

CURRENT OWNER

Steve Bekos, as Trustee of the George S. Bekas
Marital Trust for the Benefit of Stavroula Voula Bekas
550 Memory Lane
Carmel, IN 46032

SUBDIVIDER

WAWA, Inc.
260 W. Baltimore Pike
Wawa, PA 19063

LAND PLANNING

CESO, Inc.
3601 Rigby Road
Suite 300
Miamisburg, OH 45342

SURVEYOR NOTES:

- This survey does not constitute a title search by the surveyor. All information regarding record easements, and other documents that might affect the quality of title to the parcel shown hereon was obtained through a certified title commitment conducted by First American Title Insurance Company National Commercial Services, Commitment Number NCS-12256990-PHIL and bearing an effective date of June 26, 2024 at 7:30 AM.
- The utilities shown are located from field survey information and/or existing drawings supplied by client. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
 - Indiana 811 ticket No: 2403042746, 2403042910, 2403042937, 2403044316, 2403044350, 2403044366.
 - Marking provided by The Underground Detective on 12/28/2023.
- Parcel is located within Zone "X" (Area of Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Number 18081C0139E, effective date: 1/29/2021 published by the Federal Emergency Management Agency.
- A zoning report was not provided to the surveyor at the time of this survey.
- U.S. 31 right-of-way plans provided to the surveyor are dated 3/1/2022, proposed street upgrades do not appear to have occurred as of the date of the field work.

RECORD LEGAL DESCRIPTION

The Land referred to herein below is situated in the County of Johnson, State of Indiana, and is described as follows:

A part of the southwest quarter of Section 34, Township 13 North, Range 4 East of the Second Principal Meridian, in Pleasant Township, Johnson County, Indiana, described as follows:
Beginning at a point on the south line of said quarter section that is North 89 degrees 17 minutes East (assumed bearing), 2035.45 feet from the southwest corner thereof, said point also being in the northbound lane of U.S. Highway No. 31; thence continuing North 89 degrees 17 minutes East on and along said south line, 329.95 feet to a point that is South 89 degrees 17 minutes West, 2970.20 feet from the southeast corner of the southeast quarter of said Section 34; thence North 00 degrees 00 minutes East, 968.50 feet; thence South 89 degrees 10 minutes 30 seconds West, 607.59 feet to a point in said highway; thence South 16 degrees 04 minutes East with said highway, 1003.05 feet to the Place of Beginning, containing 10.417 acres, more or less, including the right-of-way of u.s. highway no. 31, which contains 1.114 acres, more or less.

SURVEYOR'S REPORT:

This survey is prepared per title 865, article 1, chapter 12, section 1 through 19 of the Indiana Administrative code (I.A.C.). The locations of the boundary lines and corners as shown hereon are reported to be accurate to the degree of error and uncertainties within the components of the survey as a result of the following:

- Availability and condition of reference monuments.
- Occupation or possession lines.
- Clarity or ambiguity of the record description used and of adjoining descriptions and the relationship of the lines of the subject tract with adjoining lines.
- The relative positional accuracy of the measurements.

West Line: The west line was re-established by holding the stationing and offsets from Indiana Department of Transportation plans dated 3/1/2022, and being project number 1800082.

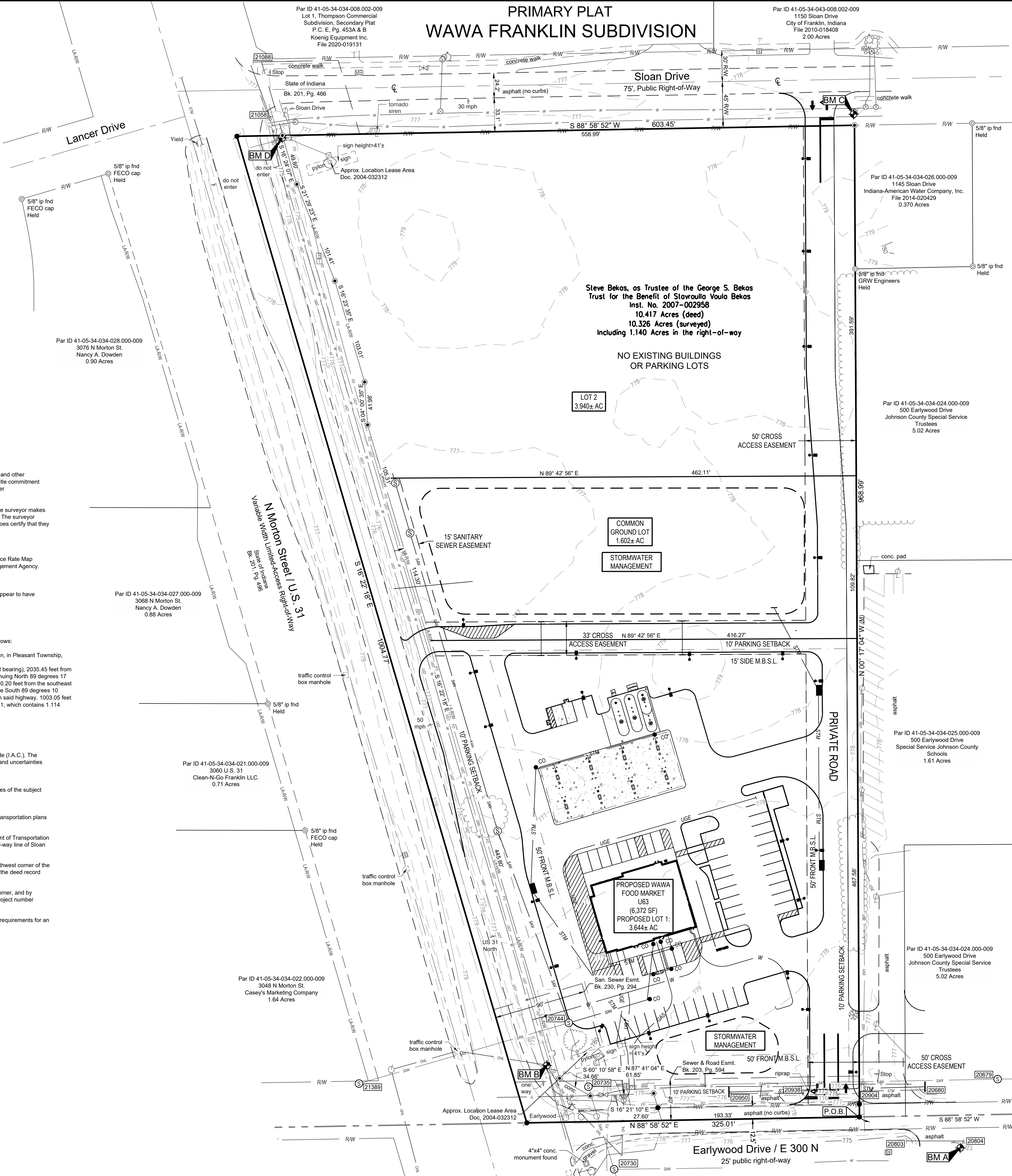
North Line: The north line was re-established by holding stationing and offsets of U.S.31 from Indiana Department of Transportation plans dated 3/1/2022, and being project number 1800082, and holding a found 5/8" iron pin on the south right-of-way line of Sloan Drive.

