARKING STANDARDS  
1 PER 250 S.F. OF OFFICE SPACE  
REQUIRED PARKING: 2,800 S.F. / 250 = 12 SPACES  
APPROX. EMPLOYEE COUNT: 35 ONSITE WORKERS  
TOTAL REQUIRED PARKING 47 SPACES MINIMUM

**PROPOSED PARKING DATA:**  
STANDARD PARKING: 52 SPACES  
HANDICAP PARKING: 2 SPACE  
TOTAL PARKING: 54 SPACES

**ZONING DATA:**  
PROPOSED USE: INDUSTRIAL  
ZONING DISTRICT: IL (INDUSTRIAL: LIGHT)

**ADJACENT ZONING CLASSIFICATIONS:**  
NORTH: IL (INDUSTRIAL: LIGHT)  
WEST: IL (INDUSTRIAL: LIGHT)  
SOUTH: IG (INDUSTRIAL: GENERAL)  
EAST: IL (INDUSTRIAL: LIGHT)

**BUILDING SETBACK**  
FRONT: 50'  
SIDE: 50'  
REAR: 50'

- LEGEND :**
- OHP - EXISTING OVERHEAD POWER LINE
  - PWP - EXISTING UTILITY POLE W/ GUYWIRE
  - PED - EXISTING UTILITY PEDESTAL
  - MB - EXISTING MAILBOX
  - T - EXISTING TRAFFIC SIGN
  - SIGN - EXISTING AREA LIGHT
  - LIGHT - EXISTING CHAINLINK FENCE
  - X - EXISTING CHAINLINK FENCE
  - B.S.L. - BUILDING SETBACK LINE
  - D.&U.E. - DRAINAGE AND UTILITY EASEMENT



DATE		REVISION		SYMBOL		SCALE		PROJECT		TITLE	
						1"=30'		CRBECK PROPERTIES AT LINVILLE BUSINESS PARK - LOT 3			
								CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA			
											DIMENSIONAL PLAN

**PROJECTS plus**

GREENWOOD SURVEYING COMPANY

SEAL

JEFFERY K. SMITH  
REGISTERED  
No. 19419  
STATE OF INDIANA  
PROFESSIONAL ENGINEER  
Jeffery K. Smith  
10/29/24

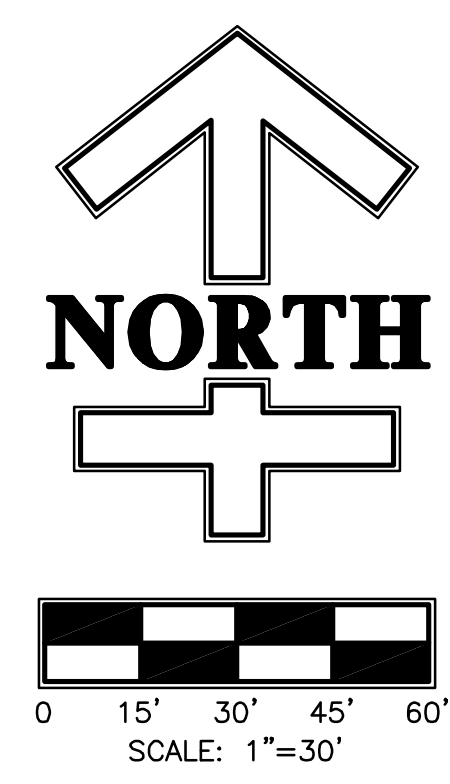
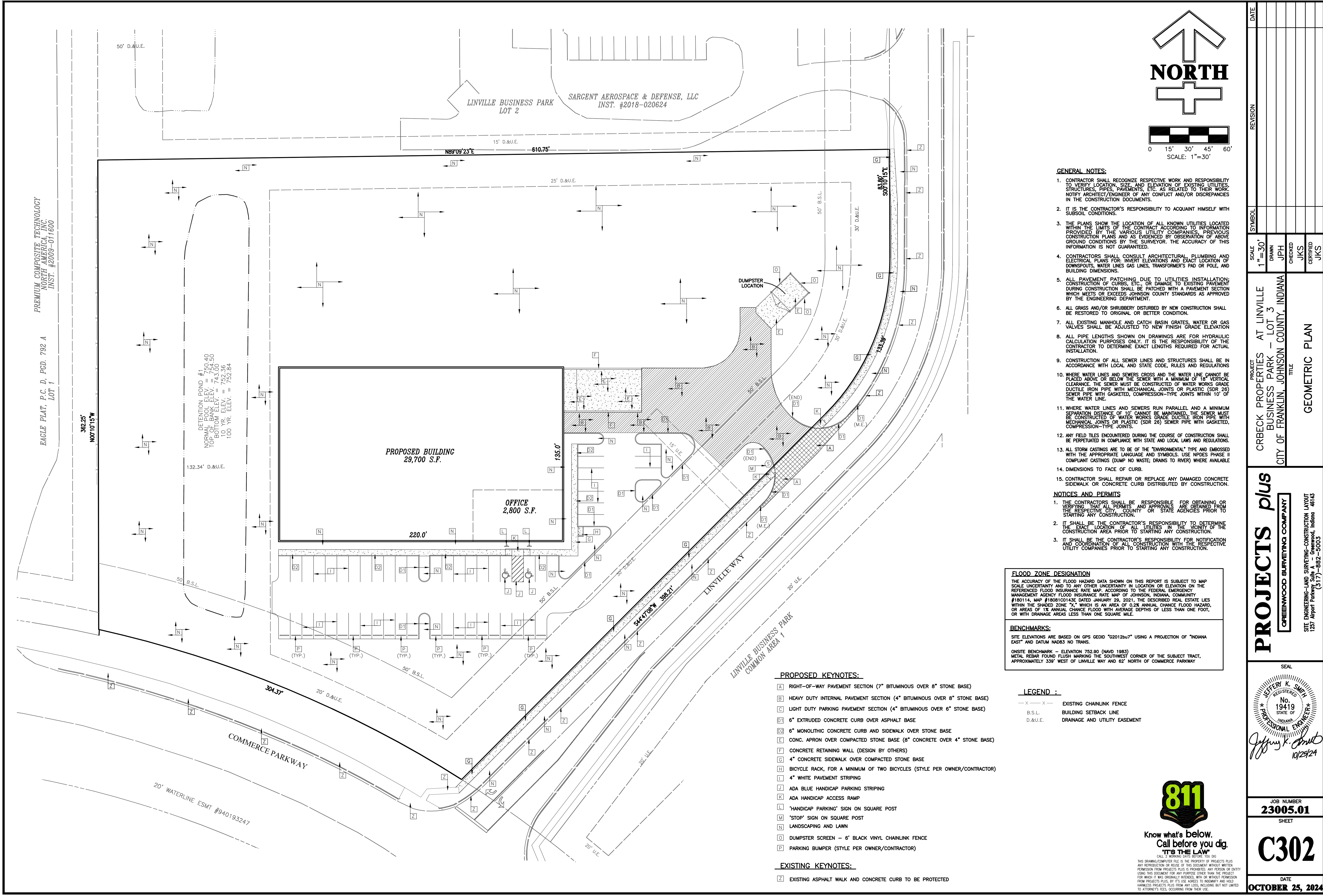
JOB NUMBER  
**23005.01**  
SHEET

**C301**

DATE  
**OCTOBER 25, 2024**

SITE ENGINEERING-LAND SURVEYING-CONSTRUCTION LAYOUT  
1257 Airport Parkway, Suite A - Greenwood, Indiana 46143  
(317)-882-5003





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  3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

**FLOOD ZONE DESIGNATION**

THE ACCURACY OF THE FLOOD HAZARD DATA SHOWN ON THIS REPORT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF JOHNSON, INDIANA, COMMUNITY #180114, MAP #18010143E DATED JANUARY 29, 2021, THE DESCRIBED REAL ESTATE LIES WITHIN THE SHADED ZONE "X," WHICH IS AN AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD, OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN ONE FOOT, OR WITH DAMAGE AREAS LESS THAN ONE SQUARE MILE.

**BENCHMARKS:**

SITE ELEVATIONS ARE BASED ON GPS GEOID "G2012bu7" USING A PROJECTION OF "INDIANA EAST" AND DATUM NAD83 NO TRANS.

ON SITE BENCHMARK - ELEVATION 752.90 (NAVD 1983)

METAL REBAR FOUND FLUSH MARKING THE SOUTHWEST CORNER OF THE SUBJECT TRACT, APPROXIMATELY 339' WEST OF LINVILLE WAY AND 62' NORTH OF COMMERCE PARKWAY

- PROPOSED KEYNOTES:**
- [A] RIGHT-OF-WAY PAVEMENT SECTION (7" BITUMINOUS OVER 8" STONE BASE)
  - [B] HEAVY DUTY INTERNAL PAVEMENT SECTION (4" BITUMINOUS OVER 8" STONE BASE)
  - [C] LIGHT DUTY PARKING PAVEMENT SECTION (4" BITUMINOUS OVER 6" STONE BASE)
  - [D1] 6" EXTRUDED CONCRETE CURB OVER ASPHALT BASE
  - [D2] 6" MONOLITHIC CONCRETE CURB AND SIDEWALK OVER STONE BASE
  - [E] CONC. APRON OVER COMPACTED STONE BASE (8" CONCRETE OVER 4" STONE BASE)
  - [F] CONCRETE RETAINING WALL (DESIGN BY OTHERS)
  - [G] 4" CONCRETE SIDEWALK OVER COMPACTED STONE BASE
  - [H] BICYCLE RACK, FOR A MINIMUM OF TWO BICYCLES (STYLE PER OWNER/CONTRACTOR)
  - [I] 4" WHITE PAVEMENT STRIPING
  - [J] ADA BLUE HANDICAP PARKING STRIPING
  - [K] ADA HANDICAP ACCESS RAMP
  - [L] 'HANDICAP PARKING' SIGN ON SQUARE POST
  - [M] 'STOP' SIGN ON SQUARE POST
  - [N] LANDSCAPING AND LAWN
  - [O] DUMPSTER SCREEN - 6" BLACK VINYL CHAINLINK FENCE
  - [P] PARKING BUMPER (STYLE PER OWNER/CONTRACTOR)
- EXISTING KEYNOTES:**
- [Z] EXISTING ASPHALT WALK AND CONCRETE CURB TO BE PROTECTED

- LEGEND :**
- x-x- EXISTING CHAINLINK FENCE
  - B.S.L. BUILDING SETBACK LINE
  - D.&U.E. DRAINAGE AND UTILITY EASEMENT

**811**

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DATE		REVISION		SYMBOL		SCALE		PROJECT		TITLE	
						1"=30'		CRBECK PROPERTIES	AT LINVILLE		
								BUSINESS PARK - LOT 3			
								CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA			
										GEOMETRIC PLAN	

**PROJECTS plus**

**GREENWOOD SURVEYING COMPANY**

SEAL

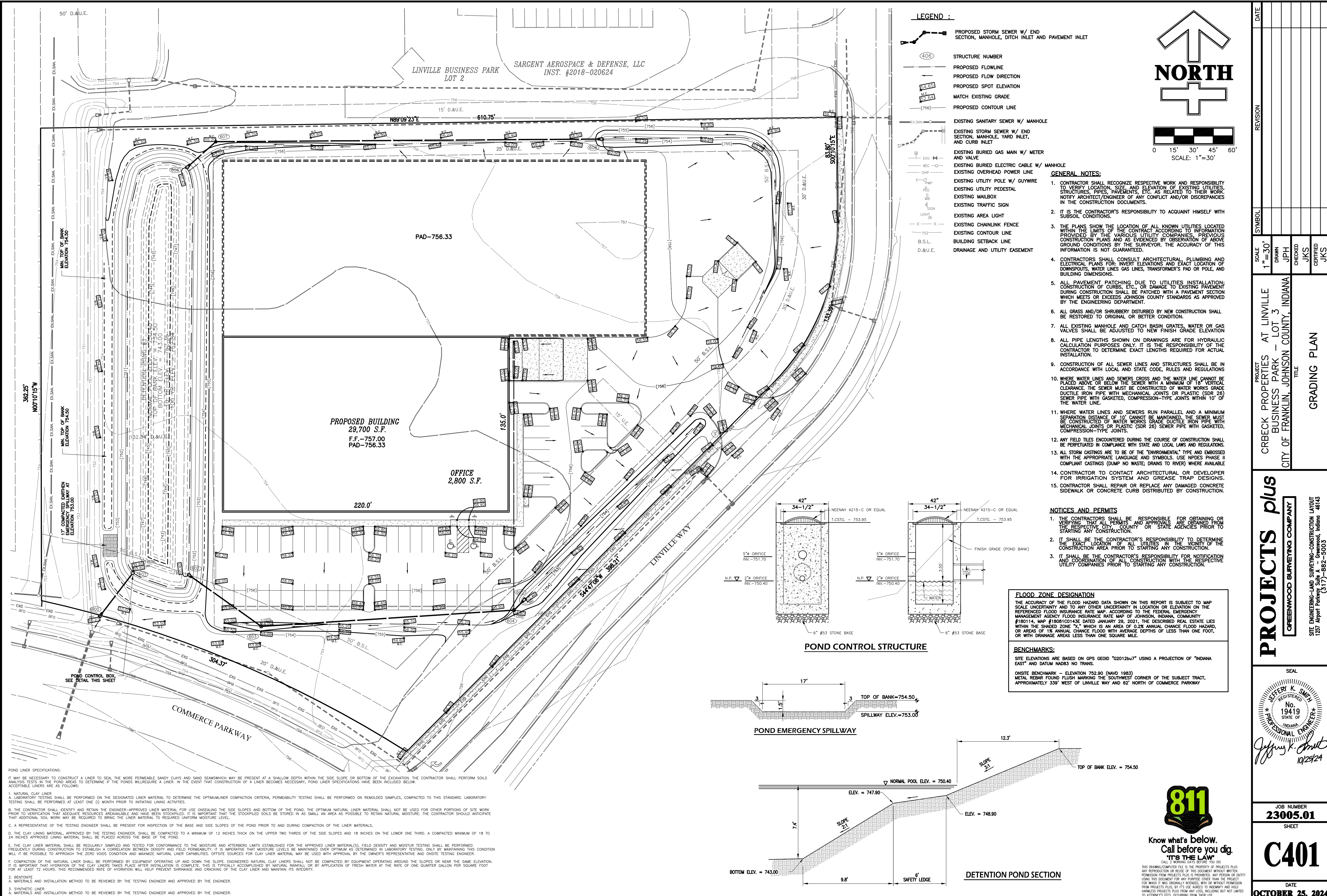
JEFFERY K. SMITH  
REGISTERED  
No. 19419  
STATE OF INDIANA  
PROFESSIONAL ENGINEER  
Jeffery K. Smith  
10/29/24

JOB NUMBER  
**230005.01**  
SHEET

**C302**

DATE  
**OCTOBER 25, 2024**





<h1>PROJECTS <i>plus</i></h1> <div style="border: 1px solid black; padding: 2px; display: inline-block;"> <b>GREENWOOD SURVEYING COMPANY</b> </div>		SITE ENGINEERING - LAND SURVEYING - CONSTRUCTION LAYOUT 1257 Highway 39, Suite A, Greencastle, Indiana 46143 (317) - 882 - 5003	
		SEAL	
JOB NUMBER <b>23005.01</b>		SHEET	
<h1>C401</h1>		DATE <b>OCTOBER 25, 2024</b>	



INDEX OF REQUIRED INFORMATION FOR CONSTRUCTION STORM WATER POLLUTION PREVENTION FOR CRBECK PROPERTIES AT LINVILLE BUSINESS PARK - LOT 3

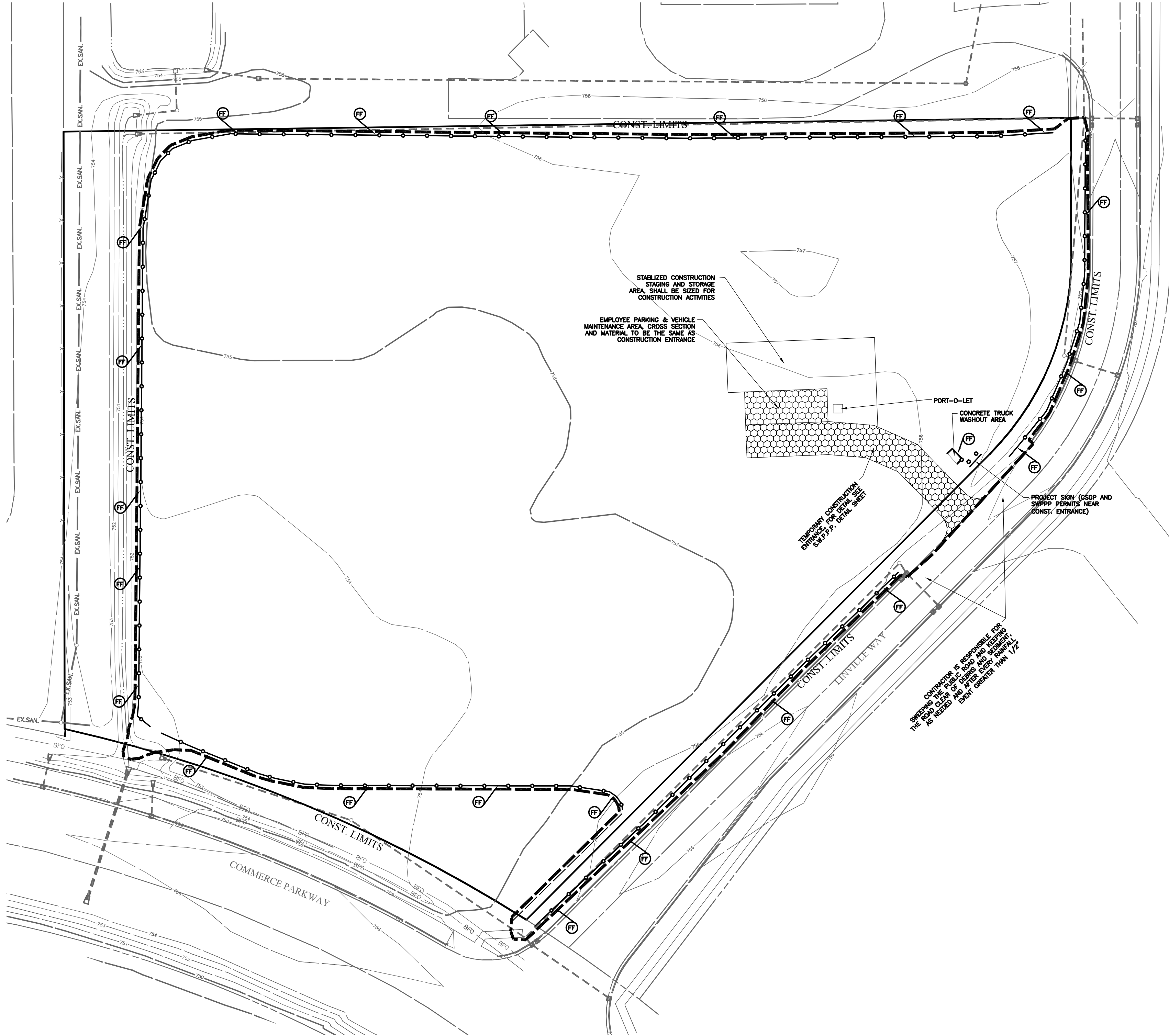
EROSION CONTROL PLAN INDEX											
ELEMENT SHEET			ELEMENT SHEET			ELEMENT SHEET			ELEMENT SHEET		
A1	C501		A12	C501		A23	C501		B1	C501-C503,C801	
A2	C101		A13	N/A		A24	C501		B2	C501-C503,C801	B13
A3	C501		A14	N/A		A25	C501		B3	C501-C503,C801	B14
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A5	C101		A16	C501		A27	C401		B5	C501-C503,C801	
A6	ATTACHED		A17	N/A		A28	C401		B6	C501-C503,C801	C1
A7	C201		A18	C501		A29	C502		B7	C501-C503,C801	C2
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A10	C501		A21	C501					B10	C501-C503,C801	C5
A11	C501		A22	C501					B11	C501-C503,C801	C6