East Line: The east line was re-established by holding a found 5/8" iron pin stamped GRW Engineers at the southwest corner of the adjoining property to the northeast, holding a 5/8" iron pin at the northeast corner of said adjoining property with the deed record distance, and by holding the deed record distance from the southeast section corner.

South Line: The south line was re-established by holding the deed record distance from the southeast section corner, and by holding the stationing and offsets from Indiana Department of Transportation plans dated 3/1/2022, and being project number 1800082.

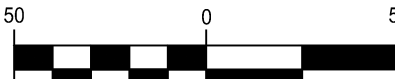
The relative positional accuracy of the corners of the surveyed property established per this survey is within the requirements for an urban survey 0.07 feet (21 millimeters) plus 50 parts per million as defined by I.A.C. 865.

PRIMARY PLAT WAWA FRANKLIN SUBDIVISION



BASIS OF BEARINGS

NAD 83 (2011), Indiana East zone 1301, derived from GPS Observations adjusted to ground at latitude N39°31'14.02863" and longitude W86°04'27.70189", project height 668.850, with a ground scale factor of 1.00005019372908



GRAPHIC SCALE (IN FEET)

TOPOGRAPHIC LEGEND

- | | |
|------------------------|----------------------------------|
| Power / Telephone Pole | Signal Pole |
| Light Pole | Signal Box / Traffic Control Box |
| Power Pole | Electric Meter |
| Electric Box (Access) | Gas Line Marker |
| Gas Valve | Fire Hydrant |
| Sanitary Manhole | Water Valve |
| Storm Manhole | Water Meter |
| Catch Basin | Telephone Line Marker |
| End Storm Drain | Telephone Box |
| Structure Number | Bollard |
| Sign | Mail Box |
| LA/RW | Limited Access Right-of-Way Line |
| R/W | Right-of-Way Line |
| G | Gas Line |
| W | Water Line |
| UGE | Underground Electric |
| UGT | Underground Communications |
| OHL | Overhead Utility Line |
| STM | Storm Sewer |
| SAN | Sanitary Sewer |
| FO | Fiber-Optic Line |
| | Tree / Brush Line |

SURVEY MONUMENT LEGEND

- 5/8" Iron Pin Set w/cap CESO, Inc
- Iron Pin Found as Described
- Monument Found as Described
- PK Nail/Mag Nail Found
- PK Nail/Mag Nail Set
- Benchmark Set
- Deed Record
- Measured

BENCHMARK

Vertical Datum: NAVD88
derived from GPS Observations

- BM "A": Benchmark set northwest corner of power pole. South side of Earlywood Dr., east from service entrance to Dodge dealership.
Elevation = 776.83'
- BM "B": Chiseled "X" southeast corner of concrete pad for signal pole. Northeast corner of U.S. 31 and Earlywood Dr., intersection, southwest from traffic control box.
Elevation = 779.95'
- BM "C": Chiseled "X" on arrow bolt west side of hydrant, south side of Sloan Rd., across the street from the fire station, near the end of the sidewalk.
Elevation = 780.33'
- BM "D": Chiseled "X" on bolt west side of hydrant. West from telephone box southeast corner of Sloan Rd. and U.S. 31.
Elevation = 778.03'