- A2. VICINITY MAP ON TITLE SHEET - SEE SHEET C101
- A3. CRBECK PROPERTIES AT LINVILLE BUSINESS PARK - LOT 3 IS LOCATED AT 91 LINVILLE WAY, FRANKLIN, IN 46131. THE SITE IS A PROPOSED INDUSTRIAL DEVELOPMENT ON 5.05 ACRES. IMPROVEMENTS SHALL CONSIST OF CONSTRUCTION OF AN COMMERCIAL BUILDING, STORM SEWER, SMOLES, ASPHALT PAVEMENT, CONCRETE CURBS, CONCRETE POND AND EARTH WORK.
- A4. LATITUDE: N32°30'21" LONGITUDE: W85°03'07"
- A5. LEGAL DESCRIPTION ON TITLE SHEET - SEE SHEET C101
- A6. LEGAL DESCRIPTION - SE 1/4 SECTION 2, TOWNSHIP 12 NORTH, RANGE 4 EAST, SEE FULL LEGAL DESCRIPTION ON SHEET C101
- A7. ANY 100 YEAR FLOODPLAINS, FLOODWAYS OF FLOODWAY FRINGES ARE PER FEMA FLOOD INSURANCE RATE MAP OF JOHNSON COUNTY, INDIANA, MAP #18081C0143E, DATED JANUARY 29, 2021, AND ARE SHOWN ON PLANS - SEE SHEET(S) C201.
- A8. LAND USE OF ADJACENT PROPERTIES:  
NORTH: INDUSTRIAL, SOUTH: INDUSTRIAL  
WEST: INDUSTRIAL, EAST: INDUSTRIAL
- A9. TOTAL MAXIMUM DAILY LOAD POLLUTANT AREA: YOUNG'S CREEK, NO TMDL LISTED
- A10. RECEIVING WATERS: YOUNG'S CREEK
- A11. IDENTIFICATION OF DISCHARGE TO A WATER ON CURRENT LIST OF IMPAIRED WATER AND POLLUTANTS: YOUNG'S CREEK, ASSESSMENT UNIT D: INW463, T108, WATERBODY CONDITION: IMPAIRED CONDITION, WQSD LISTED: YES, ESCHERICHIA COLI (E. COLI) H4C12: 051202040803
- A12. SOIL MAP LOCATED ON STORM SEWER POLLUTION PREVENTION PLAN - SEE SHEET C801
- A13. NO WETLANDS EXIST ON SITE
- A14. NO STATE OR FEDERAL WATER QUALITY PERMITS ARE REQUIRED FOR THIS PROJECT.
- A15. EXISTING SITE IS AN OPEN FIELD - SEE SHEET(S) C201
- A16. EXISTING SITE TOPOGRAPHY SHOWN ON EXISTING SITE CONDITION PLAN(S) - SEE SHEET(S) C201
- A17. NO EXISTING RUN-OFF FROM OFFSITE IS RECEIVED.
- A18. STORM WATER WILL DISCHARGE FROM EAST TO WEST TO AN ONSITE DETENTION POND, RELEASING SOUTHWEST, ULTIMATELY RELEASING TO YOUNG'S CREEK WATERSHED - SEE SHEET(S) C501
- A19. EXISTING SITE IMPROVEMENTS, INCLUDING ANY BUILDING(S), POND(S) AND OTHER EXISTING INFRASTRUCTURE IS SHOWN ON EXISTING SITE CONDITION PLAN(S) - SEE SHEET(S) C201
- A20. A EXISTING PERMANENT DETENTION IS SHOWN OFFSITE, NORTH OF SITE
- A21. THE OFFSITE DETENTION POND IS THE ONLY POTENTIAL AREA WHERE DISCHARGE WILL ENTER GROUNDWATER.
- A22. TOTAL ACREAGE: 5.05 AC
- A23. PROPOSED LAND DISTURBANCE: 4.77 AC
- A24. PROPOSED FINAL SITE TOPOGRAPHY SHOWN ON PROPOSED SITE CONDITION PLAN(S) - SEE SHEET(S) C401
- A25. BOUNDARY OF DISTURBED AREA SHOWN ON PLANS - SEE SHEET(S) C501
- A26. THE STORM WATER SYSTEMS ARE SHOWN ON PLANS - SEE SHEET(S) C501
- A27. STORM WATER WILL DISCHARGE FROM THE SITE INTO AN ONSITE DETENTION FACILITY, RELEASING TO THE SOUTHWESTERLY - SEE SHEET(S) C401
- A28. IMPROVEMENTS SHOWN ON PROPOSED SITE CONDITION(S) - SEE SHEET(S) C401
- A29. ALL NECESSARY SOIL STOCKPILE, BORROW AND DISPOSAL AREAS (IF SHOWN) ARE SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN - SEE SHEET(S) C502.
- A30. NOT REQUIRED.
- A31. NOT REQUIRED.

- B1. POTENTIAL STORM WATER POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITY INCLUDE GASOLINE, OIL AND OTHER FLUIDS FROM CONSTRUCTION EQUIPMENT, CONCRETE, ASPHALT AND SEDIMENT LOSEN RUNOFF. CONTRACTOR SHALL ESTABLISH AN EMPLOYEE PARKING AREA AND VEHICLE MAINTENANCE AREA AS SHOWN ON THE PLANS. A PROPER CONCRETE WASHOUT AREA SHALL ALSO BE ESTABLISHED AS SHOWN ON THE PLANS(S). THIS WASHOUT PIT SHALL MEET REQUIREMENTS SET FORTH IN THE CURRENT I.S.W.Q.M. FOR DETAIL OF WASHOUT PIT SEE SHEET C801
- B2. A CONSTRUCTION ENTRANCE LOCATION IS SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN(S) - SEE SHEET(S) C501-C503, FOR SPECIFICATIONS AND DETAILS REGARDING THE ENTRANCE IS SHOWN STORM WATER POLLUTION PREVENTION DETAIL SHEET, SEE SHEET C801
- B3. SURFACE STABILIZATION METHODS SHOWN ON STORM WATER POLLUTION PREVENTION SHEET(S). SEE SHEET(S) C501-C503, FOR DETAIL. SEE GENERAL NOTE ON THE STORM WATER POLLUTION PREVENTION SHEET(S), CONTRACTOR SHALL INSTALL THE REQUIRED SEEDING, MULCH BLANKETS OR OTHER SURFACE STABILIZATION MEASURES SHOWN ON THE PLANS(S).
- B4. SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN(S) - SEE SHEET(S) C501-C503, DETAIL ON SHEET C801. CONTRACTOR TO GRADE OVERSANDARY DITCHES TO CHANNEL WATER AS CONSTRUCTION PROCEEDS SO THAT SEDIMENT IS NOT ALLOWED TO FLOW UNFILTER. NORTH AMERICAN GREEN SC-150 SHALL BE UTILIZED.
- B5. SEDIMENT CONTROL MEASURES FOR SHEET-FLOW SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN(S) - SEE SHEET(S) C501-C503, DETAIL ON SHEET C801. CONTRACTOR TO ENSURE ALL REQUIRED MEASURES OF FILTER FENCE ARE INSTALLED AND REQUIRED VEGETATIVE FILTER STRIPS ARE MAINTAINED.
- B6. RUNOFF CONTROL MEASURES ARE SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN(S), SEE SHEET(S) C501-C503, FOR DETAILS SHEET C801. CONTRACTOR SHALL INSTALL ALL DIVERSIONS, TEMPORARY SLOPE DRAIN OR OTHER REQUIRED RUNOFF CONTROL MEASURES SHOWN ON THE PLANS(S).
- B7. STORM WATER OUTLET PROTECTION MEASURES ARE SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN(S), SEE SHEET(S) C501-C503, FOR DETAILS SHEET C801. CONTRACTOR SHALL INSTALL ALL RIPRAP SLOPE PROTECTION OR OTHER REQUIRED RUNOFF CONTROL MEASURES SHOWN ON THE PLANS(S).
- B8. NO GRADE STABILIZATION MEASURES IS NECESSARY.
- B9. NO DRAINAGE MEASURES IS NECESSARY.
- B10. NO IN-STREAM ACTIVITIES IS NECESSARY.
- B11. INDIVIDUAL TEMPORARY STORM WATER QUALITY MEASURES INCLUDING FILTER FENCING, CONSTRUCTION ENTRANCE, SEEDING AND BLANKETS ARE SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN(S), SEE SHEET(S) C501-C503, FOR DETAILS, SEE SHEET C801. PERMANENT VEGETATIVE COVER WITH A UNIFORM DENSITY OF 70% IS REQUIRED BEFORE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. TEMPORARY STORM SEWER INLET PROTECTION MEASURES INCLUDING TEMPORARY BASKET INSERTS, FILTER INSERTS, FILTER SLEEVES/TUBES, WIRE BASKETS OR OTHER REQUIRED INLET PROTECTION MEASURES ARE SHOWN ON STORM SEWER POLLUTION PREVENTION PLAN(S), SEE SHEET(S) C501-C503, FOR DETAILS, SEE SHEET C801.
- B12. PERMANENT SURFACE STABILIZATION METHODS INCLUDING THE REQUIRED SEEDING, MULCH BLANKETS OR OTHER SURFACE STABILIZATION MEASURES ARE SHOWN ON THE STORM WATER POLLUTION PREVENTION SHEET(S), SEE SHEET(S) C501-C503, FOR DETAIL. SEE GENERAL NOTE ON THE STORM WATER POLLUTION PREVENTION SHEET(S).
- B13. NO EROSION CONTROL FOR INDIVIDUAL BUILDING LOTS CONSTRUCTION REQUIRED
- B14. MATERIAL HANDLING AND SPILL PREVENTION ASSOCIATED WITH CONSTRUCTION ACTIVITY SHALL MEET THE SPILL PREVENTION AND SPILL RESPONSE REQUIREMENTS IN 327 IAC 2-6.1. FULL EMERGENCY PLAN IS SHOWN ON STORM WATER POLLUTION PREVENTION DETAIL SHEET, SEE SHEET C801. ALL MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH GUIDELINES SET FORTH IN MATERIAL SAFETY DATA SHEET(S) PROVIDED BY MANUFACTURER.
- B15. MATERIAL HANDLING AND STORAGE PROCEDURES ASSOCIATED WITH WATER MATERIAL FROM CONSTRUCTION ACTIVITY, INCLUDING CONCRETE WASHOUT, DUMPSTER AND ANY OTHER REQUIRED ITEMS ARE SHOWN ON THE STORM WATER POLLUTION PREVENTION SHEET(S), SEE SHEET(S) C501-C503, FOR DETAILS, SEE SHEET C801.

- C1. EXPECTED POLLUTANTS ASSOCIATED WITH THE PROPOSED LAND USE INCLUDE FLUIDS FROM VEHICULAR TRAFFIC (I.E. OIL, GREASE, ANTIFREEZE, GASOLINE, ETC.), SAND AND GRIT FROM ROADWAY SURFACES AND SUBSTANCES ASSOCIATED WITH THE MAINTENANCE OF LAWNS AND GARDENS. THE ONLY OTHER REASONABLY FORESEEN POLLUTION FROM THIS SITE WILL BE MINIMAL AMOUNT OF LITTER AND TRASH FROM IMPROPER DISPOSAL.
- C2. POST-CONSTRUCTION STORM WATER QUALITY WILL BE ACCOMPLISHED BY ROUTING THE SITE RUNOFF THROUGH A DRY DETENTION POND DESIGNED TO DETAIN, FOR AT LEAST 24 HOURS AFTER PEAK RUNOFF, 20% OF THE RUNOFF GENERATED FROM EITHER A 1-1/4" STORM EVENT OR 1/2" OF DIRECT RUNOFF, WHICHEVER IS GREATER. THE DETENTION FACILITY ACTS AS A PERMANENT STORMWATER CONTROL STRUCTURE PROVIDING BOTH DETENTION AND TREATMENT OF CONTAMINATED STORMWATER RUNOFF. THE POND'S NATURAL PHYSICAL, BIOLOGICAL, AND CHEMICAL PROCESSES THEN WORK TO REMOVE POLLUTANTS. SEDIMENTATION PROCESSES REMOVE PARTICULATES, ORGANIC MATTER, AND METALS, WHILE DISSOLVED METALS AND NUTRIENTS ARE REMOVED THROUGH BIOLOGICAL UPTAKE. FURTHER MAINTENANCE INCLUDES SWEEPING OF ALL PAVED SURFACES AS WELL AS COLLECTION OF ANY LITTER. ALL DRAINAGE SWALES AND GREEN SPACES WILL BE MAINTAINED WITH REGULAR MOWING DURING GROWING SEASONS.
- C3. ALL WATER QUALITY BMP MEASURES (I.E. STORM WATER QUALITY STRUCTURES, SEDIMENT FOREBAYS, OUTLET STRUCTURES AND DETENTION POND BASINS) ARE SHOWN ON STORM WATER POLLUTION PREVENTION PLAN(S)
- C4. WATER QUALITY MEASURES (I.E. STRUCTURES AND NON-STRUCTURAL) ARE IDENTIFIED ON THE STORM SEWER POLLUTION PREVENTION PLAN(S), SEE SHEET(S) C502-C503
- C5. MAINTENANCE OF ALL STORM WATER POLLUTION PREVENTION MEASURES WILL BE THE RESPONSIBILITY OF THE PROJECT OWNER UTILIZING PROCEDURES OUTLINED ON THESE PLAN(S). ANY GRASSSED OR VEGETATED AREAS THAT EXPERIENCE EROSION FROM RAINFALL EVENTS SHOULD BE REPAIRED AND REVEGETATED AS SOON AS POSSIBLE.

- A. DETENTION PONDS BANK EROSION SHOULD BE ADDRESSED AS SOON AS IT BECOMES VISIBLE BY FILLING THE ERODED AREA WITH SUITABLE SOIL AND ESTABLISHING VEGETATION IMMEDIATELY, PREFERABLY BY SOODING. THE SAME MEASURE SHOULD BE USED FOR STEEP BANKS OR ANY BERMS OR SWALES. THE PONDS SHOULD ALSO BE MONITORED FOR SEDIMENT. IF THE BOTTOM OF THE POND RECEIVED SIGNIFICANT SEDIMENT (LESS THAN 2 FEET DEEP), THE SEDIMENT SHOULD BE REMOVED AND REPLACED ONSITE. AN ENGINEER SHOULD BE CONTACTED TO IDENTIFY THE SOURCE AND RECOMMEND REPAIRS.
- B. POND OUTLET CONTROL STRUCTURE(S) AND OUTLET PIPES SHALL BE INSPECTED FREQUENTLY AND AFTER HEAVY RAIN EVENTS FOR ANY FAILURES. THE DOWNSTREAM OUTLET CONDITION INCLUDING EROSION SHALL ALSO BE INSPECTED. ANY AREAS OF EXCESS EROSION OR DEBRIS SHALL BE CORRECTED TO ORIGINAL DESIGN. INSPECTION SHALL INCLUDE INSPECTION OF ANY END SECTIONS, ORIFICES, CASTINGS AND STRUCTURES. THE INTEGRITY OF THE CONTROL STRUCTURE SHALL BE CHECKED TO ENSURE PROPER FUNCTIONALITY TO PREVENT ANY POTENTIAL DOWNSTREAM ISSUES. IF ANY ISSUES OCCUR AN ENGINEER SHOULD BE CONTACTED TO IDENTIFY THE SOURCE AND RECOMMEND REPAIRS.
- C. STORM SEWERS WATER QUALITY STRUCTURES SHALL BE INSPECTED ANNUALLY FOR ANY FAILURES. GROUND SEDIMENT THAT COLLECTS IN ANY STORM SEWER SHALL BE REMOVED; INSPECTIONS SHOULD BE PERFORMED MONTHLY AND MORE OFTEN IN AREAS WHERE THERE IS A HIGHER POTENTIAL FOR SEDIMENT TO ACCUMULATE. THIS EXCESS DEBRIS SHALL BE REMOVED. INLET CATCH BASINS (IE CURB AND YARD INLETS) SHOULD BE INSPECTED FOR SEDIMENT DEPTH. THE MAXIMUM DEPTH SHALL BE 1/4 OF THE PIPE DIAMETER, WITH A MAXIMUM OF 6". ANY DAMAGED, FAILING OR MISSING STORM SEWER CASTINGS OR STRUCTURES SHALL BE REPLACED.
- D. RESPONSIBLE FOR OPERATIONS AND MAINTENANCE:  
CHRIS DUKE  
LUTE HOMES, LLC  
3567 E. 700 N.  
WHITELAND, IN 46184  
PHONE: 317-474-0088  
CDUKE11@AOL.COM

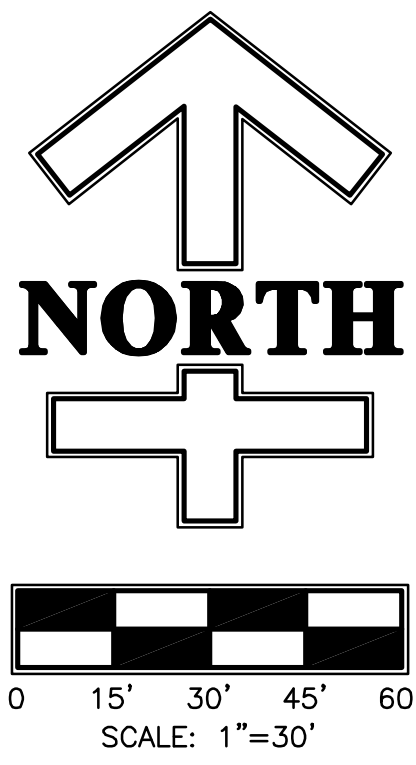


- LEGEND :**
- EXISTING SANITARY SEWER W/ MANHOLE
  - EXISTING STORM SEWER W/ END SECTION, MANHOLE, YARD INLET, AND CURB INLET
  - EXISTING CONTOUR LINE
  - FILTER FENCE

- GENERAL NOTES:**
1. FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE SEED. THEY SHALL BE MIXED INTO THE TOP 2" OF SOIL WITH A DISK HARROW, ROLLER, TILLER, OR OTHER APPROVED EQUIPMENT. FERTILIZER SHALL BE SPREAD AT THE RATE OF 400 POUNDS PER ACRE, AND AGRICULTURAL LIMESTONE AT THE RATE OF 1/2 TON PER ACRE UNLESS OTHERWISE SPECIFIED.
  2. TEMPORARY SEEDING: THE AREAS WHERE STRIPPING, CUTS OR FILLS HAVE BEEN GRADED SHALL BE SEED FOR SILT AND EROSION PROTECTION WITH ONE OF THE FOLLOWING METHODS:
    - A. EARLY SPRING MIX: 100% OATS SEEDING RATE: 50 LBS./ACRE
    - B. SPRING OR LATE FALL MIX: 100% ANNUAL RYE SEEDING RATE: 50 LBS./ACRE
    - C. FALL MIX: 100% PERENNIAL RYE SEEDING RATE: 50 LBS./ACRESTRAW OR MULCH AS APPROVED BY THE ENGINEER SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.
  3. MULCH-SEEDING SHALL BE AS PER I.S.W.Q.M. SPECIFICATIONS, DATED OCTOBER 2007. FERTILIZER SHALL BE 12-12-12 APPLIED AT THE RATE OF 400 POUNDS PER ACRE. SEED MIXTURE SHALL BE 60 POUNDS PER ACRE OF PERENNIAL RYE GRASS AND 60 POUNDS PER ACRE OF KENTUCKY 31 FESCUE OR ALTA FESCUE.
  4. WATER QUALITY MAINTENANCE-- AT THE COMPLETION OF CONSTRUCTION ALL EXCESS SOIL AND OTHER MATERIAL SHALL BE REMOVED FROM THE SITE. TO ENSURE PROPER WATER QUALITY THE SITE AND ITS STORM WATER CONVEYANCE FACILITIES SHALL BE INSPECTED AT REGULAR INTERVALS AND AFTER ALL MAJOR RAIN EVENTS. THE STORM WATER CONVEYANCE SYSTEMS SHALL BE KEPT FREE OF DEBRIS AND FLUIDS THAT COULD POTENTIALLY POLLUTE STORM WATER RUNOFF.
  5. PROJECT SITE OWNER OR THEIR REPRESENTATIVE, KNOWLEDGEABLE IN EROSION AND SEDIMENT CONTROL, SHALL INSPECT THE SITE FOR STORM WATER POLLUTION PREVENTION DEFICIENCIES AT LEAST WEEKLY AND AGAIN WITHIN 24 HOURS OF EVERY 1/2 INCH RAIN EVENT.
  6. ALL HAZARDOUS MATERIALS USED DURING THE CONSTRUCTION OF THIS SITE SHALL BE HANDLED AT ALL TIMES ACCORDING TO RECOMMENDATIONS IN THE MATERIAL SAFETY DATA SHEETS PROVIDED BY THE MANUFACTURER. SITE CONTRACTOR TO IMPLEMENT A SPILL PREVENTION PLAN PRIOR TO START OF CONSTRUCTION.
  7. ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL" AND THE SCS "FIELD OFFICE TECHNICAL GUIDE".

- NOTICES AND PERMITS**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY OR STATE AGENCIES PRIOR TO STARTING ANY CONSTRUCTION.
  2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING ANY CONSTRUCTION.
  3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

- NOTES:**
1. ALL EROSION CONTROL MEASURES INDICATED SHALL BE MAINTAINED BY THE CONTRACTOR AND OWNER
  2. THE CITY OF FRANKLIN RESERVES THE RIGHT TO REQUIRE ADDITIONAL ONSITE CONTROLS AS DEEMED NECESSARY TO MAINTAIN COMPLIANCE WITH 327 IAC 15-5 (RULE 5) AND THE CITY'S STORMWATER MANAGEMENT ORDINANCE. ALL EROSION AND SEDIMENT CONTROL, BEST MANAGEMENT PRACTICES AND POLLUTION PREVENTION MEASURES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE INDIANA STORMWATER QUALITY MANUAL.
  3. FOR EROSION CONTROL IMPLEMENTATION AND MAINTENANCE SCHEDULE SEE "EROSION CONTROL REQUIREMENTS" ON SHEET NO. C801
  4. ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL" AND THE SCS "FIELD OFFICE TECHNICAL GUIDE".
  5. THE OWNER SHALL REQUEST A INSPECTION FROM THE CITY PRIOR TO SUBMITTING THE NOTICE OF TERMINATION (NOT) TO IDEM



DATE	
REVISION	
SYMBOL	
SCALE	1"=30'
PROJECT	CRBECK PROPERTIES AT LINVILLE BUSINESS PARK - LOT 3
DRAWN	JPH
CHECKED	JKS
CERTIFIED	JKS
TITLE	STORM WATER POLLUTION PREVENTION PLAN (INITIAL PRE CONST.)

**PROJECTS plus**

**GREENWOOD SURVEYING COMPANY**

SEAL

JEFFERY K. SHULTS  
REGISTERED  
No. 19419  
STATE OF INDIANA  
PROFESSIONAL ENGINEER

Jeffery K. Shults  
10/29/24

JOB NUMBER  
**23005.01**  
SHEET

**C501**

DATE  
**OCTOBER 25, 2024**

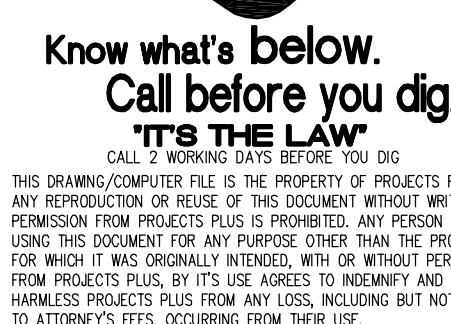
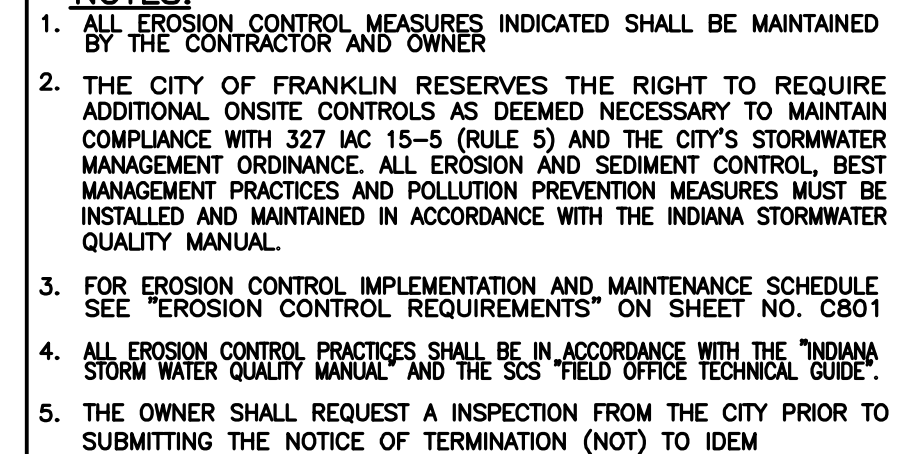
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<div><div>PROJECTS</div><div>plus</div><div>GREENWOOD SURVEYING COMPANY</div></div> <div>SITE ENGINEERING-LAND SURVEYS-CONSTRUCTION LAYOUT 1257 NORTH Farmington Road, Suite 900, Indianapolis, Indiana 46163 (317)---882-5003</div>			<div>PROJECT</div> <div>CRBECK PROPERTIES AT LINVILLE BUSINESS PARK - LOT 3 CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA</div>		<div>SCALE</div> <div>1"=30'</div>	<div>SYMBOL</div>	<div>REVISION</div>	<div>DATE</div>
		<div>TITLE</div> <div>STORM WATER POLLUTION PREVENTION PLAN (CONSTRUCTION/GRADING PHASE)</div>	<div>CHECKED</div> <div>JPH</div>					
			<div>JKS</div>					
			<div>CERTIFIED</div>					
			<div>JKS</div>					

SEAL

JEFFERY K. SMITH

REGISTERED

No. 19419

STATE OF INDIANA

PROFESSIONAL ENGINEER

Jeffery K. Smith

10/29/24

JOB NUMBER

23005.01

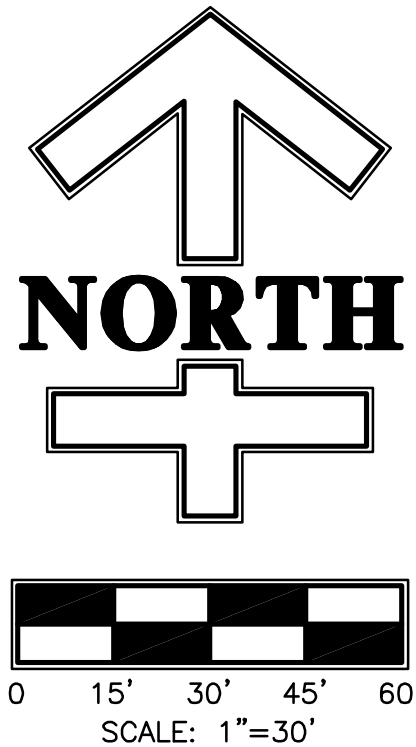
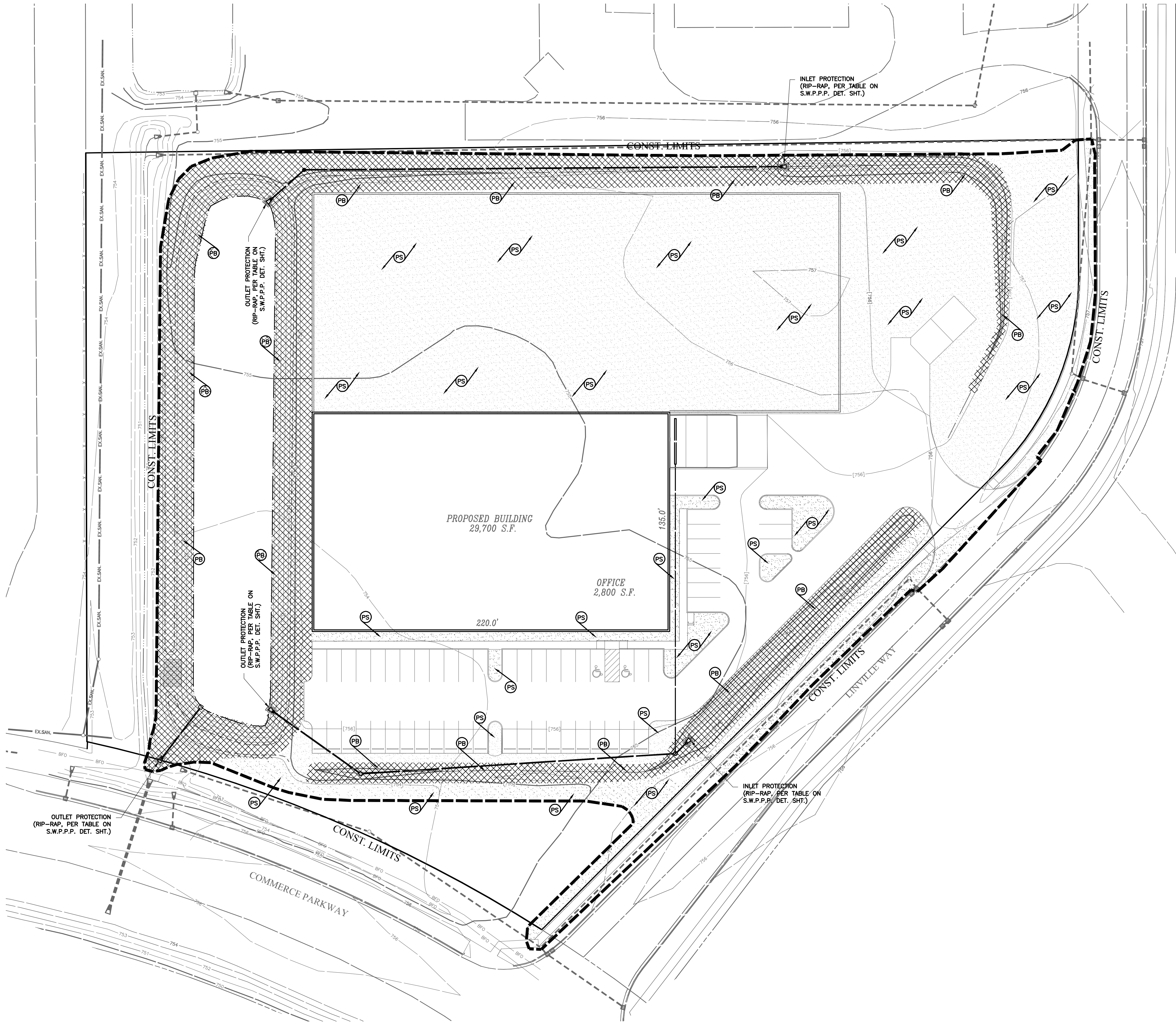
SHEET

C502

DATE

OCTOBER 25, 2024





#### LEGEND :

- PROPOSED STORM SEWER W/ END SECTION, MANHOLE, DITCH INLET AND CURB INLET
- EXISTING SANITARY SEWER W/ MANHOLE
- EXISTING STORM SEWER W/ END SECTION, MANHOLE, YARD INLET, AND CURB INLET
- EXISTING CONTOUR LINE
- PERMANENT SEEDING WITH NORTH AMERICAN GREEN SC-150 BLANKET OR EQUIVALENT
- PERMANENT SEEDING

#### GENERAL NOTES:

- FERTILIZER AND AGRICULTURAL LIMESTONE SHALL BE SPREAD UNIFORMLY OVER THE AREA TO BE SEED. THEY SHALL BE MIXED INTO THE TOP 2" OF SOIL WITH A DISK HARROW, ROTARY TILLER, OR OTHER APPROVED EQUIPMENT. FERTILIZER SHALL BE SPREAD AT THE RATE OF 400 POUNDS PER ACRE, AND AGRICULTURAL LIMESTONE AT THE RATE OF 1/2 TON PER ACRE UNLESS OTHERWISE SPECIFIED.
- TEMPORARY SEEDING: THE AREAS WHERE STRIPPING, CUTS OR FILLS HAVE BEEN GRADED SHALL BE SEED FOR SILT AND EROSION PROTECTION WITH ONE OF THE FOLLOWING METHODS:
  - EARLY SPRING MIX: 100% OATS SEEDING RATE: 50 LBS./ACRE
  - SPRING OR LATE FALL MIX: 100% ANNUAL RYE SEEDING RATE: 50 LBS./ACRE
  - FALL MIX: 100% PERENNIAL RYE SEEDING RATE: 50 LBS./ACRESTRAW OR MULCH AS APPROVED BY THE ENGINEER SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.
- MULCH-SEEDING: MULCH-SEEDING SHALL BE AS PER I.S.W.Q.M. (SPECIFICATIONS, DATED OCTOBER 2007). FERTILIZER SHALL BE 12-12-12 APPLIED AT THE RATE OF 400 POUNDS PER ACRE. SEED MIXTURE SHALL BE 60 POUNDS PER ACRE OF PERENNIAL RYE GRASS AND 60 POUNDS PER ACRE OF KENTUCKY 31 FESCUE OR ALTA FESCUE.
- WATER QUALITY MAINTENANCE- AT THE COMPLETION OF CONSTRUCTION ALL EXCESS SOIL AND OTHER MATERIAL SHALL BE REMOVED FROM THE SITE. TO ENSURE PROPER WATER QUALITY THE SITE AND ITS STORM WATER CONVEYANCE FACILITIES SHALL BE INSPECTED AT REGULAR INTERVALS AND AFTER ALL MAJOR RAIN EVENTS. THE STORM WATER CONVEYANCE SYSTEMS SHALL BE KEPT FREE OF DEBRIS AND FLUIDS THAT COULD POTENTIALLY POLLUTE STORM WATER RUNOFF.
- PROJECT SITE OWNER OR THEIR REPRESENTATIVE, KNOWLEDGEABLE IN EROSION AND SEDIMENT CONTROL, SHALL INSPECT THE SITE FOR STORM WATER POLLUTION PREVENTION DEFICIENCIES AT LEAST WEEKLY AND AGAIN WITHIN 24 HOURS OF EVERY 1/2 INCH RAIN EVENT.
- ALL HAZARDOUS MATERIALS USED DURING THE CONSTRUCTION OF THIS SITE SHALL BE HANDLED AT ALL TIMES ACCORDING TO RECOMMENDATIONS IN THE MATERIAL SAFETY DATA SHEETS PROVIDED BY THE MANUFACTURER. SITE CONTRACTOR TO IMPLEMENT A SPILL PREVENTION PLAN PRIOR TO START OF CONSTRUCTION.
- ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL" AND THE SCS "FIELD OFFICE TECHNICAL GUIDE".

#### NOTICES AND PERMITS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY OR STATE AGENCIES PRIOR TO STARTING ANY CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING ANY CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO STARTING ANY CONSTRUCTION.

#### NOTES:

- ALL EROSION CONTROL MEASURES INDICATED SHALL BE MAINTAINED BY THE CONTRACTOR AND OWNER.
- THE CITY OF FRANKLIN RESERVES THE RIGHT TO REQUIRE ADDITIONAL ONSITE CONTROLS AS DEEMED NECESSARY TO MAINTAIN COMPLIANCE WITH 327 IAC 15-5 (RULE 5) AND THE CITY'S STORMWATER MANAGEMENT ORDINANCE. ALL EROSION AND SEDIMENT CONTROL, BEST MANAGEMENT PRACTICES AND POLLUTION PREVENTION MEASURES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE INDIANA STORMWATER QUALITY MANUAL.
- FOR EROSION CONTROL IMPLEMENTATION AND MAINTENANCE SCHEDULE SEE "EROSION CONTROL REQUIREMENTS" ON SHEET NO. C501.
- ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE "INDIANA STORM WATER QUALITY MANUAL" AND THE SCS "FIELD OFFICE TECHNICAL GUIDE".
- THE OWNER SHALL REQUEST AN INSPECTION FROM THE CITY PRIOR TO SUBMITTING THE NOTICE OF TERMINATION (NOT) TO IDEM.



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DATE	REVISION	SYMBOL	SCALE	PROJECT
			1"=30'	CRBECK PROPERTIES AT LINVILLE BUSINESS PARK - LOT 3
			DRAWN	JPH
			CHECKED	JKS
			CERTIFIED	JKS
				CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA
				STORM WATER POLLUTION PREVENTION PLAN (POST CONSTR.)

**PROJECTS plus**

GREENWOOD SURVEYING COMPANY

SITE ENGINEERING-LAND SURVEYING-CONSTRUCTION LAYOUT  
1257 Airport Parkway, Suite A - Greenwood, Indiana 46143  
(317)-882-5003

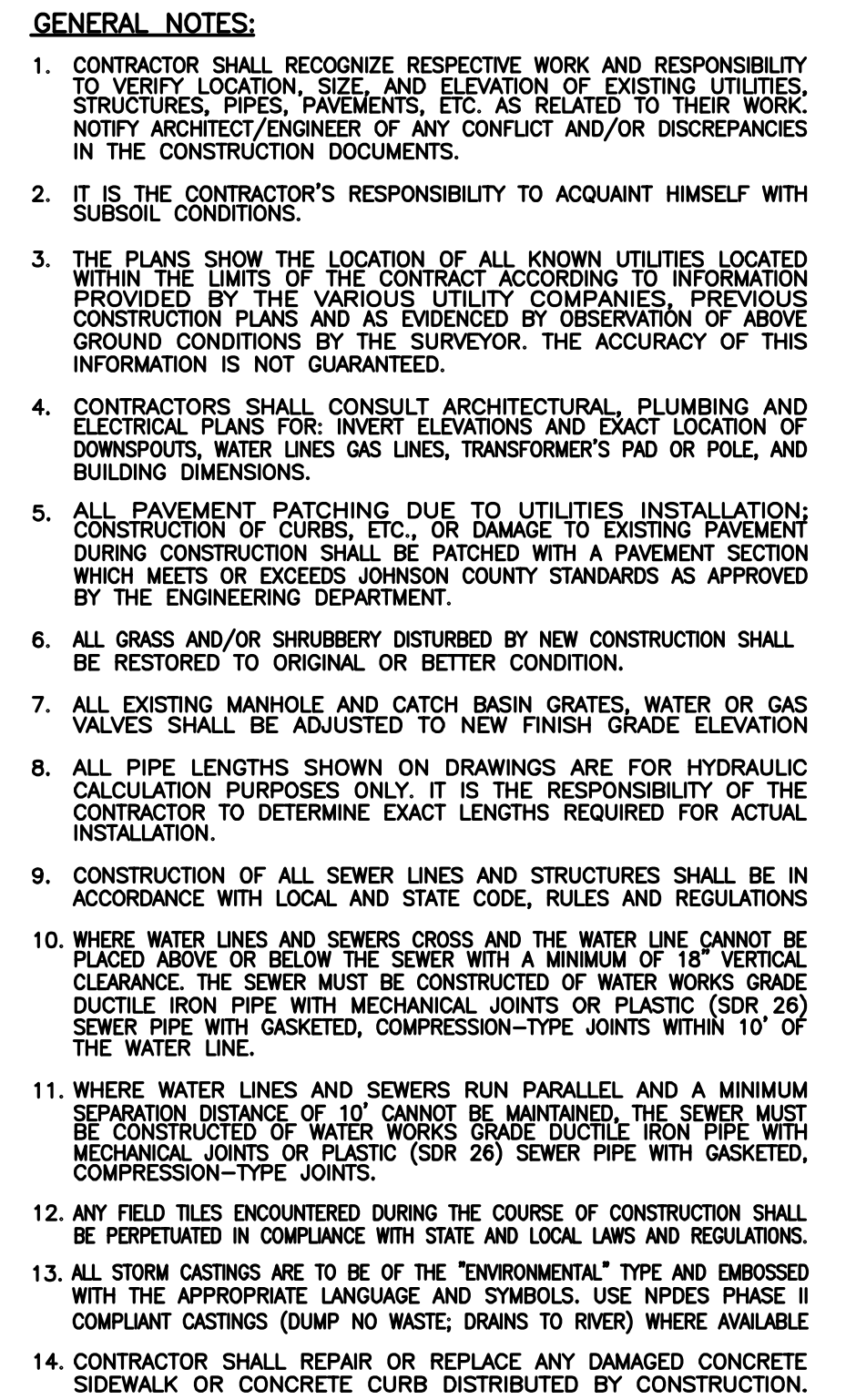


JOB NUMBER  
**230005.01**  
SHEET

**C503**

DATE  
**OCTOBER 25, 2024**





### LEGEND :

	PROPOSED WATER SERVICE LINE W/ WATER METER
	PROPOSED WATER LINE W/ VALVE AND FIRE HYDRANT AND ASSEMBLY
	PROPOSED ELECTRIC SERVICE LINE
	PROPOSED GAS SERVICE LINE
	PROPOSED SANITARY SEWER LATERAL W/ CLEANNOUT
	EXISTING SANITARY SEWER W/ MANHOLE
	PROPOSED STORM SEWER W/ END SECTION, MANHOLE, DITCH INLET AND PAVEMENT INLET
	EXISTING WATER LINE
	EXISTING OVERHEAD POWERLINE
	EXISTING UTILITY POLE
	EXISTING TRAFFIC SIGN
	EXISTING CONTOUR LINE
	BUILDING SETBACK LINE
	DRAINAGE AND UTILITY EASEMENT

## NOTICES AND PERMITS

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## FLOOD ZONE DESIGNATION

THE ACCURACY OF THE FLOOD HAZARD DATA SHOWN ON THIS REPORT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF JOHNSON, INDIANA, COMMUNITY #180114, MAP #18081C0143E DATED JANUARY 29, 2021, THE DESCRIBED REAL ESTATE LIES WITHIN THE SHADED ZONE "X," WHICH IS AN AREA OF 0.2% ANNUAL CHANCE FLOOD HAZARD OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN ONE FOOT, OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE.

BENCHMARK

SITE ELEVATIONS ARE BASED ON GPS GEOID "G2012bu7" USING A PROJECTION OF "INDIANA EAST" AND DATUM NAD83 NO TRANS.