Storm Structure Chart

Invert 20680
18" conc. W = 773.81'

Invert 20904
18" conc. E = 774.28'

Invert 20938
15" conc. W = 774.99'

Invert 20950
15" conc. E = 775.22'

Invert 20803
15" conc. E = 773.41'

Invert 20804
15" conc. W = 773.15'

Invert 21058
15" conc. N = 774.65'

Invert 21088
12" cnp E = 774.62'

Sanitary Structure Chart

sanitary manhole 21389
rim = 777.22'

15" clay NE = unable to open

sanitary manhole 20744
rim = 779.31'

15" clay SW = 759.96'

15" clay SE = 759.96'

sanitary manhole 20735
rim = 780.42'

15" clay NW = 759.86'

12" clay E = 759.86'

15" clay SE = 759.86'

sanitary manhole 20679
rim = 776.22'

12" clay W = 760.97'

12" clay E = 760.97'

sanitary manhole 20730
rim = 777.16'

15" clay NW = 759.01'

12" clay E = 759.01'

15" clay SE = 759.01'

ACREAGE BREAKDOWN

LOT 1	3.644 AC.
LOT 2	3.940 AC.
COMMON LOT	1.602 AC.
RIGHT-OF-WAY	1.140 AC.
TOTAL	10.326 AC.



CESO
WWW.CESOINC.COM

3601 Rigby Rd., Suite 300
Miamisburg, OH 45342
Phone: 937.435.8584 Fax: 937.208.4826

Wawa

North Morton Street
Franklin, Indiana

SW Quarter of Section 34, Town 13 North, Range 4 East, Second Principal Meridian
City of Franklin, Johnson County, Indiana

Revisions / Submissions

ID	Description	Date
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© 2024 CESO, INC.

Project Number: 763219

Scale: 1" = 50'

Drawn By: RSL

Checked By: RLC

Date: 9/05/2024

Issue: Survey

Drawing Title:

Primary Plat

1 of 1

REZONING PLANS
FOR
PROPOSED WAWA FOOD MARKET
& FUELING STATION

NE HIGHWAY 31ST & E COUNTY ROAD 300 N
FRANKLIN, IN 46131

WAWA:
WAWA, INC.
260 WEST BALTIMORE PIKE
WAWA, PA 19063
PHONE: (217) 663-4065
CONTACT: PATRICK MOONE

ARCHITECT:
HFA
31 HAYWARD STREET
FRANKLIN, MA 02038
PHONE: (508) 528-0770 EXT. 409
CONTACT: HAILEY WEBER

ENGINEER:
CESO, INC.
7711 BONHOMME AVE., SUITE 600
CLAYTON MO 63105
PHONE: (618) 604-7157
CONTACT: PAUL HANSON

GOVERNING AGENCIES AND UTILITY COMPANIES:

SEWER:
CITY OF FRANKLIN DEPARTMENT OF
PUBLIC WORKS
796 S STATE
FRANKLIN, IN 46131
PHONE: (888) 736-3640

GAS SERVICE:
CENTERPOINT ENERGY
600 INDUSTRIAL DRIVE
FRANKLIN, IN 46131
PHONE: (866) 203-3749

WATER:
INDIANA AMERICAN WATER
425 W MAIN STREET
MOORESVILLE, IN 46158
PHONE: (317) 831-3385

COMMUNICATIONS:
TBD

STORMWATER:
CITY OF FRANKLIN DEPARTMENT OF
ENGINEERING
70 E. MONROE STREET
FRANKLIN, IN 46131
PHONE: (317) 736-3631

ELECTRIC:
DUKE ENERGY
2515 N. MORTON STREET
FRANKLIN, IN 46131
PHONE: (866) 236-3749

ZONING:
CITY OF FRANKLIN DEPARTMENT OF
ENGINEERING
70 E. MONROE STREET
FRANKLIN, IN 46131
PHONE: (317) 736-3631

PROPERTY DATA:

PARCEL OWNER: BEKAS STEVE TRUSTEE OF GEORGE S BEKAS MARTIAL TRUST FOR THE
BENEFIT OF STRAVROULA VOULA BEKAS DTD AUGUST 19 2005

PARCEL ID: 41-05-34-034-023.000-009

ADDRESS: INTERSECTION OF US 31 S AND E COUNTY ROAD 300N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

TOTAL PROPERTY AREA: 9.18 ACRES

WAWA PROPERTY AREA: 3.64 ACRES
COMMON GROUND PROPERTY AREA: 1.60 ACRES
LOT 2 PROPERTY AREA: 3.94 ACRES

PROPOSED ZONING: MIXED-USE REGIONAL CENTER (MXR)

PROPOSED USE: FUEL STATION & CONVENIENCE STORE

	REQUIRED	PROPOSED
BUILDING SETBACKS		
FRONTAGE ALONG (EAST PRIVATE ROAD):	50'	158'
FRONTAGE ALONG (US 31 ROW):	50'	78'
FRONTAGE ALONG (EARLYWOOD DRIVE/ E 300 N):	50'	139'
SIDE:	15'	215'
REAR:	20'	N/A

PARKING AREA SETBACKS

FRONTAGE ALONG (EAST PRIVATE ROAD): 10' 60'

FRONTAGE ALONG (US 31 ROW): 10' 57'

FRONTAGE ALONG (EARLYWOOD DRIVE/ E 300 N): 10' 50'

SIDE: 10' 54'

MAXIMUM BUILDING HEIGHT: 50' 27'

PARKING:
1 SPACE PER 300 SF OF GROSS FLOOR AREA IN RETAIL SPACE OF CONVENIENCE STORE AND ONE SPACE PER EMPLOYEE
WORKING THE LARGEST SHIFT
TOTAL PARKING SPACES: 36 50
ADA PARKING SPACES: 2 3

FLOODPLAIN DESIGNATION: PARCEL IS LOCATED WITHIN "ZONE X" AS INDICATED BY THE FLOOD
INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 18081C0139E,
EFFECTIVE DATE: 01/28/2021; PUBLISHED BY THE FEDERAL EMERGENCY
MANAGEMENT AGENCY.

WAWA SITE DATA:

WAWA STORE #: 7426

BUILDING TYPE: U63

CANOPY TYPE: SLOPED

CANOPY CONFIGURATION: AUTO-STACKED

MPD'S: 8

TYPE OF MPD'S: 3+1

PARKING SPACES: 50

ADA PARKING SPACES: 3

TRUCK/OVERSIZED PARKING SPACES: 0

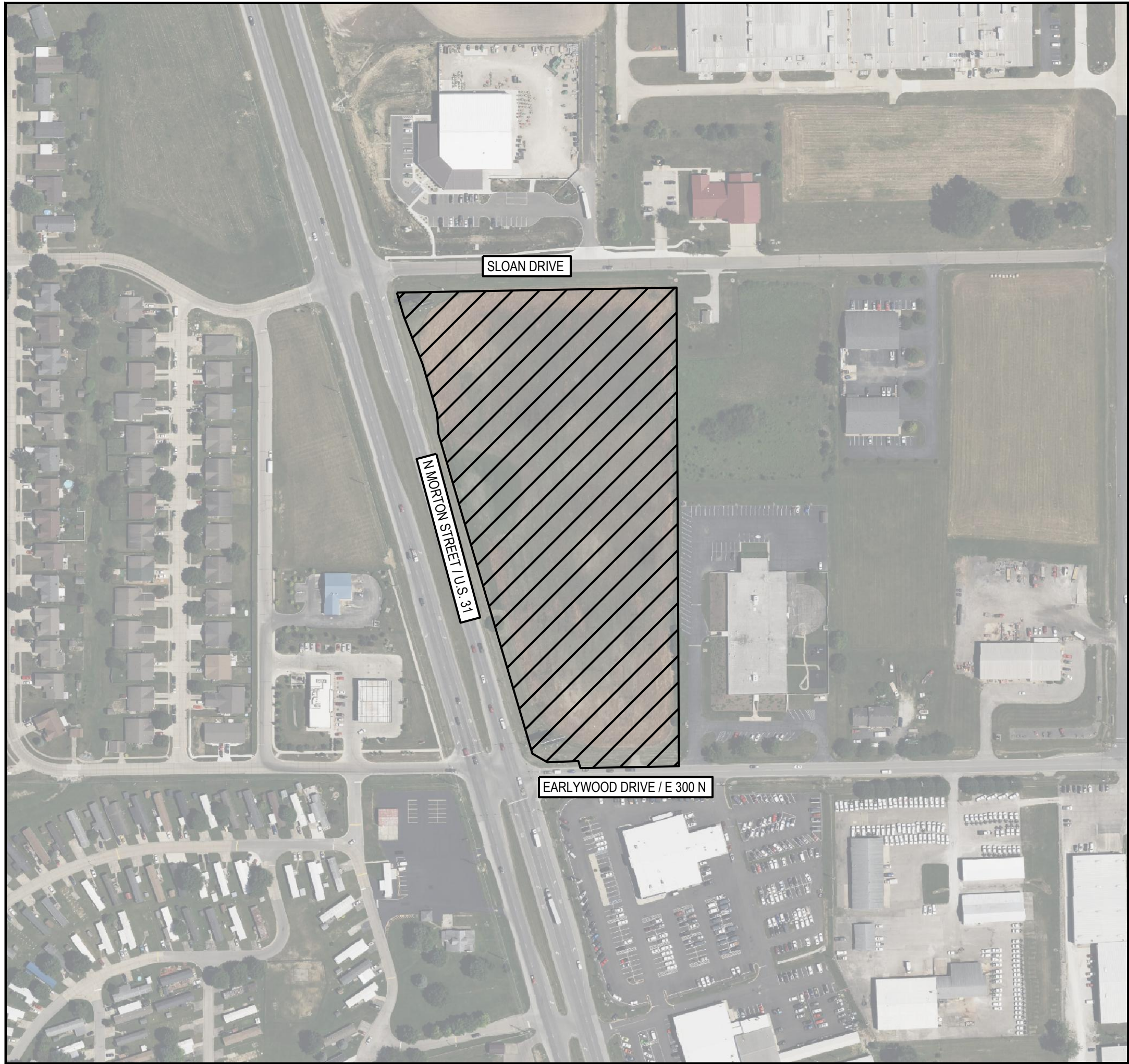
COVERAGES:

SQ. FT. ASPHALT (ON-SITE): 119,367

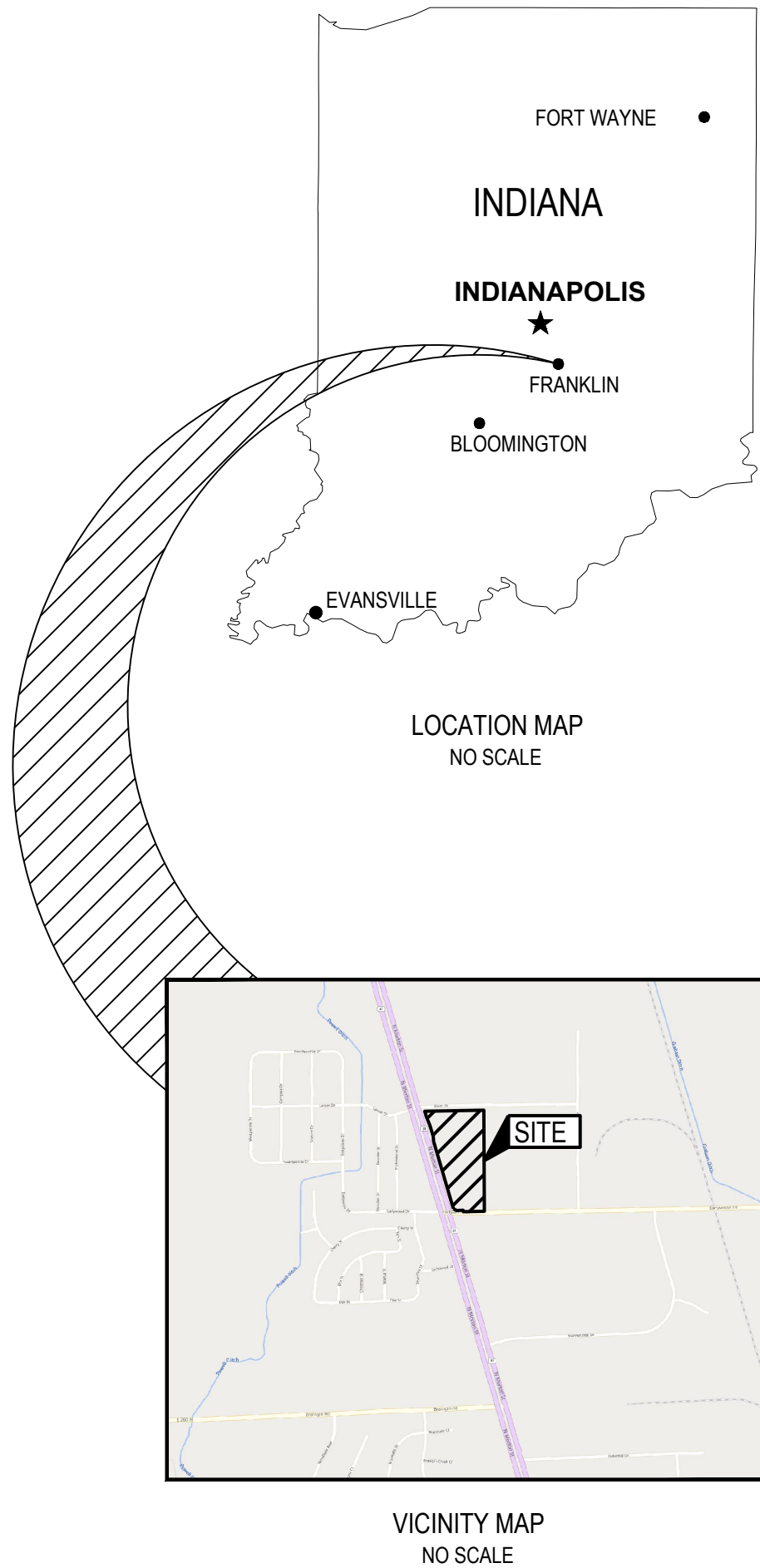
SQ. FT. OF LAWN AREA: 114,254
(TO BE MOWED)

SQ. FT. OF MULCH AREA: 0

SQ. FT. OF RIVER ROCK: 0



AREA MAP
1" = 200'



Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	ALTA
3	OVERALL SITE PLAN
4	SITE PLAN-SOUTH
5	SITE PLAN-NORTH
6	OVERALL GRADING
7	GRADING PLAN - SOUTH
8	GRADING PLAN - NORTH
9	UTILITY PLAN - SOUTH
10	UTILITY PLAN- NORTH
11	LANDSCAPE PLAN- SOUTH
12	LANDSCAPE PLAN- NORTH
13	LANDSCAPE DETAILS AND NOTES

BENCHMARK	
Vertical Datum: NAVD88 derived from GPS Observations	
BM "A":	Benchmark set northwest corner of power pole. South side of Earlywood Dr., east from service entrance to Dodge dealership. Elevation = 776.83'
BM "B":	Chiseled "X" southeast corner of concrete pad for signal pole. Northeast corner of U.S. 31 and Earlywood Dr., intersection, southwest from traffic control box. Elevation = 779.95'
BM "C":	Chiseled "X" on arrow bolt west side of hydrant, south side of Sloan Rd., across the street from the fire station, near the end of the sidewalk. Elevation = 780.33'
BM "D":	Chiseled "X" on bolt west side of hydrant. West from telephone box southeast corner of Sloan Rd. and U.S. 31. Elevation = 778.03'