ONSITE BENCHMARK - ELEVATION 752.90 (NAVD 1983)  
METAL REBAR FOUND FLUSH MARKING THE SOUTHWEST CORNER OF THE SUBJECT TRACT, APPROXIMATELY 339' WEST OF LINVILLE WAY AND 62' NORTH OF COMMERCE PARKWAY

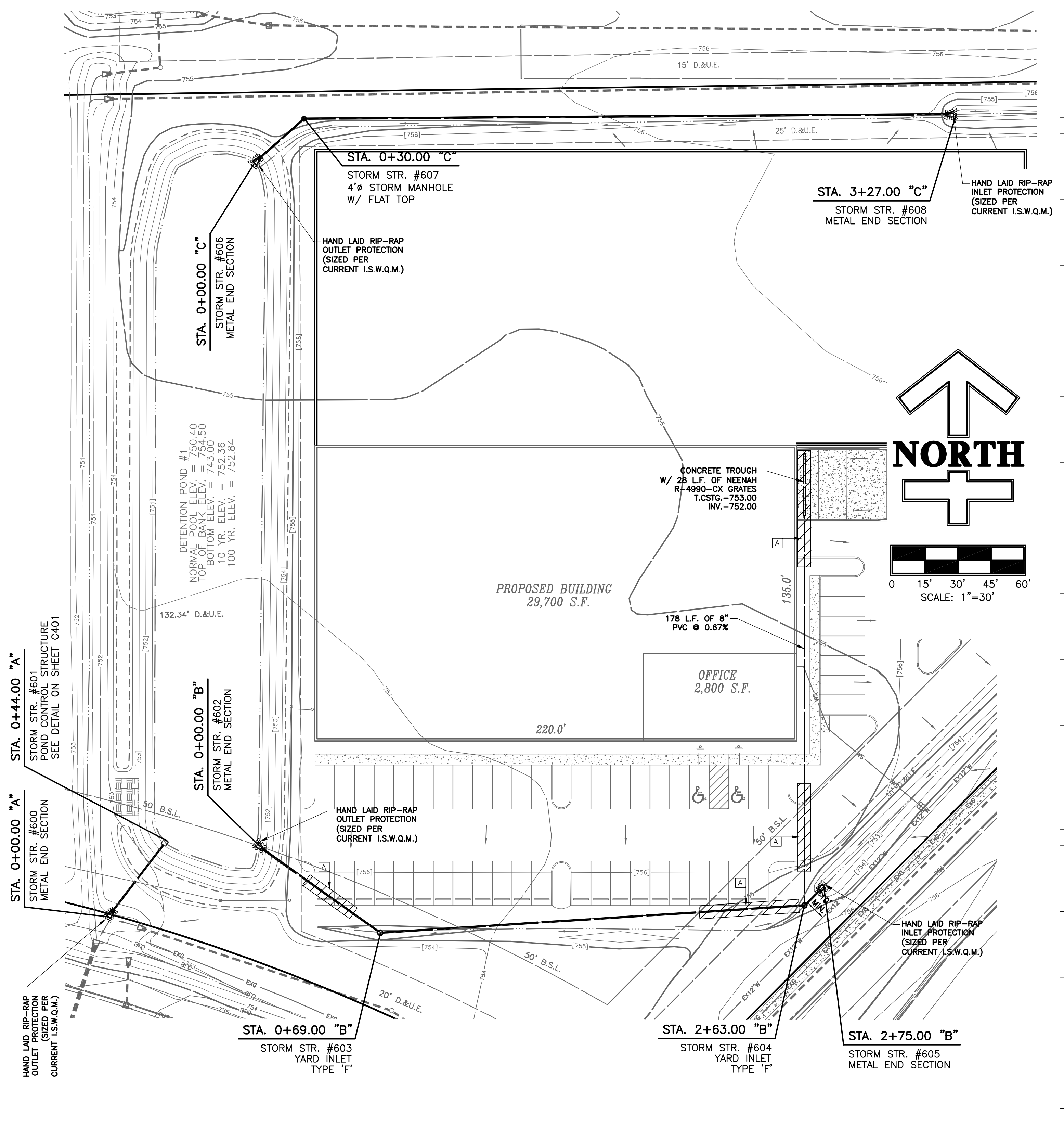


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<div>PROJECTS <i>plus</i></div> <div><div>GREENWOOD SURVEYING COMPANY</div><div>SITE ENGINEERING—LAND SURVEYING—CONSTRUCTION LAYOUT 1257 Airport Parkway Suite A — Greenwood, Indiana 46143 (317) 882-5003</div></div>		<div>PROJECT</div> <div>CRBECK PROPERTIES AT LINVILLE BUSINESS PARK – LOT 3 CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA</div>		<div>SCALE</div> <div>1" = 30'</div>	<div>SYMBOL</div>	<div>REVISION</div>	<div>DATE</div>
<div>SEAL</div> <div><div>JEFFERY K. SMITH REGISTERED No. 19419 STATE OF INDIANA PROFESSIONAL ENGINEER</div><div><i>Jeffery K. Smith</i> 10/25/24</div></div>		<div>TITLE</div> <div>UTILITY PLAN</div>		<div>CHECKED</div> <div>JKS</div>	<div>DRAWN</div> <div>JPH</div>		
<div>JOB NUMBER</div> <div>23005.01</div>		<div>SHEET</div> <div>C601</div>					
<div>DATE</div> <div>OCTOBER 25, 2024</div>							





**STORM SEWER NOTES**

1. THE STORM WATER QUALITY UNIT(S) SHOWN ON THESE PLANS SHALL BE THE UNIT INSTALLED DURING THE DEVELOPMENT OF THIS PROPERTY. NO SUBSTITUTIONS SHALL BE PERMITTED.
2. ALL CASTINGS SHALL HAVE STANDARD "ENVIRONMENTALLY FRIENDLY LOGOS" EMBOSSED INTO THE INLET.
3. ALL UTILITY CROSSINGS OR TRENCHES WITHIN (5) FEET OF THE EDGE OF PAVEMENT SHALL BE BACKFILLED TO THE SUBGRADE WITH GRANULAR MATERIAL. THE UPPERMOST 4" OF GRANULAR MATERIAL SHALL BE #53 STONES AND COMPACTED IN SIX INCH LIFTS.
4. ALL EXISTING FIELD TILES DISTURBED DURING CONSTRUCTION SHALL BE RE-DIRECTED TO THE NEAREST STORM STRUCTURE AND SHOWN ON AS-BUILT DRAWINGS.

**NOTICES AND PERMITS**

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FOR EASEMENT LOCATIONS AND DESIGNATIONS  
SEE FINAL RECORD PLAT AND RESTRICTIONS

**LEGEND :**

- 752- EXISTING CONTOUR LINE
- D.&U.E. DRAINAGE AND UTILITY EASEMENT
- B.S.L. BUILDING SETBACK LINE
- GRANULAR BACKFILL
- GRANULAR BACKFILL REQUIRED

**FLOOD ZONE DESIGNATION**

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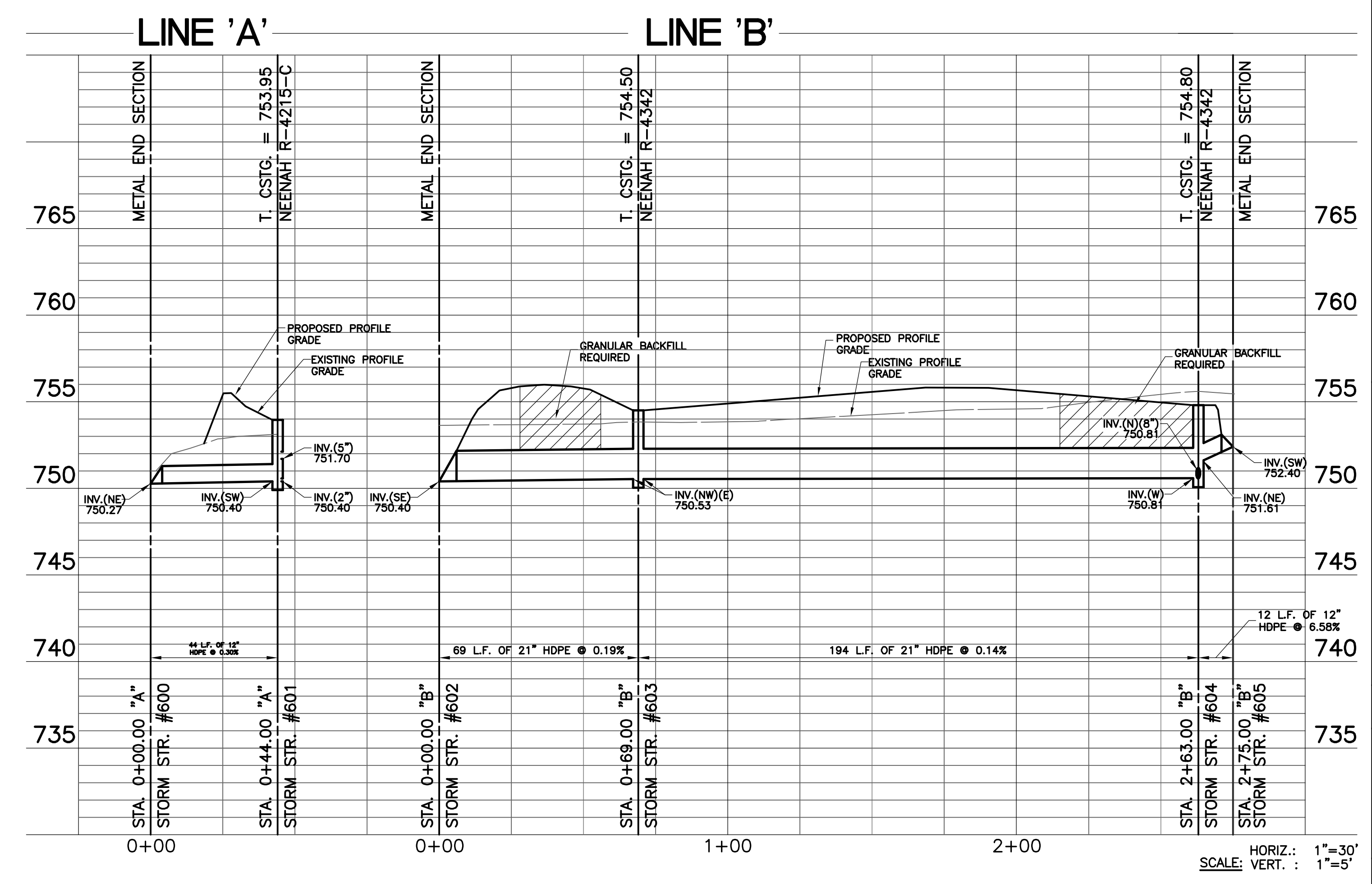
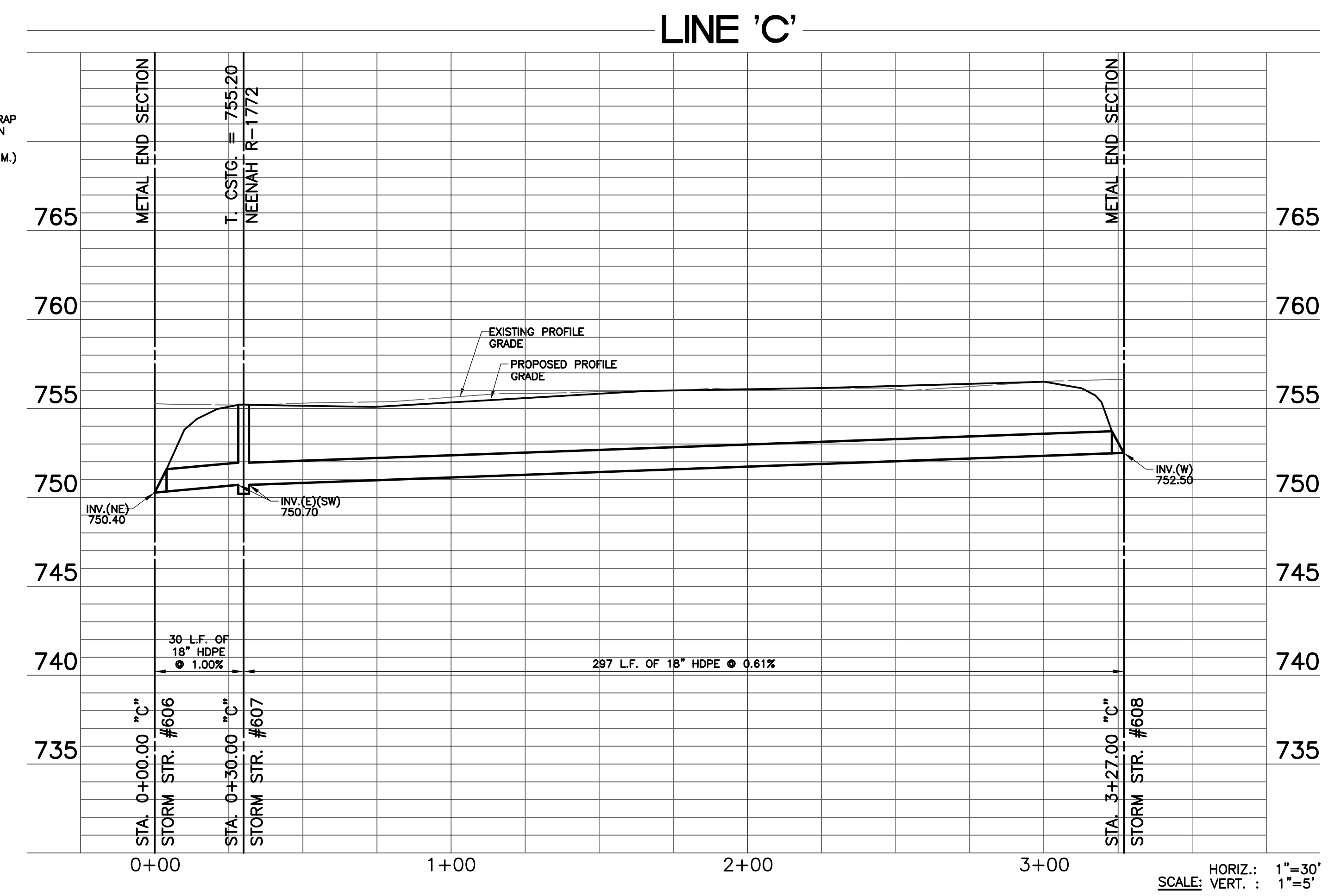
**BENCHMARKS:**

SITE ELEVATIONS ARE BASED ON GPS GEOID "G2012bu7" USING A PROJECTION OF "INDIANA EAST" AND DATUM NAD83 NO TRANS.

ONSITE BENCHMARK - ELEVATION 752.90 (NAVD 1983)  
METAL REBAR FOUND FLUSH MARKING THE SOUTHWEST CORNER OF THE SUBJECT TRACT, APPROXIMATELY 339' WEST OF LINVILLE WAY AND 62' NORTH OF COMMERCE PARKWAY



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DATE		REVISION		SYMBOL		SCALE		PROJECT		TITLE	
						AS SHOWN		CRBECK PROPERTIES AT LINVILLE			
						DRAWN	JPH	BUSINESS PARK - LOT 3			
						CHECKED	JKS	CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA			
						CERTIFIED	JKS				
									STORM SEWER PLAN AND PROFILES		

**PROJECTS plus**  
GREENWOOD SURVEYING COMPANY

SEAL  
JEFFERY K. SMITH  
REGISTERED  
No. 19419  
STATE OF INDIANA  
PROFESSIONAL ENGINEER  
Jeffery K. Smith  
10/29/24

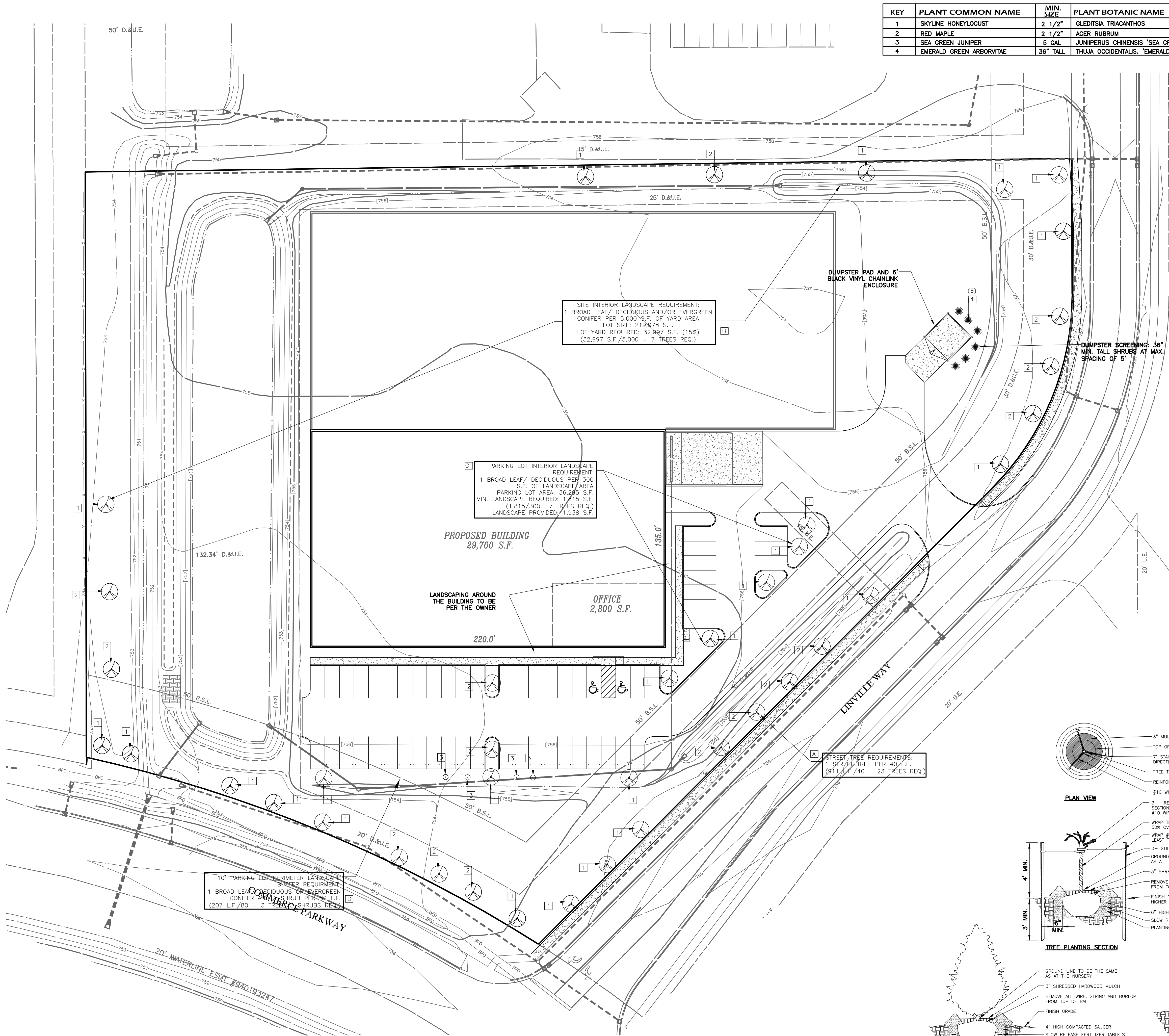
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**230005.01**  
SHEET

**C602**

DATE  
**OCTOBER 25, 2024**

SITE ENGINEERING-LAND SURVEYING-CONSTRUCTION LAYOUT  
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(317)-882-5003

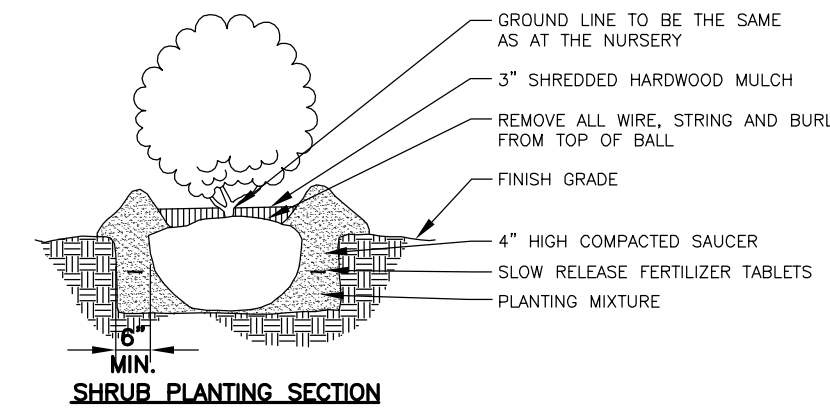
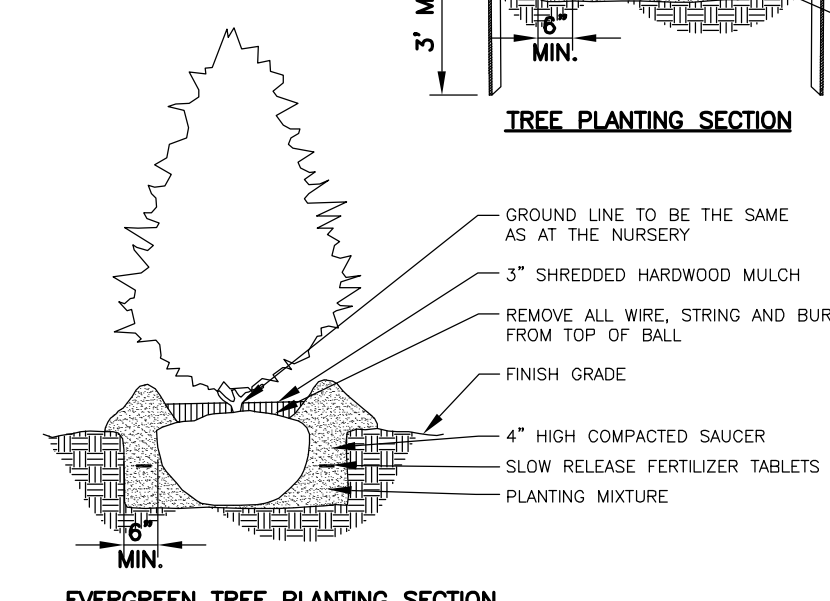
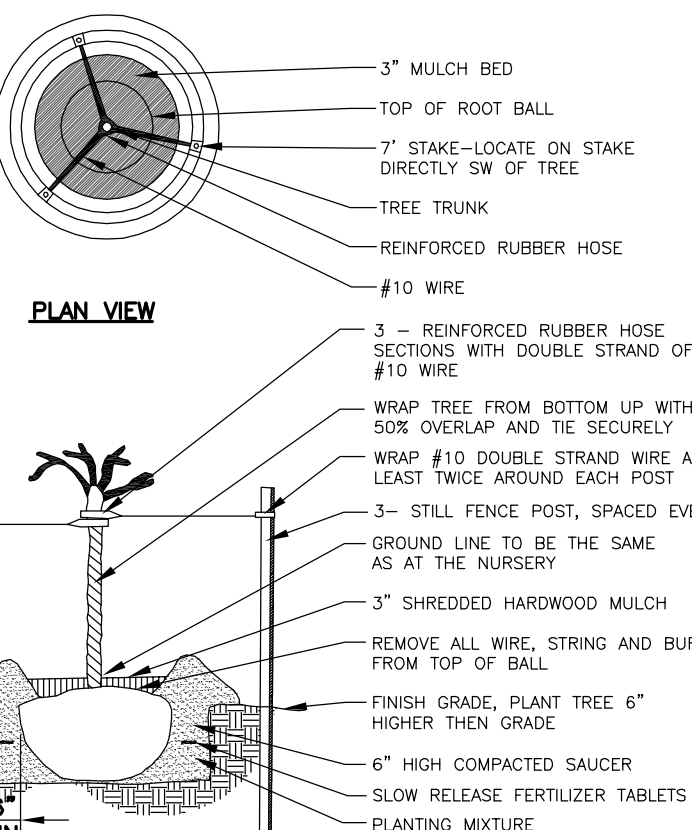





KEY	PLANT COMMON NAME	MIN. SIZE	PLANT BOTANIC NAME	QUANTITY	CATEGORY
1	SKYLINE HONEYLOCUST	2 1/2"	GLEDITSIA TRIACANTHOS	25	SHADE TREE
2	RED MAPLE	2 1/2"	ACER RUBRUM	15	SHADE TREE
3	SEA GREEN JUNIPER	5 GAL	JUNIPERUS CHINENSIS 'SEA GREEN'	4	EVERGREEN SHRUB
4	EMERALD GREEN ARBORVITAE	36" TALL	THUJA OCCIDENTALIS, 'EMERALD GREEN'	6	EVERGREEN SHRUB



LANDSCAPE LEGEND		
SYMBOL	REQUIREMENT	QUANTITY
A	1. PARKING LANDSCAPE PLANTING SHALL BE MODIFIED ONLY UNDER THE PLANNING DIRECTORS WRITTEN APPROVAL.	23 TREES
	2. LANDSCAPING NOT TO OBSTRUCT LINE OF SIGHT FOR MOTOR VEHICLES.	
	STREET TREE - TO BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF FRANKLIN SUBDIVISION CONTROL ORDINANCE 6.15.	
	a. MIN. OF 2 1/2" CALIBER AT 6" FROM TOP OF ROOT BALL.	
B	2. NOT WITHIN 25' OF AN INTERSECTION.	7 TREES
	c. NOT WITHIN 10' OF HYDRANT OR LATERAL.	
	d. PERMITTED TREE TYPES PER APPROVED SPECIES LIST DESCRIBED IN THE PERMITTED STREET TREE TABLE.	
	SITE INTERIOR LANDSCAPE REQUIREMENTS - TO BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF FRANKLIN ZONING ORDINANCE 7.16.	
C	1. BROAD LEAF/ DECIDUOUS AND/OR EVERGREEN CONIFER PER THE FOLLOWING LAND TYPE:	7 TREES
	1. 1 FOR EVERY 1,000 S.F. OF YARD AREA MULTI FAMILY RESIDENTIAL	
	2. 1 FOR EVERY 1,500 S.F. OF YARD AREA COMMERCIAL USE	
	3. 1 FOR EVERY 2,500 S.F. OF YARD AREA INSTITUTIONAL USE	
D	4. 1 FOR EVERY 5,000 S.F. OF YARD AREA INDUSTRIAL USE	3 TREES 3 SHRUBS
	b. ALL BROAD LEAF/ DECIDUOUS TREE MIN. OF 2 1/2" CALIBER AT 6" FROM TOP OF ROOT BALL. TREES MAY BE LOCATED IN CLUSTERS OR DISPERSED THROUGHOUT THE SITE.	
	c. ALL EVERGREEN TREE MIN. OF 5' IN HEIGHT.	
	d. PERMITTED TREE TYPES PER APPROVED SPECIES LIST DESCRIBED IN THE LANDSCAPE STANDARDS.	
E	PARKING LOT INTERIOR TREE - TO BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF FRANKLIN ZONING ORDINANCE 7.16.	7 TREES
	a. 1 BROAD LEAF/ DECIDUOUS PER 300 S.F. OF LANDSCAPE AREA.	
	b. ALL BROAD LEAF/ DECIDUOUS TREE MIN. OF 2 1/2" CALIBER AT 6" FROM TOP OF ROOT BALL.	
	c. PERMITTED TREE TYPES PER APPROVED SPECIES LIST DESCRIBED IN THE LANDSCAPE STANDARDS.	
F	PARKING LOT PERIMETER TREE/SHRUB - TO BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF FRANKLIN ZONING ORDINANCE 7.16.	3 TREES 3 SHRUBS
	a. 1 BROAD LEAF/ DECIDUOUS OR EVERGREEN TREE AND 1 SHRUB PER 80 L.F. OF LANDSCAPE AREA.	
	b. ALL BROAD LEAF/ DECIDUOUS TREE MIN. OF 2 1/2" CALIBER AT 6" FROM TOP OF ROOT BALL.	
	c. ALL EVERGREEN TREE MIN. OF 5' IN HEIGHT.	
G	d. ALL SHRUBS MIN. OF 18" IN HEIGHT.	3 TREES 3 SHRUBS
	e. PERMITTED TREE TYPES PER APPROVED SPECIES LIST DESCRIBED IN THE LANDSCAPE STANDARDS.	





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DATE

REVISION

SYMBOL

SCALE  
1"=30'

PROJECT  
CRBECK PROPERTIES AT LINVILLE  
BUSINESS PARK - LOT 3  
CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA

TITLE  
LANDSCAPE PLAN

PROJECTS *plus*

GREENWOOD SURVEYING COMPANY

SITE ENGINEERING-LAND SURVEYING-CONSTRUCTION LAYOUT  
1257 Airport Parkway, Suite A - Greenwood, Indiana 46143  
(317)-882-5003

SEAL

JEFFERY K. SMITH  
REGISTERED  
No. 19419  
STATE OF INDIANA  
PROFESSIONAL ENGINEER  
*Jeffery K. Smith*  
10/29/24

JOB NUMBER  
230005.01

SHEET  
C701

DATE  
OCTOBER 25, 2024







GENERAL NOTES FOR CURB AND GUTTER

WHERE SIDEWALK IS CONSTRUCTED IMMEDIATELY ADJACENT TO CURB, THE SURFACE OF THE SIDEWALK SHALL BE CONSTRUCTED 1/2" HIGHER THAN THE TOP OF THE CURB.

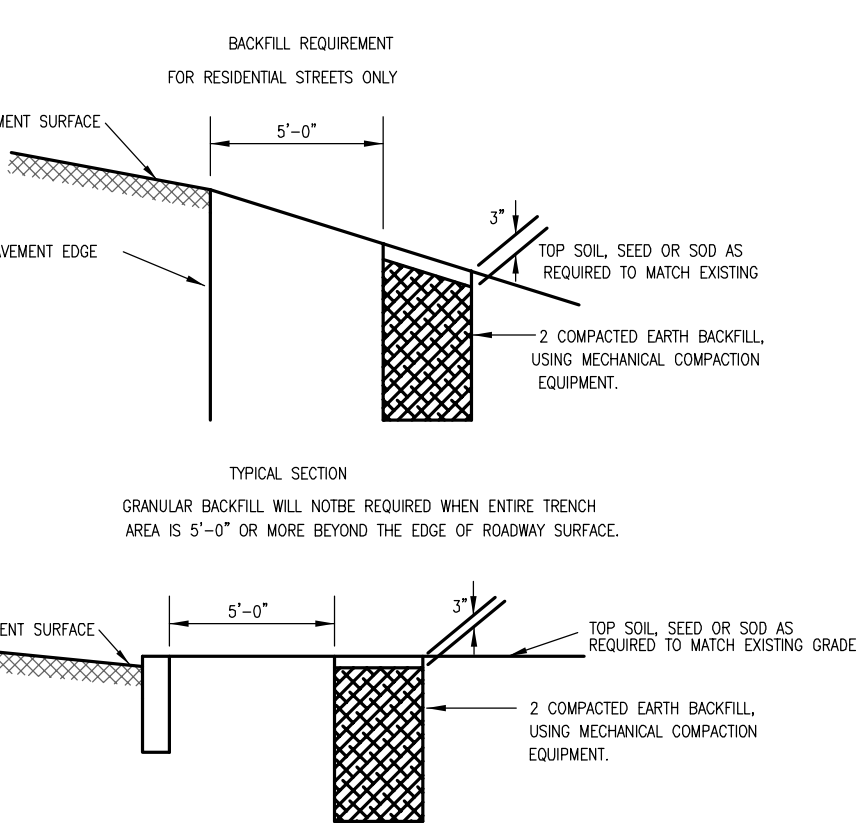
TRANSVERSE JOINTS SHALL BE CUT WITH A JOINTER HAVING A RADIUS OF 1/4" OF SPACING AS INDICATED OR DIRECTED.

COST OF TRANSVERSE PREFORMED JOINT FILLER TO BE INCLUDED IN CONTRACT PRICE FOR "CONCRETE SIDEWALK".

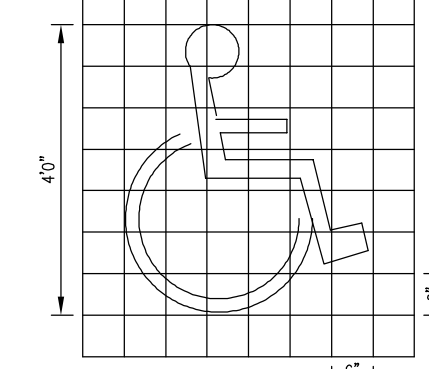
\* COMPACTED SUBGRADE - THE UPPER 6 INCHES SHALL COMPLY WITH THE DENSITY REQUIREMENTS OF THE CONTRACT IMMEDIATELY PRIOR TO PLACING THE MATERIAL THEREON. ALL SOFT YIELDING OR OTHER UNSUITABLE MATERIAL WHICH CANNOT BE COMPACTED SATISFACTORILY, SHALL BE REMOVED. ALL ROCK ENCOUNTERED SHALL BE REMOVED OR BROKE OFF AT LEAST 6 INCHES BELOW THE SUBGRADE SURFACE. ANY HOLES OR DEPRESSIONS RESULTING FROM THE REMOVAL OF THE UNSUITABLE MATERIAL SHALL BE FILLED WITH SATISFACTORY MATERIAL AND COMPACTED TO CONFORM WITH THE SURROUNDING SUBGRADE SURFACE.

\*\* WHERE SIDEWALK IS NOT CONSTRUCTED ADJACENT TO CURB, THE SPACE BEHIND THE CURB SHALL BE FILLED WITH SUITABLE MATERIAL TO THE REQUIRED ELEVATION AND COMPACTED IN LAYERS NOT TO EXCEED 4".

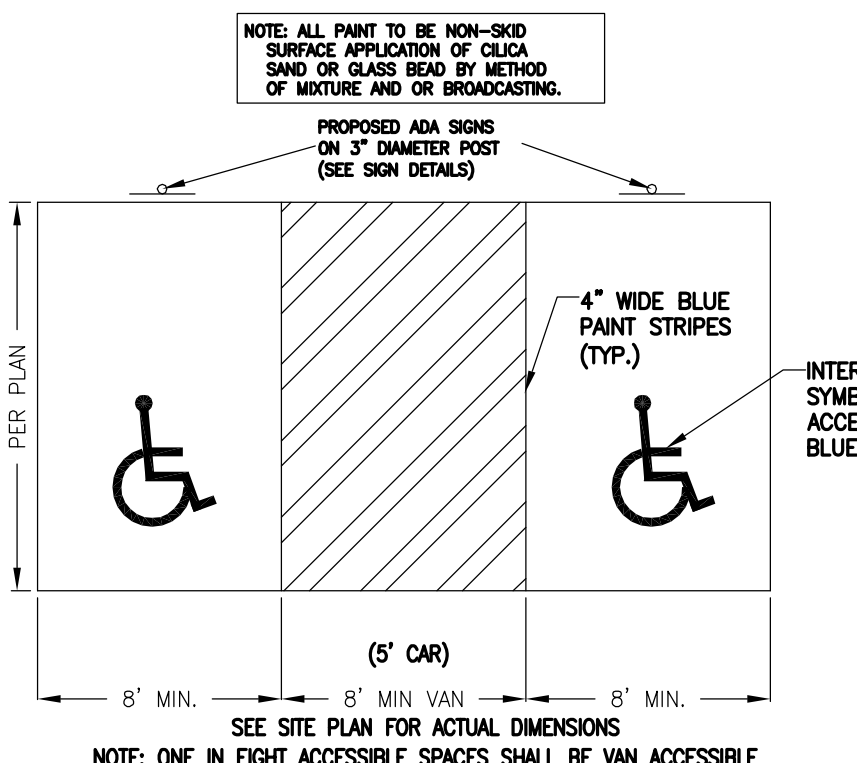
\*\*\* WHEN BUILT IN CONJUNCTION WITH CONCRETE PAVEMENT EXPANSION AND CONTRACTION JOINTS SHOULD BE PLACED AT THE SAME LOCATIONS AS IN THE PAVEMENT SLAB. THE CURB AND GUTTER SHOULD BE TIED TO THE PAVEMENT BY 1/2" ROUND DEFORMED BARS AT ABOUT 3 FOOT INTERVALS. IF NO CONCRETE PAVEMENT IS BEING BUILT, AT THE TIME, THE CURB IS CONSTRUCTED, EXPANSION JOINTS SHOULD BE PLACED AT THE ENDS OF ALL RETURNS AND AT INTERVALS NOT TO EXCEED 100 FEET. CONTRACTION JOINTS SHOULD BE INSTALLED AT 20 FOOT SPACING.



STANDARD FULL DEPTH GRANULAR BACKFILL DETAILS



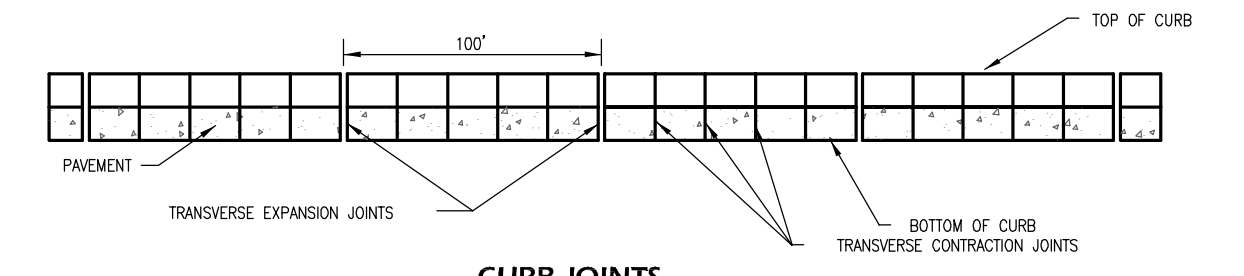
HANDICAP PAVEMENT MARKING DETAIL



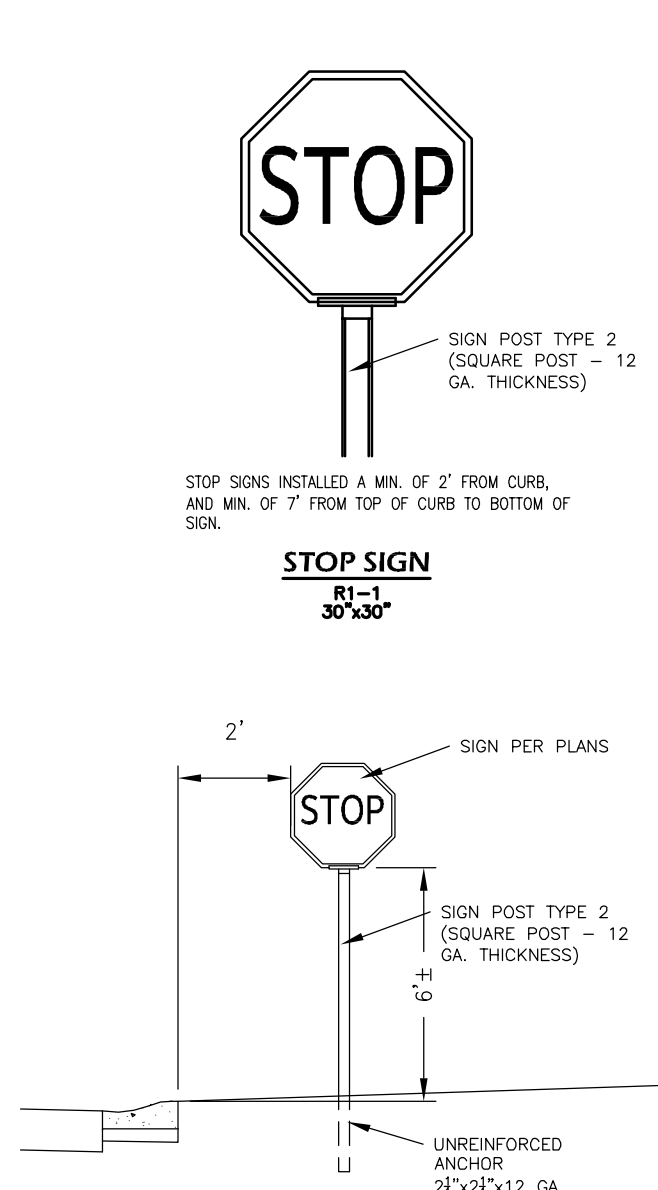
"ADA" PARKING SPACES

GENERAL NOTES:

- WHEN THE INTERSECTION IS NOT SIGNALIZED, SIDEWALK RAMPS SHALL BE PLACED ON THE RESIDENTIAL STREET SIDE ONLY. WHEN INTERSECTION IS SIGNALIZED, SIDEWALK RAMPS SHALL BE PLACED ON BOTH RESIDENTIAL STREET AND ARTERIAL STREET SIDE.
- CURB CUT RAMPS ARE TO BE LOCATED AS SHOWN ON THE PLANS OR AS DIRECTED.
- RAMPS SHALL BE PROVIDED AT ALL CORNERS OF STREET INTERSECTIONS WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. RAMPS SHALL ALSO BE PROVIDED AT WALK LOCATIONS IN MID-BLOCK IN THE VICINITIES OF HOSPITALS, MEDICAL CENTERS, AND ATHLETIC STADIUMS.
- SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COURSE BROOMING, TRANSVERSE TO THE SLOPE OF THE RAMP.
- SIDEWALKS SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.
- CURB SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON ALL RAMPS WITH NO BREAKS IN GRADE.
- DRAINAGE STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS EXCEPT WHERE EXISTING DRAINAGE STRUCTURES ARE BEING UTILIZED IN THE NEW CONSTRUCTION. LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER LOCATION OF DRAINAGE STRUCTURE.
- THE NORMAL GUTTER LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
- EXPANSION JOINT FOR THE RAMP SHALL BE A MAXIMUM 1/2" WIDE. THE TOP OF THE JOINT FILLER FOR RAMP TYPES SHALL BE FLUSH WITH ADJACENT CONCRETE.
- CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE 5'0" LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS.
- SLOPE OF RAMP MAY BE MODIFIED WHEN FIELD CONDITIONS WARRANT AND WHEN APPROVED BY THE DEPARTMENT OF TRANSPORTATION.