FORTY-EIGHT (48) HOURS
BEFORE DIGGING IS TO
COMMENCE, THE CONTRACTORS
SHALL NOTIFY THE FOLLOWING
AGENCIES: INDIANA UTILITIES
PROTECTION SERVICE AT 811 OR
800-382-5544 AND ALL OTHER
AGENCIES WHICH MIGHT HAVE
UNDERGROUND UTILITIES
INVOLVING THIS PROJECT AND
ARE NONMEMBERS OF STATE
UTILITIES PROTECTION SERVICE



CESO
WWW.CESOINC.COM

7711 Bonhomme Ave., Suite 600
Clayton, MO 63105
Phone: 314.834.0663 Fax: 888.208.4826



THE INFORMATION ON THIS
DOCUMENT IS RELAYING OR
CONSTRUCTIVE RECORDING
PURPOSES ONLY. INFORMATION

WAWA
STORE #7426

FRANKLIN, IN

NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions

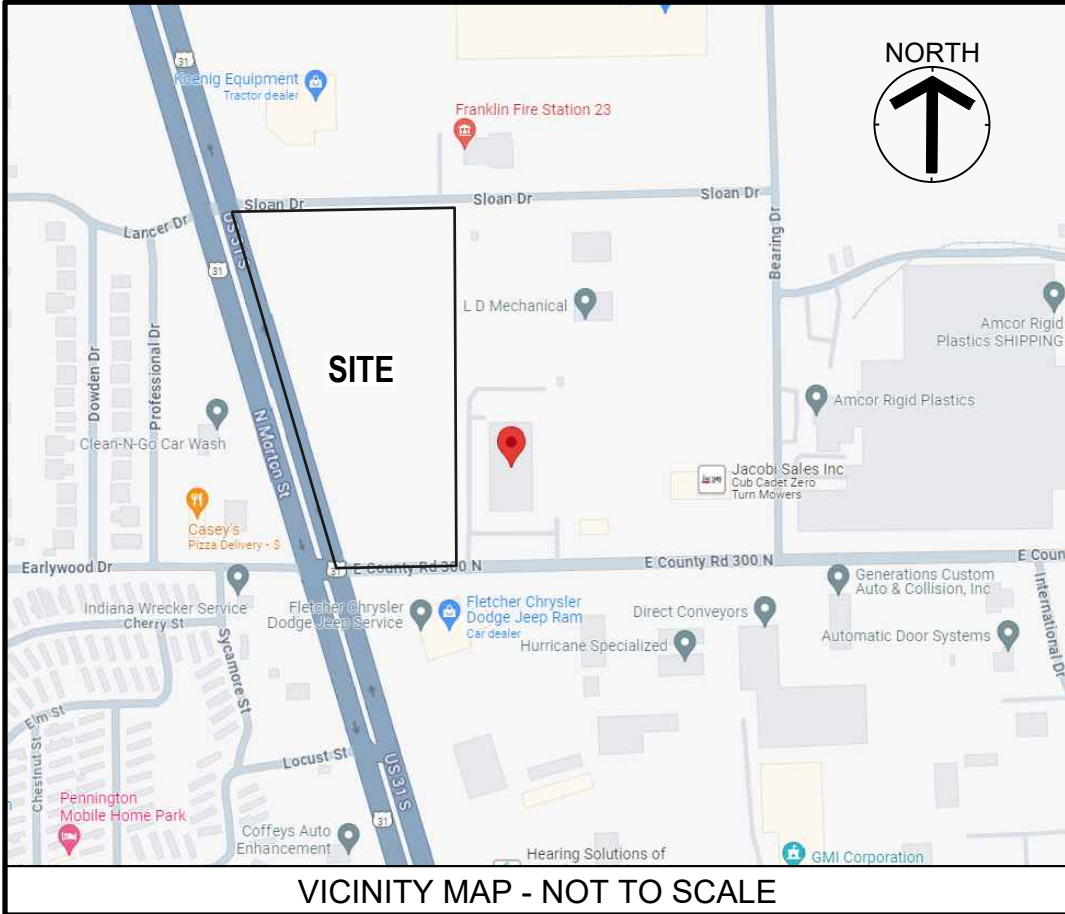
ID	Description	Date
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© 2024 CESO, INC.

Project Number: 763219
Scale: N/A
Drawn By: FAR
Checked By: JTK
Date: 09/05/2024
Issue: NOT FOR CONSTRUCTION

Drawing Title:
COVER SHEET

1 OF 13



SURVEYOR NOTES:

- This survey does not constitute a title search by the surveyor. All information regarding record easements, and other documents that might affect the quality of title to the parcel shown hereon we obtained through a certified title commitment conducted by First American Title Insurance Company National Commercial Services, Commitment Number NCS-12256990-PHIL and bearing an effective date of June 26, 2024 at 7:30 AM.
- Direct access to the subject parcel is available via Earlywood Drive & Sloan Drive.
- The utilities shown are located from field survey information and/or existing drawings supplied by client. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
 - Indiana 811 ticket No. 2403042746, 2403042910, 2403042937, 2403044316, 2403044350, 2403044366.
 - Marking provided by The Underground Detective on 12/28/2023.
- Parcel is located within Zone "X" (Area of Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Number 18081C0138E, effective date: 1/29/2021 published by the Federal Emergency Management Agency.
- A zoning report was not provided to the surveyor at the time of this survey.
- There are no parking spaces on the surveyed property.
- The surveyed property is at the intersection of N Morton Street & Earlywood Drive to the south, and Sloan Drive & N Morton Street to the north.
- There was no observed evidence of current earth moving work, building construction or building additions at the time of this survey.
- U.S. 31 right-of-way plans provided to the surveyor are dated 3/1/2022, proposed street upgrades do not appear to have occurred as of the date of the field work. No evidence of street or sidewalk construction or repairs observed at time of the field survey.