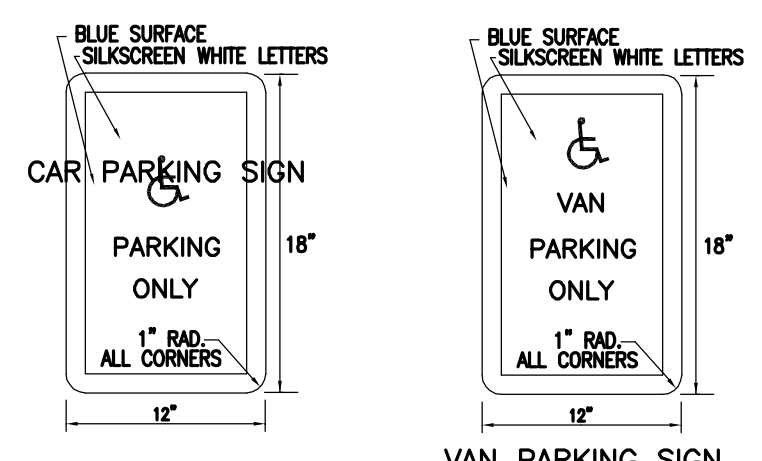


CURB JOINTS

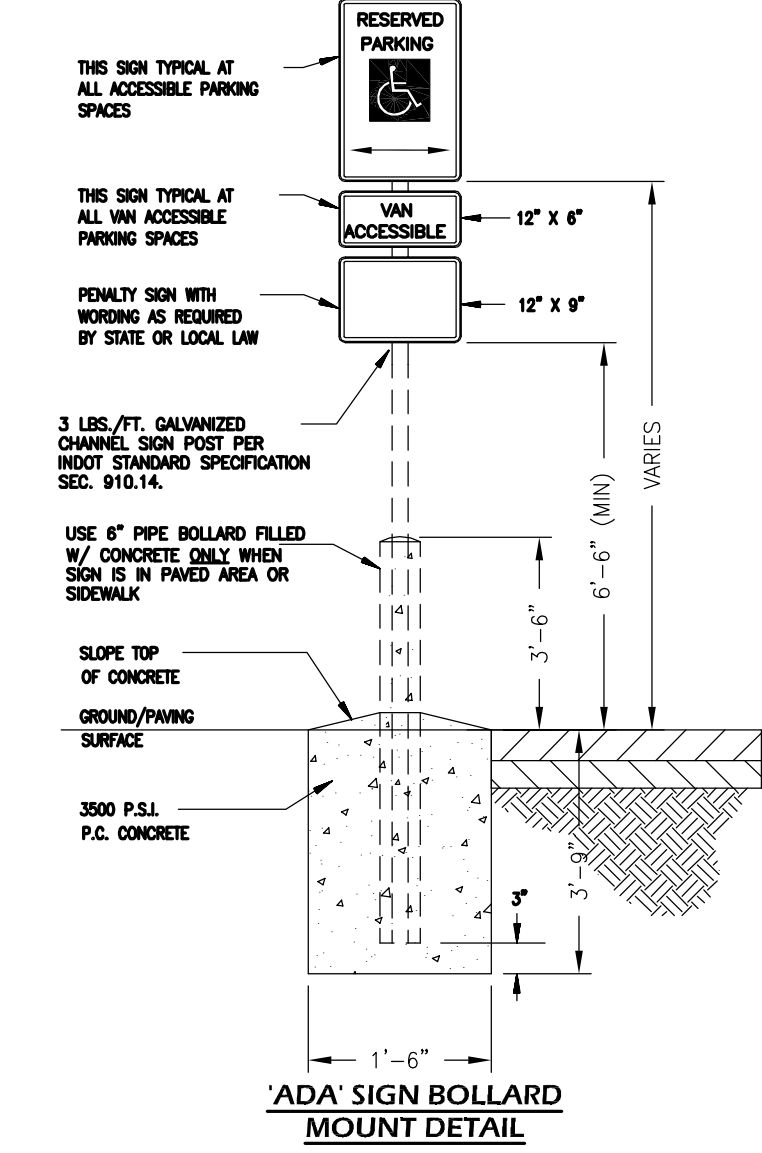


- NOTES:
- SIGN PLACEMENT SHALL MEET INDOT STANDARD SPECIFICATIONS.
  - SQUARE POST SHALL BE A BE 12 GA. THICKNESS AND MEET INDOT STANDARD SPECIFICATIONS.
  - ALL SIGN SIZES, SHAPES, COLORS, AND MATERIAL SHALL MEET THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

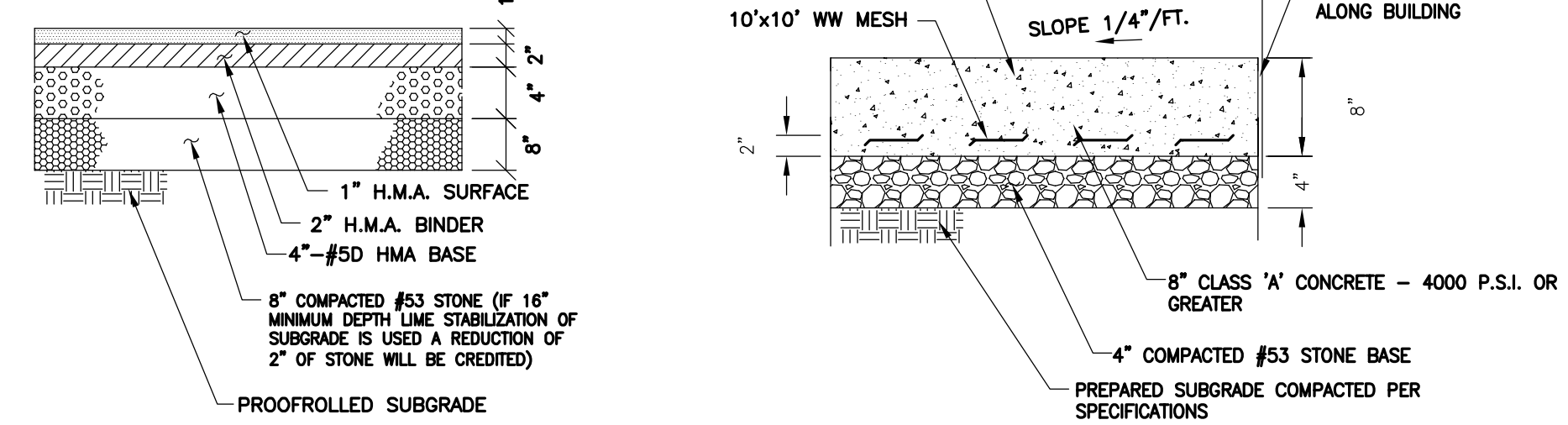
TYPICAL SUBDIVISION REGULATORY SIGNS



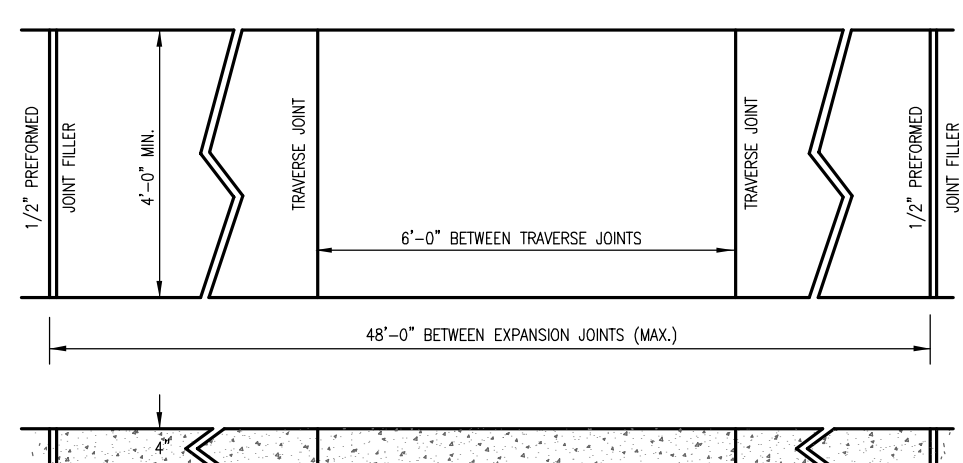
"ADA" SIGNS



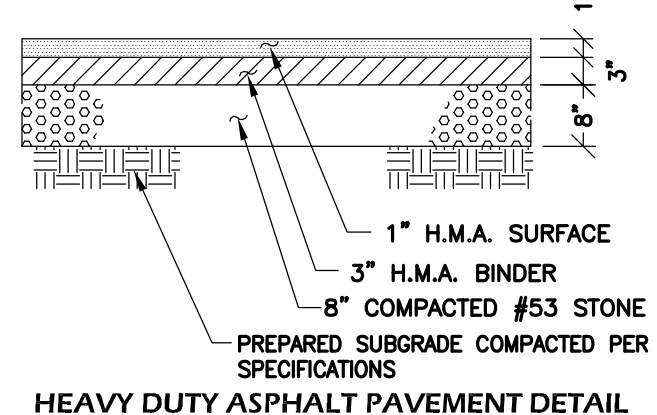
"ADA" SIGN BOLLARD MOUNT DETAIL



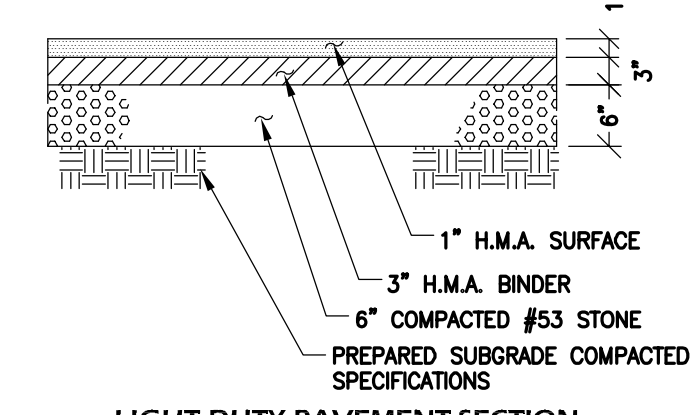
HEAVY DUTY CONCRETE PAD SECTION



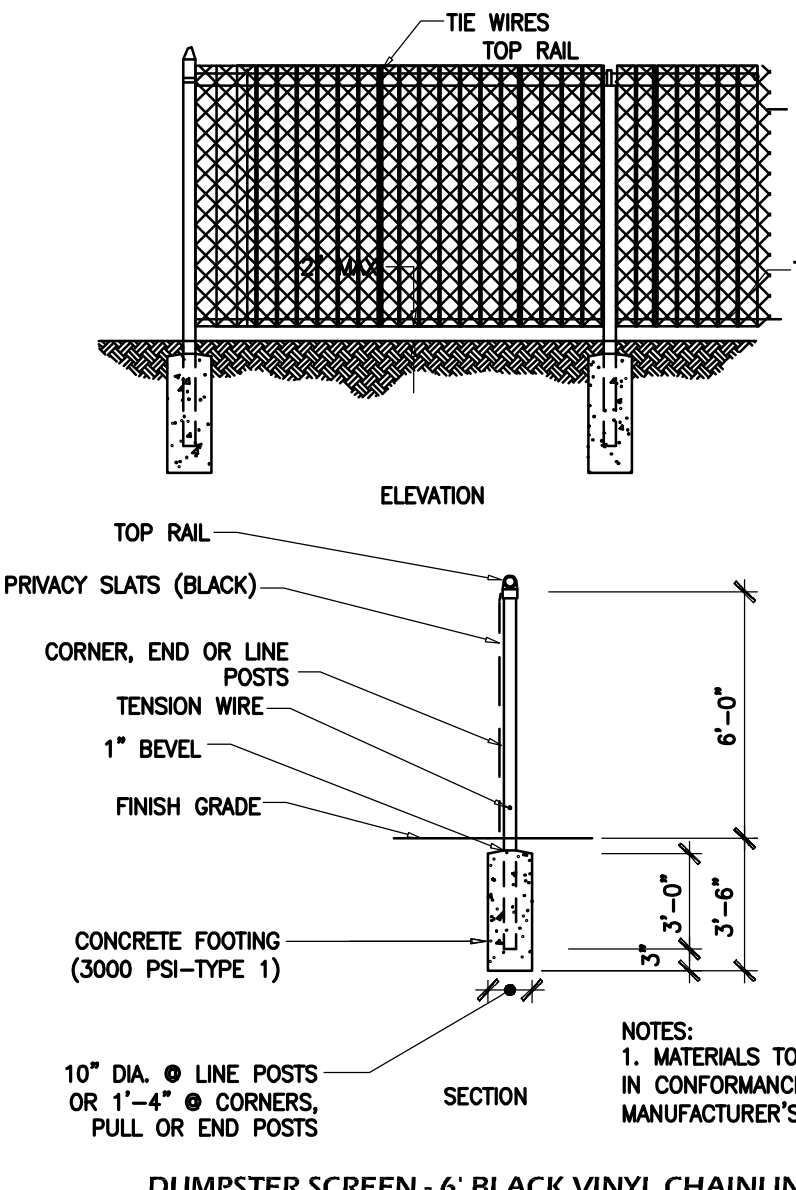
CONCRETE SIDEWALK



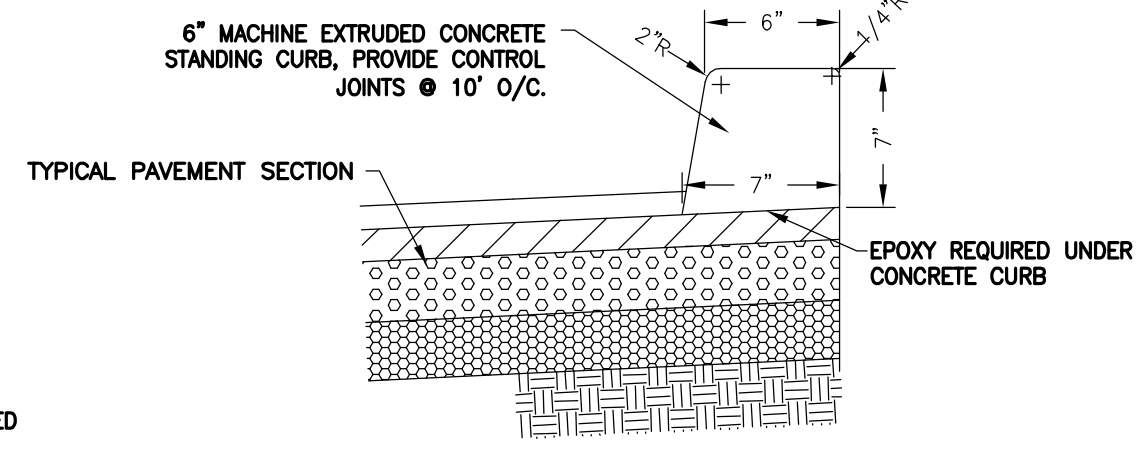
HEAVY DUTY ASPHALT PAVEMENT DETAIL



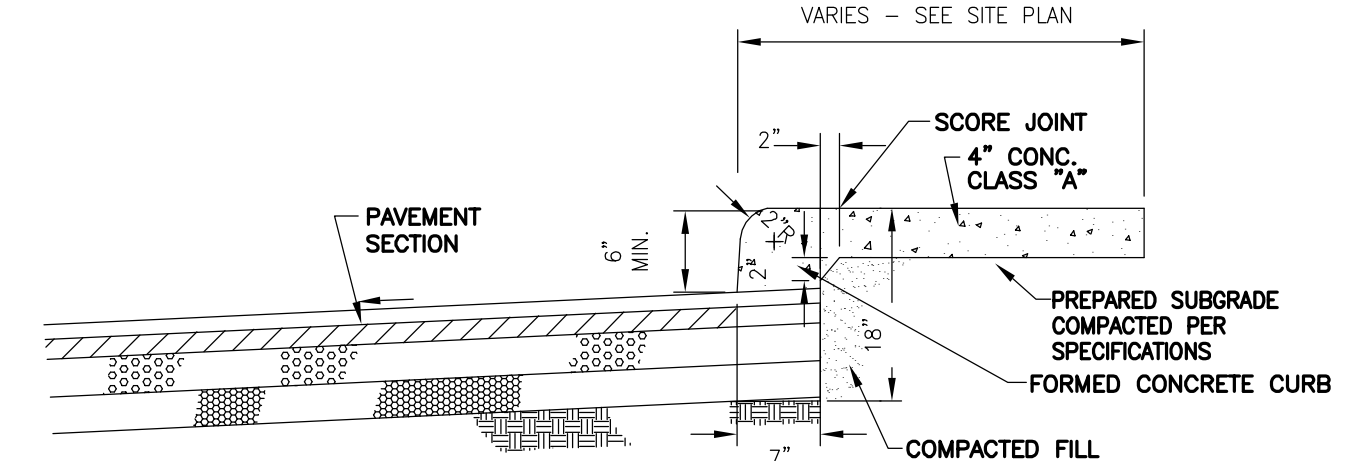
LIGHT DUTY PAVEMENT SECTION



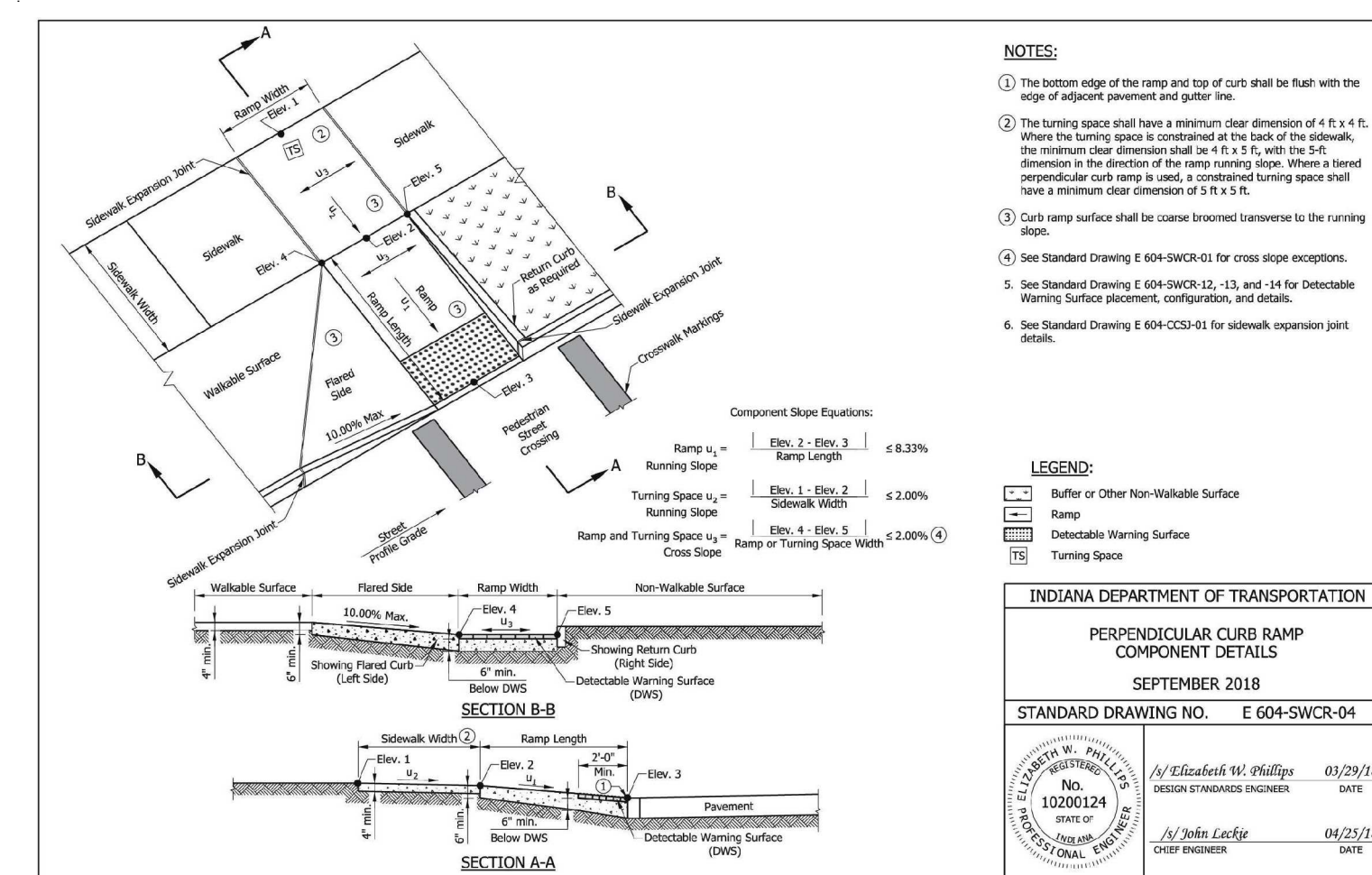
DUMPSTER SCREEN - 6' BLACK VINYL CHAINLINK FENCE



CONCRETE STANDING EXTRUDED CURB



MONOLITHIC 6" CONCRETE CURB, SIDEWALK AND PAVEMENT



NOTES:

- The bottom edge of the ramp and top of curb shall be flush with the edge of adjacent pavement and gutter line.
- The turning space shall have a minimum clear dimension of 4' x 4' x 4'. Where the turning space is constrained at the back of the sidewalk, the minimum clear dimension shall be 4' x 4' x 4' with the 4' x 4' dimension in the direction of the ramp turning space. Where a turned perpendicular curb ramp is used, a constrained turning space shall have a minimum clear dimension of 5' x 5' x 5'.
- Curb ramp surface shall be usable throughout its entire length.
- See Standard Drawing E 604-SWCR-04 for cross slope exceptions.
- See Standard Drawing E 604-SWCR-04 for cross slope exceptions.
- See Standard Drawing E 604-SWCR-04 for cross slope exceptions.

LEGEND:

- Buffer or Other Non-Walkable Surface
- Ramp
- Detectable Warning Surface
- Turning Space

INDIANA DEPARTMENT OF TRANSPORTATION

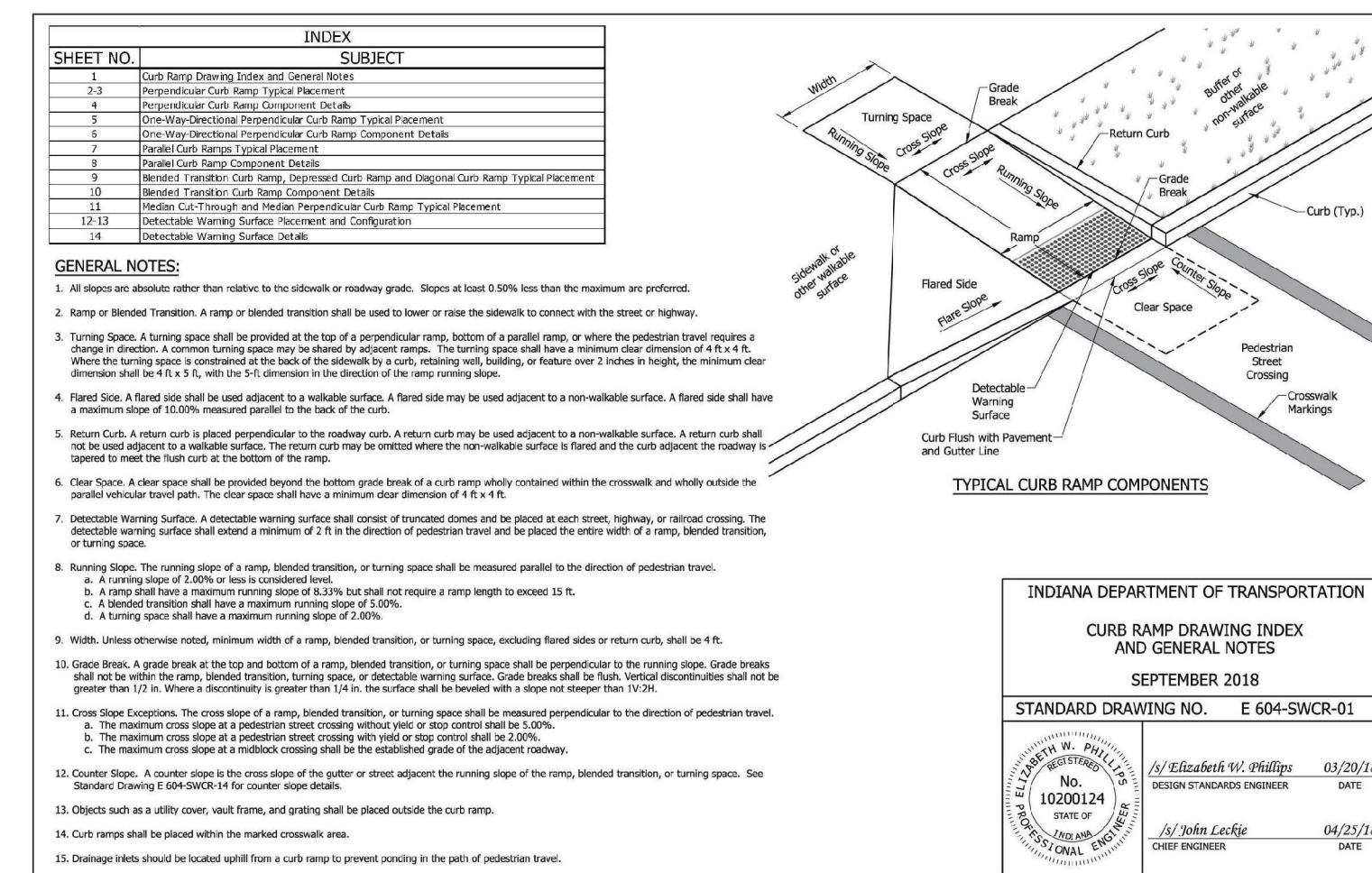
PERPENDICULAR CURB RAMP COMPONENT DETAILS

SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-04

DESIGNED BY: J. K. Smith 03/29/18 DATE

CHECKED BY: J. K. Smith 04/23/18 DATE



INDIANA DEPARTMENT OF TRANSPORTATION

CURB RAMP DRAWING INDEX AND GENERAL NOTES

SEPTEMBER 2018

STANDARD DRAWING NO. E 604-SWCR-01

DESIGNED BY: J. K. Smith 03/29/18 DATE

CHECKED BY: J. K. Smith 04/23/18 DATE

DATE	REVISION	SYMBOL	SCALE	NONE	DRAWN	JPH	CHECKED	JKS	CERTIFIED	JKS

PROJECT: CRBECK PROPERTIES AT UNVILLE BUSINESS PARK - LOT 3 CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA

TITLE: SITE DETAILS

PROJECTS plus GREENWOOD SURVEYING COMPANY

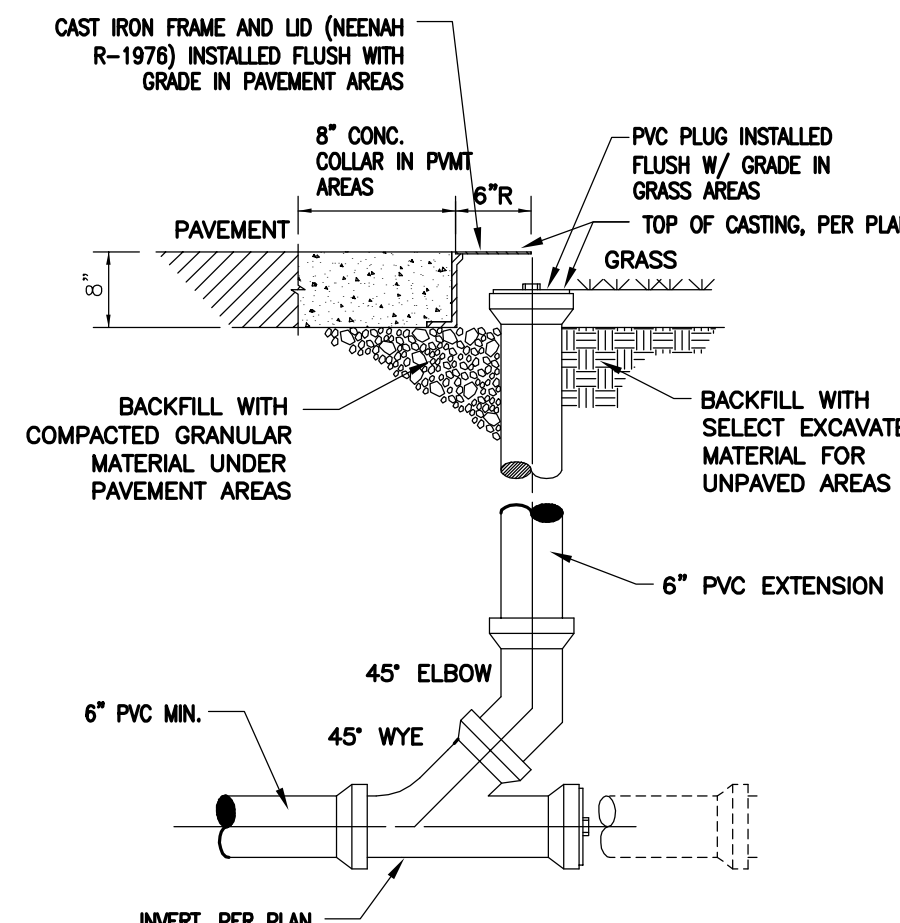
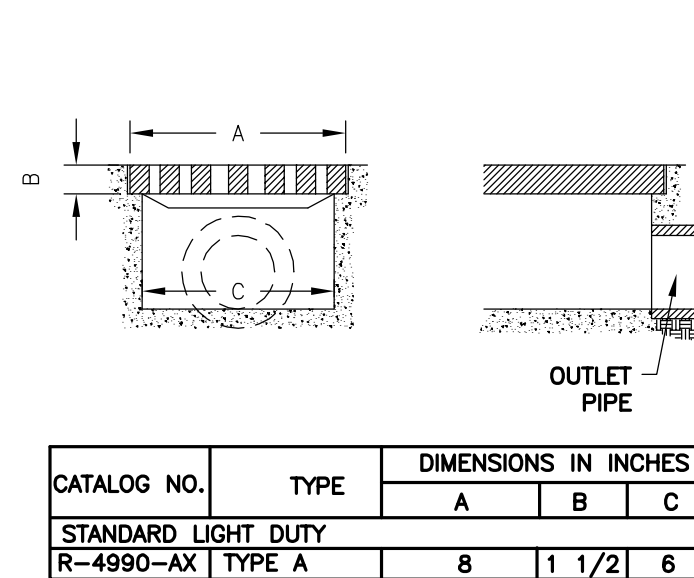
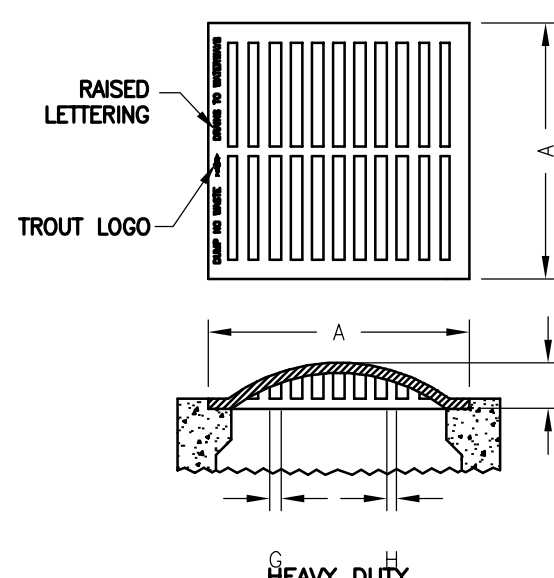
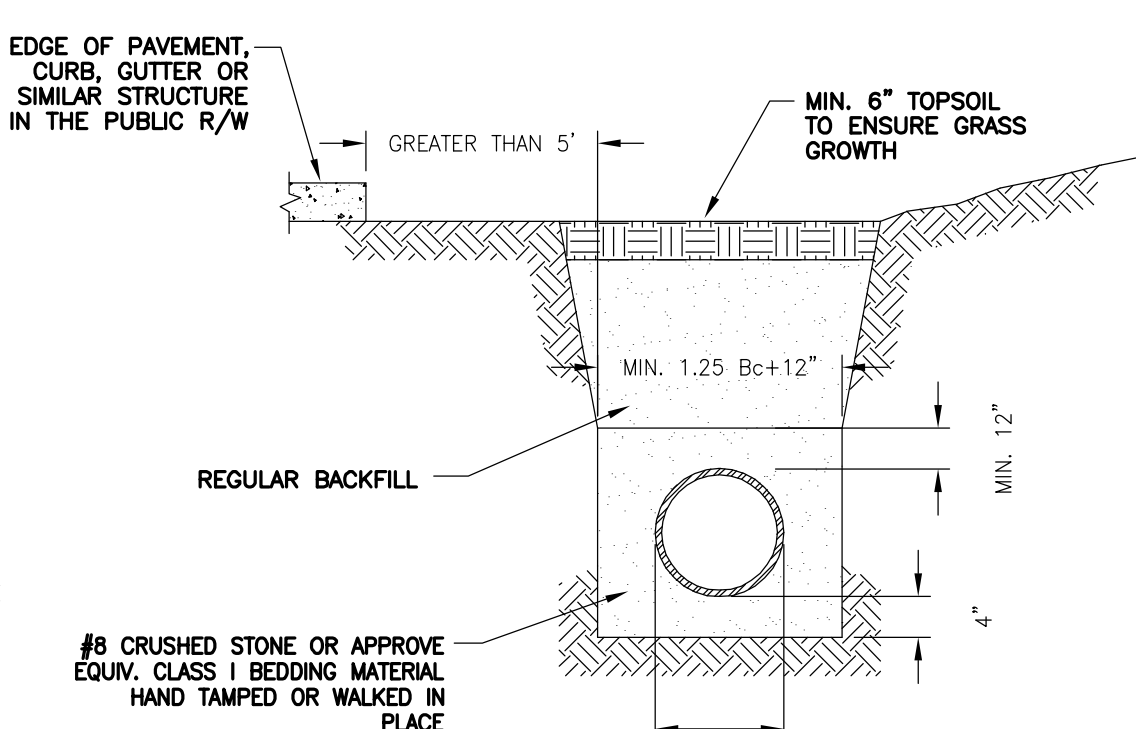
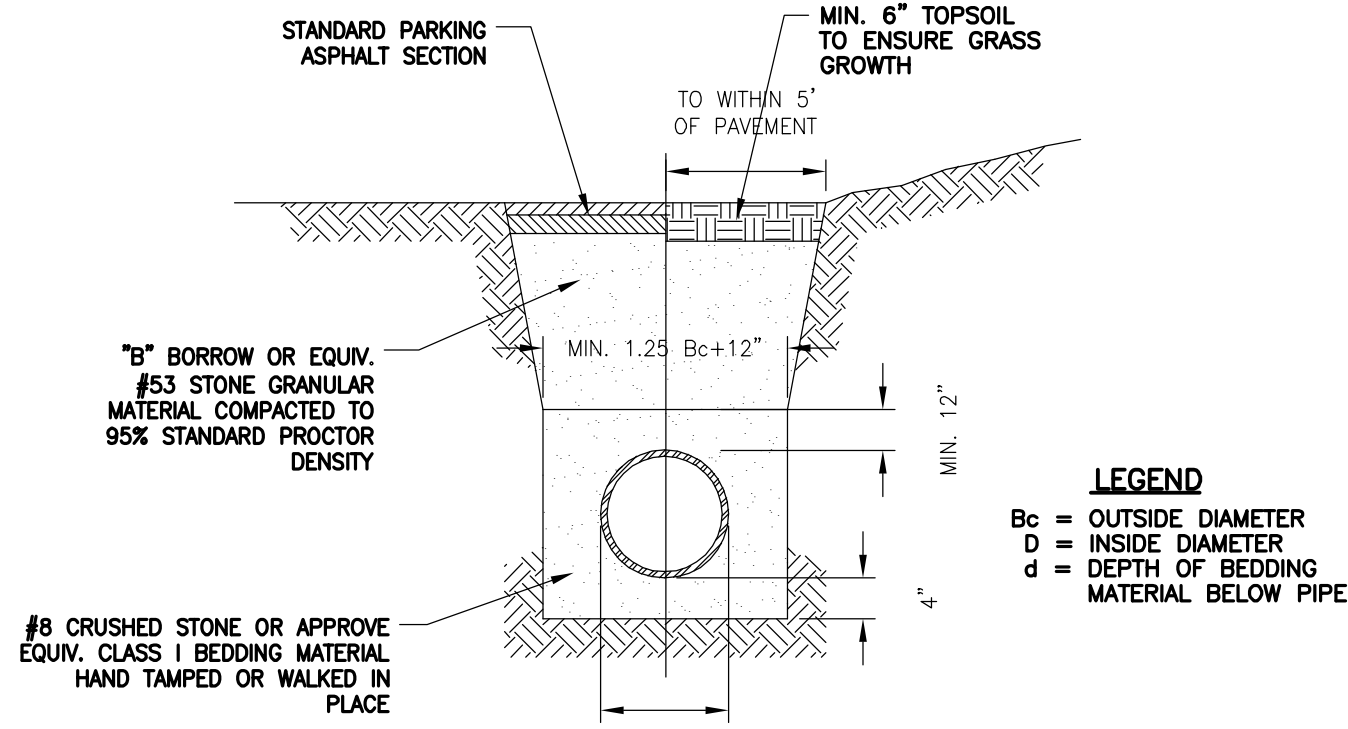
SEAL: JEFFERY K. SMITH, REGISTERED PROFESSIONAL ENGINEER, No. 19419, STATE OF INDIANA, 10/29/24

JOB NUMBER: 23005.01

SHEET: C901

DATE: OCTOBER 25, 2024



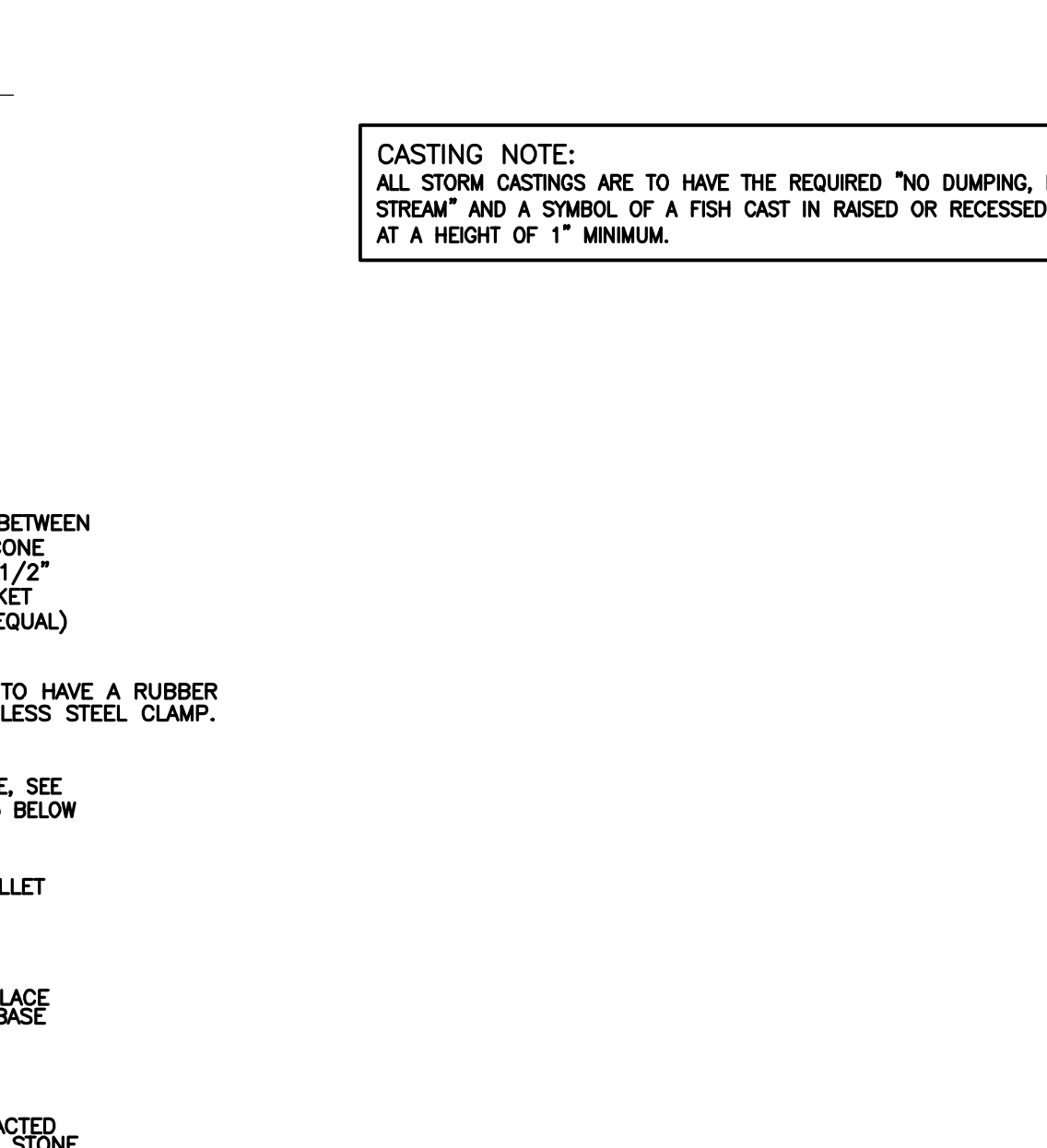
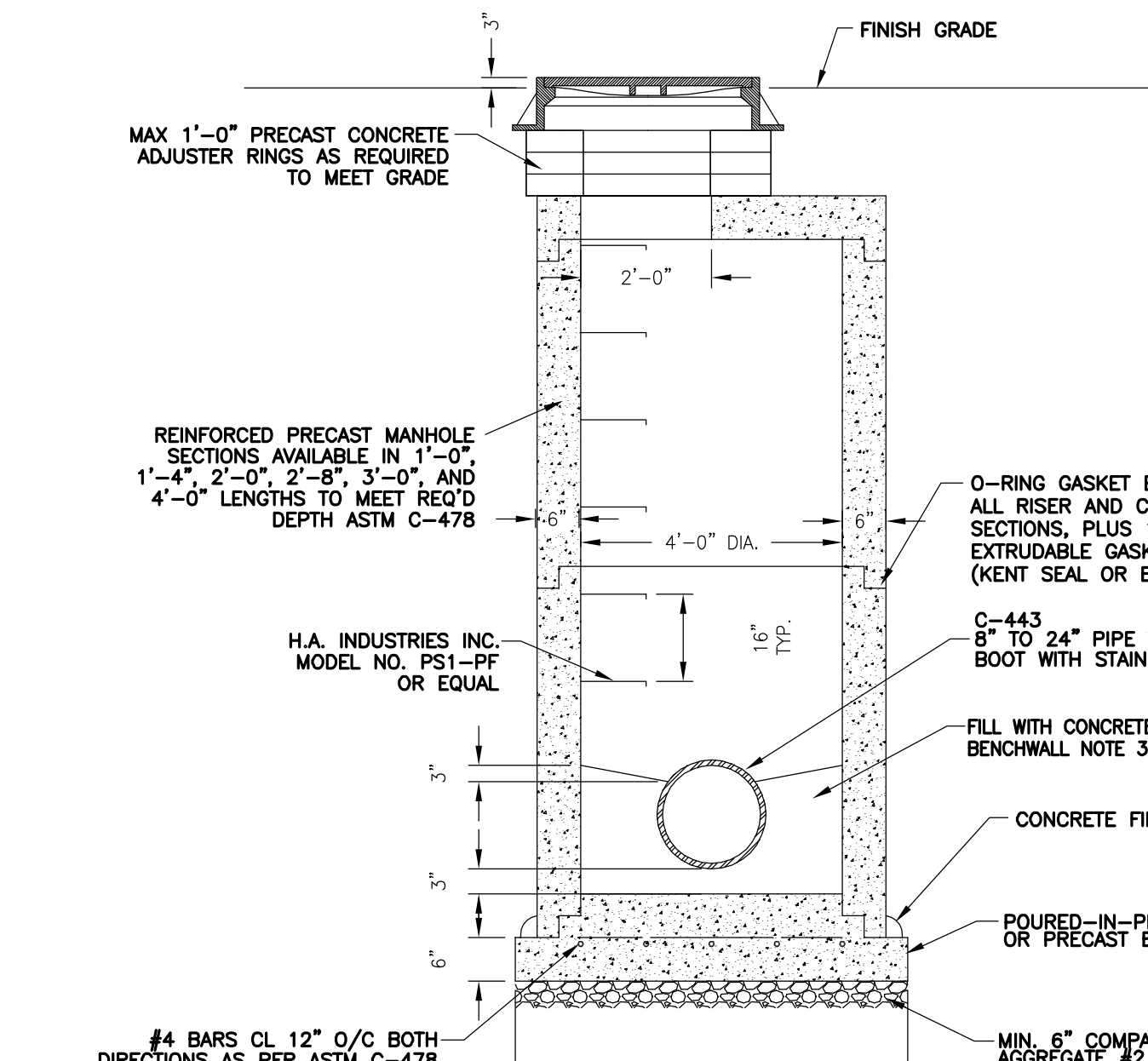


**NOTES:**  
1. A MINIMUM 9" CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE.  
2. ALL BEDDING & INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS.

**NOTES:**  
1. A MINIMUM 9" CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE.  
2. ALL BEDDING & INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS.