EXHIBIT "A" LEGAL DESCRIPTION

The Land referred to herein below is situated in the County of Johnson, State of Indiana, and is described as follows:

A part of the southwest quarter of Section 34, Township 13 North, Range 4 East of the Second Principal Meridian, in Pleasant Township, Johnson County, Indiana, described as follows:
Beginning at a point on the south line of said quarter section that is North 89 degrees 17 minutes East (assumed bearing), 2035.45 feet from the southwest corner thereof, said point also being in the northbound lane of U.S. Highway No. 31; thence continuing North 89 degrees 17 minutes East on and along said south line, 329.95 feet to a point that is South 89 degrees 17 minutes West, 2970.20 feet from the southeast corner of the southeast quarter of said Section 34; thence North 00 degrees 00 minutes East, 968.50 feet; thence South 89 degrees 10 minutes 30 seconds West, 607.59 feet to a point in said highway; thence South 16 degrees 04 minutes East with said highway, 1003.05 feet to the Place of Beginning, containing 10.417 acres, more or less, including the right-of-way of u.s. highway no. 31, which contains 1.114 acres, more or less.

SCHEDULE B - PART II

Part One does not contain any easements. Part Two items 1, 2, and 10-14 are not survey related

- Terms, provisions and conditions contained in Lease by and between George and Voula Bekas, Lessor, and American Outdoor Advertising Company, Lessee, dated October 24, 2003 as disclosed by a Sign Location Lease recorded November 8, 2004 as document 2004-032312, and all rights thereunder of and all acts done and suffered thereunder of said lessee or any parties claiming by, through or under said lessee.

Note: The term of the Lease is fifteen (15) years with right to renew for one (1) additional five (5) year term.
APPROXIMATE LOCATIONS OF THE LEASE AREAS ARE AS SHOWN HEREON.
- Reservation of easement for ingress and egress as contained in Warranty Deed from David W. Dowden and Nancy A. Dowden, husband and wife, to Evans Products Company of the City of Portland recorded January 18, 1973 in Book 196, page 525. EASEMENT IS NOT ON, BUT ADJOINS THE SURVEYED PROPERTY AS SHOWN HEREON.
- Right-of-Way Easement in favor of City of Franklin, Indiana recorded April 11, 1975 in Book 203, page 594, and the terms and conditions contained therein. EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN HEREON.
- Permanent Easement in favor of City of Franklin, Indiana recorded June 30, 1983 in Book 230, page 294, and the terms and conditions contained therein. EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN HEREON.
- Permanent extinguishment of all rights and easements of ingress and egress to, from and across the limited access facility known as U.S.R. 31 and as Project U.S.-31(41) to and from the land as set out in a deed to the State of Indiana recorded June 21, 1974 in Book 201, page 486, in the Office of the Recorder of Johnson County, Indiana. NOT ON, BUT ADJOINS, THE SURVEYED PROPERTY AS SHOWN HEREON.
- Permanent extinguishment of all rights and easements of ingress and egress to, from and across the limited access facility known as U.S.R. 31 and as Project U.S.-31(41) to and from the land as set out in a deed to the State of Indiana recorded June 24, 1974 in Book 201, page 486, in the Office of the Recorder of Johnson County, Indiana. RUNS THROUGH A PORTION OF THE SURVEYED PROPERTY AS SHOWN HEREON.
- 75 foot right of entry, setback and use restrictions, possible assessments for maintenance and/or reconstruction, and all rights of others entitled to the continued uninterrupted flow of water through the H O Canary 2740 Legal Drain and Powell 2724 Legal Drain, a legal drain established in accordance with I.C. 36-9-27-33. DOCUMENT NOT PROVIDED

SURVEYOR'S REPORT:

This survey is prepared per title 865, article 1, chapter 12, section 1 through 19 of the Indiana Administrative code (I.A.C.). The locations of the boundary lines and corners as shown hereon are reported to be accurate to the degree of error and uncertainties within the components of the survey as a result of the following:

- Availability and condition of reference monuments.
- Occupation or possession lines.
- Clarity or ambiguity of the record description used and of adjoining descriptions and the relationship of the lines of the subject tract with adjoining lines.
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East Line: The east line was re-established by holding a found 5/8" iron pin stamped GRW Engineers at the southwest corner of the adjoining property to the northeast, holding a 5/8" iron pin at the northeast corner of said adjoining property with the deed record distance, and by holding the deed record distance from the southeast section corner.