**PLASTIC PIPE (PVC & HDPE) TRENCH DETAIL UNDER PAVEMENT AND WITHIN 5' OF EDGE OF PAVEMENT**

**PLASTIC PIPE (PVC & HDPE) TRENCH DETAIL GREATER THAN 5' FROM EDGE OF PAVEMENT**



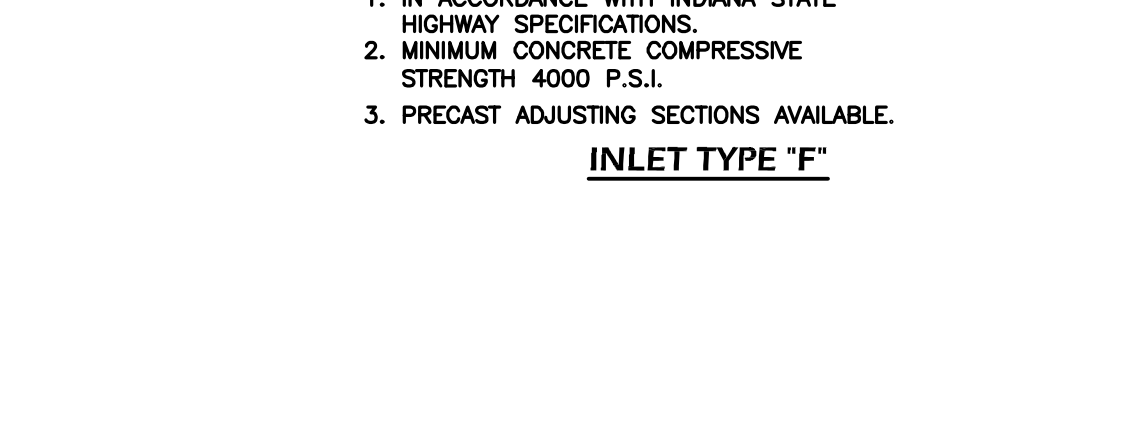
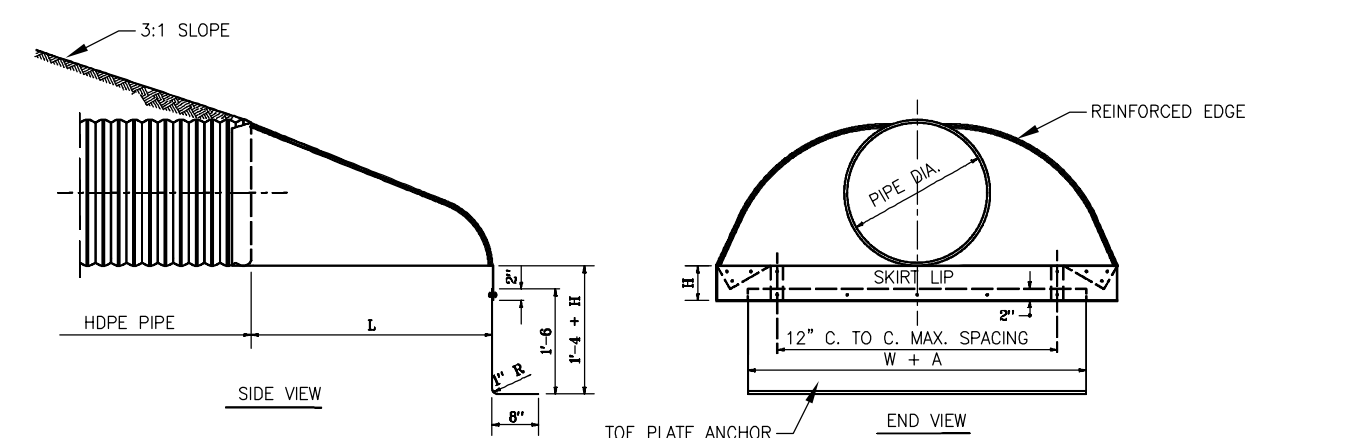
**NOTE:**  
1. MANHOLE STEPS SHALL BE POLYPROPYLENE, POLYPROPYLENE COATED STEEL REINFORCING OR AN APPROVED NON-CORROSIVE FIBERGLASS MATERIAL. THE COPOLYMER POLYPROPYLENE SHALL MEET THE REQUIREMENTS OF ASTM D-4101 REINFORCED WITH DEFORMED 3/8 INCH MINIMUM DIAMETER REINFORCING STEEL CONFORMING TO THE REQUIREMENTS OF ASTM A-615, GRADE 60. NON-COATED CAST IRON STEPS ARE NOT ACCEPTABLE.  
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL INFILTRATION TESTS AND THE INFILTRATION FROM THE INFILTRATION TEST SHALL NOT EXCEED A RATE OF 100 GALLONS PER INCH OF PIPE DIAMETER PER DAY PER MILE OF PIPE.  
3. BENCH WALL SHALL FORM A DEFINED CHANNEL, TO A MINIMUM HEIGHT TO 80% OF THE INSIDE DIAMETER OF THE INLET AND OUTLET PIPES TO FORM A "U" SHAPE CHANNEL, CONSTRUCTED AT MINIMUM OF 1/2" PER FOOT.

**CASTING NOTE:**  
ALL STORM CASTINGS ARE TO HAVE THE REQUIRED "NO DUMPING, DRAINS TO STREAM" AND A SYMBOL OF A FISH CAST IN RAISED OR RECESSED LETTER AT A HEIGHT OF 1" MINIMUM.

**STANDARD MANHOLE (FLAT TOP)**

**CASTING NOTE:**  
ALL STORM CASTINGS ARE TO HAVE THE REQUIRED "NO DUMPING, DRAINS TO STREAM" AND A SYMBOL OF A FISH CAST IN RAISED OR RECESSED LETTER AT A HEIGHT OF 1" MINIMUM.

PIPE DIA.	END SECTION THICK (in.)	DIMENSIONS					APPROX. SLOPE	BODY
		A	B	H	L	W		
12	.064	6	6	6	21	34	2 1/4	1 Pc.
15	.064	7	6	6	26	39	2 1/4	1 Pc.
18	.064	8	10	6	31	36	2 1/4	1 Pc.
21	.064	9	12	6	36	42	2 1/4	1 Pc.
24	.064	10	13	6	41	48	2 1/4	1 Pc.
30	.078	12	16	6	51	60	2 1/4	1 Pc.
36	.078	14	18	9	60	72	2 1/4	2 Pc.



**METAL END SECTION**

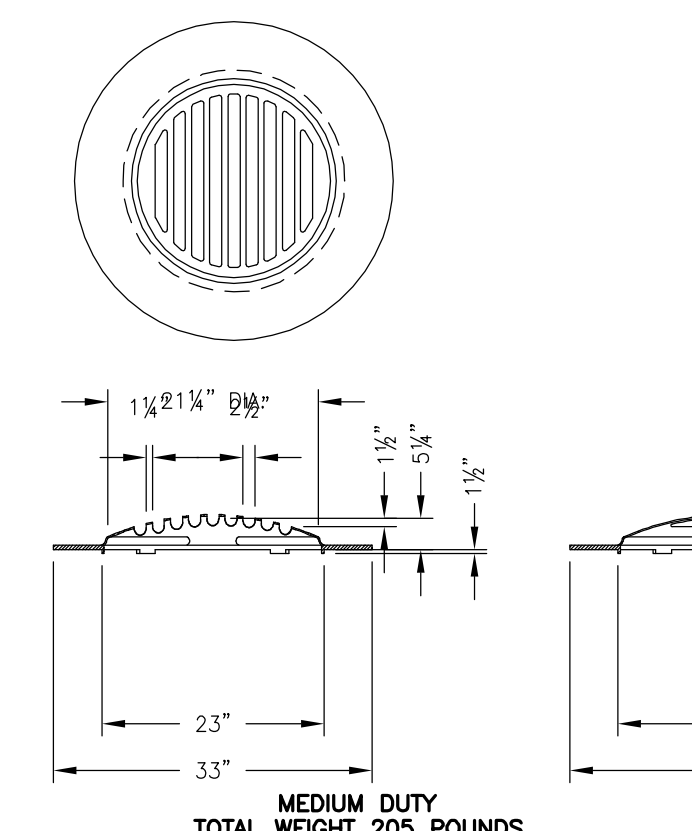
**CASTING NOTE:**  
ALL STORM CASTINGS ARE TO HAVE THE REQUIRED "NO DUMPING, DRAINS TO STREAM" AND A SYMBOL OF A FISH CAST IN RAISED OR RECESSED LETTER AT A HEIGHT OF 1" MINIMUM.

**STORM SEWER DETAILS**

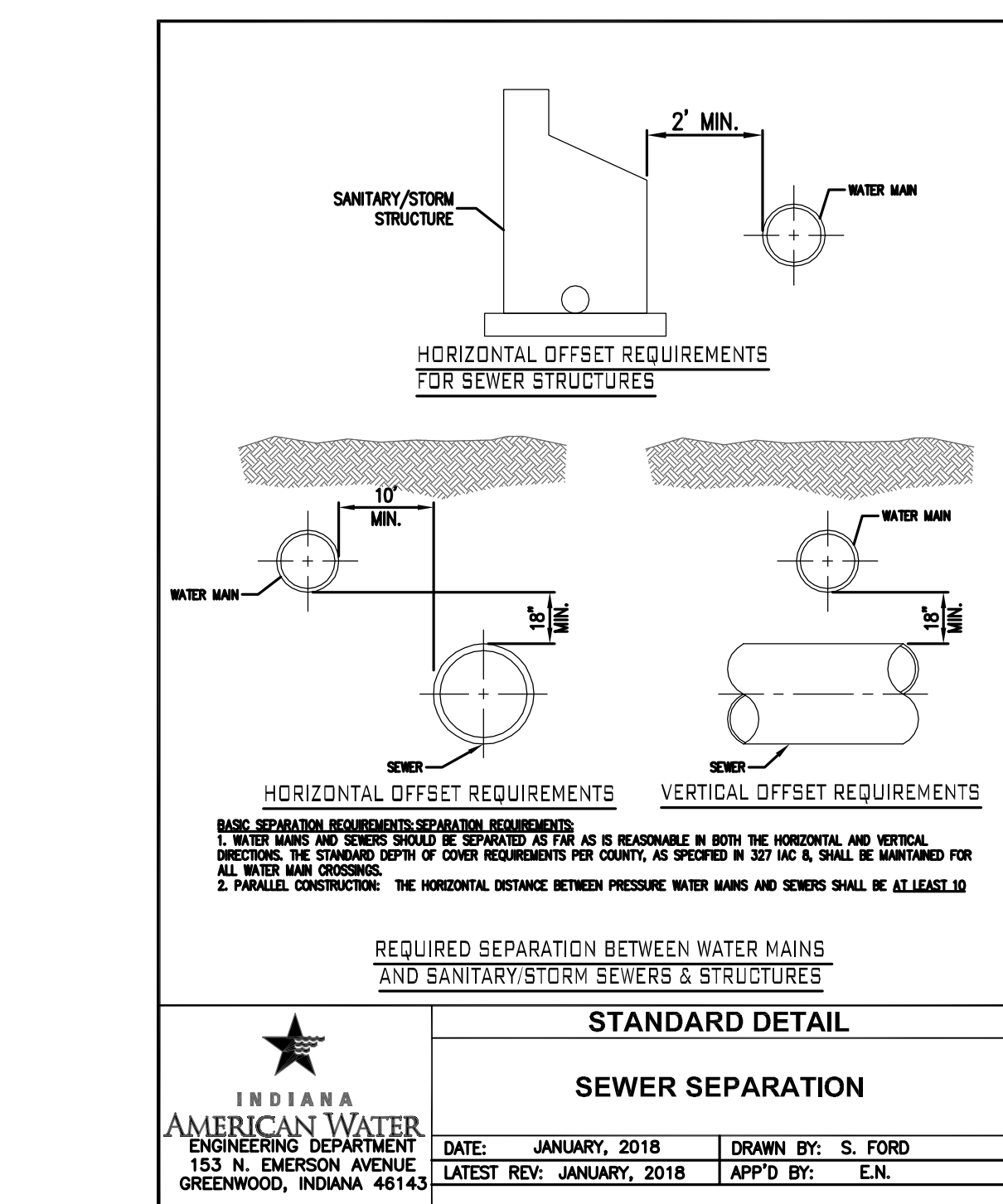
**CASTING NOTE:**  
ALL STORM CASTINGS ARE TO HAVE THE REQUIRED "NO DUMPING, DRAINS TO STREAM" AND A SYMBOL OF A FISH CAST IN RAISED OR RECESSED LETTER AT A HEIGHT OF 1" MINIMUM.

CATALOG NO.	TYPE	DIMENSIONS IN INCHES			WT. LBS.
		A	B	C	
R-4215-A	24x30	4	1 1/4	1 1/2	160
R-4215-B	34x34	6	1 1/2	1 1/4	190

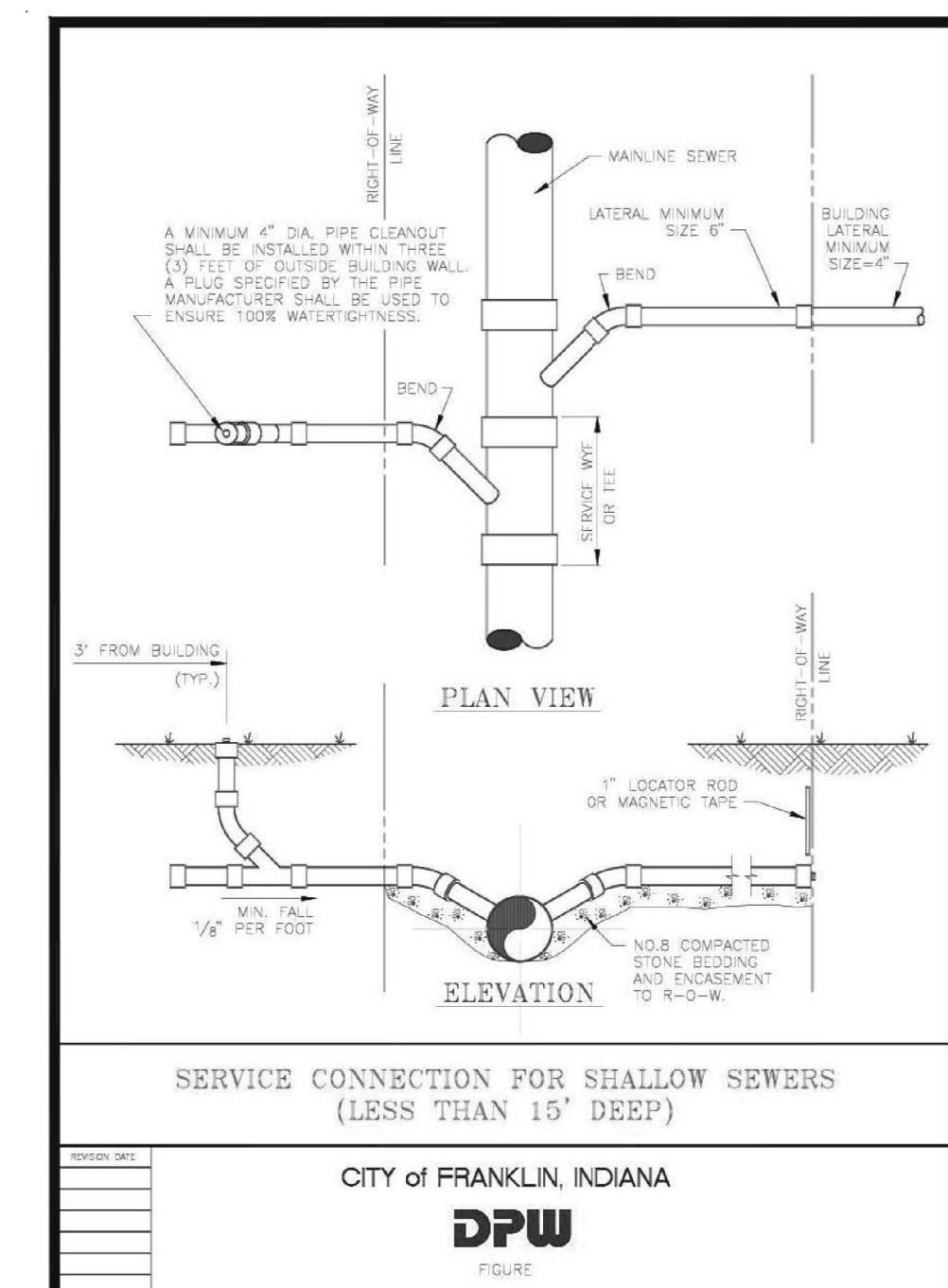
**R-4215 SERIES CONVEX GRATES**



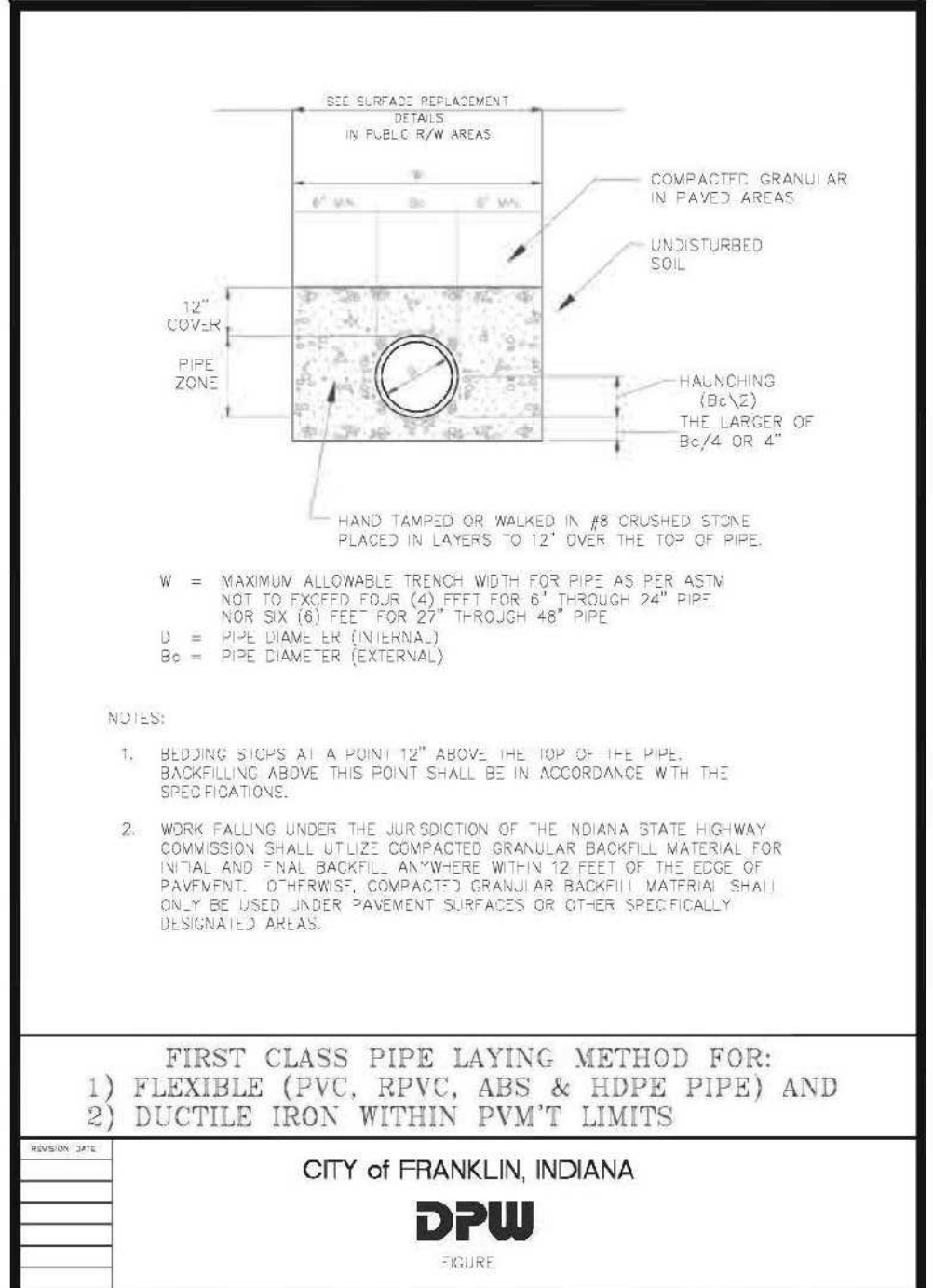
**R-4342 DITCH GRATE, STOOL TYPE**



**WATER DETAILS**



**SERVICE CONNECTION FOR SHALLOW SEWERS (LESS THAN 15' DEEP)**



**SANITARY SEWER DETAILS**

DATE	REVISION	SYMBOL	SCALE	NONE	DRAWN	JPH	CHECKED	JKS	CERTIFIED	JKS
<b>PROJECT</b> CRBECK PROPERTIES AT UNVILLE BUSINESS PARK - LOT 3 CITY OF FRANKLIN, JOHNSON COUNTY, INDIANA										
<b>TITLE</b> SITE DETAILS										
<b>PROJECTS plus</b> GREENWOOD SURVEYING COMPANY SITE ENGINEERING-LAND SURVEYING-CONSTRUCTION LAYOUT 1257 Airport Parkway, Suite A - Greenwood, Indiana 46143 (317)-882-5003										
<b>SEAL</b> JEFFERY K. SMITH REGISTERED PROFESSIONAL ENGINEER No. 19419 STATE OF INDIANA JEFFERY K. SMITH 10/29/24										
<b>JOB NUMBER</b> 23005.01 <b>SHEET</b> C902 <b>DATE</b> OCTOBER 25, 2024										