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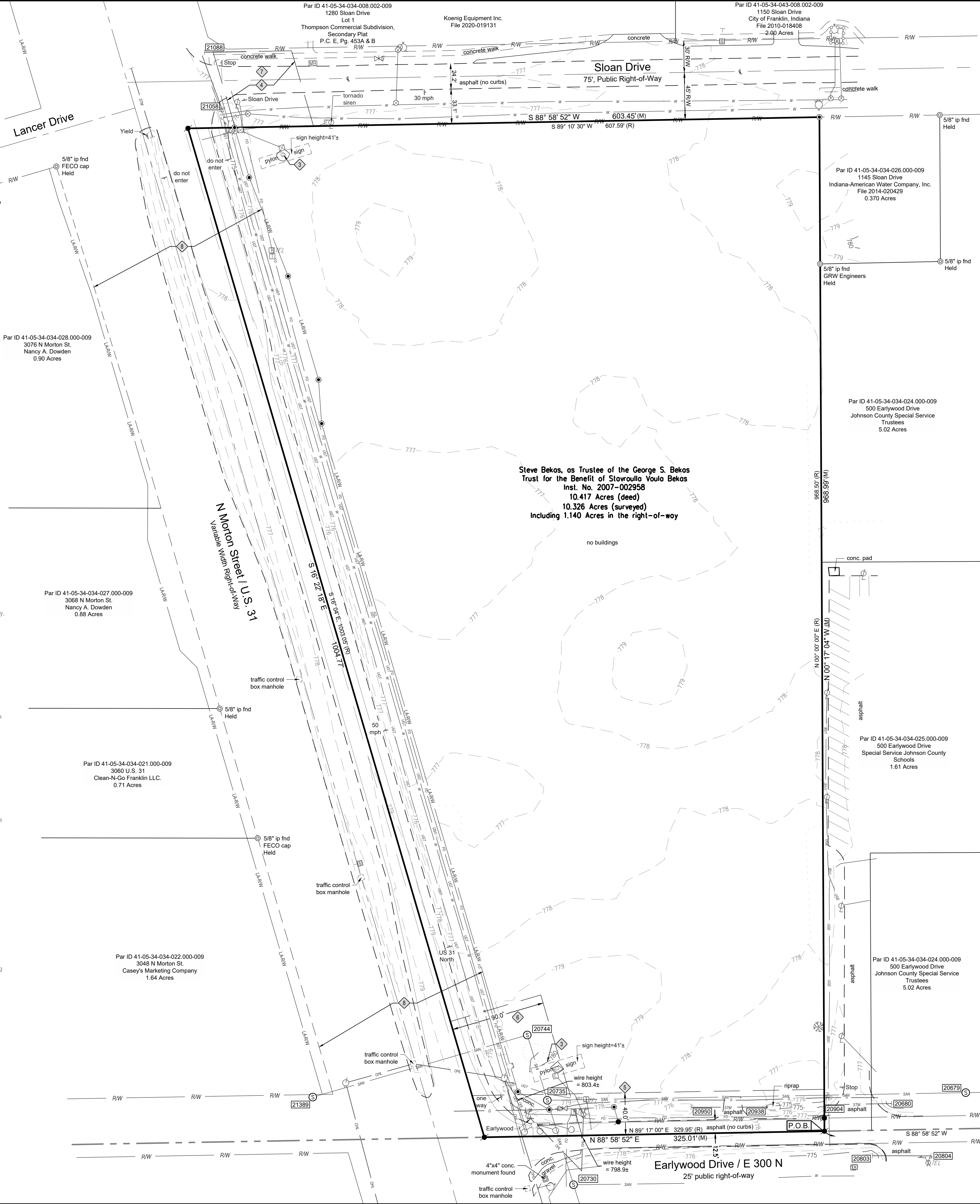
SURVEYOR'S CERTIFICATION:

TO: (i) First American Title Insurance Company National Commercial Services (ii) Wawa Midwest, LLC, a Delaware limited liability company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 11(b), 13, 14, 16, 17, 18 of Table A thereof. The fieldwork was completed on July 24, 2024.

Date of Plat or Map: August 9, 2024

Robert Matko, PS
Indiana Professional Surveyor # LS21500007
matko@cesoinc.com
13060 S. U.S. Hwy. 27, Suite D
DeWitt, Michigan 48820
(517) 212-4188



BASIS OF BEARINGS
NAD 83 (2011), Indiana East zone 1301, derived from GPS Observations adjusted to ground at latitude N39°31'14.02863" and longitude W86°04'27.70189", project height 668.850, with a ground scale factor of 1.00005019372908

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50 0 50

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Light Pole	Signal Box / Traffic Control Box
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Gas Valve	Fire Hydrant
Sanitary Manhole	Water Valve
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Catch Basin	Telephone Line Marker
End Storm Drain	Telephone Box
Structure Number	Bollard
Sign	Mail Box
LA-RW	Limited Access Right-of-Way Line
RW	Right-of-Way Line
G	Gas Line
W	Water Line
UGE	Underground Electric
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| Invert 21058 | 12' clay W = 760.97' |
| 15' conc. N = 774.65' | 12' clay E = 760.97' |
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| 12" cmp E = 774.62' | rim = 777.16' |
| | 15' clay NW = 759.01' |
| | 12' clay E = 759.01' |
| | 15' clay SE = 759.01' |

Sanitary Structure Chart

- | | |
|------------------------------|---------------|
| sanitary manhole 21389 | rim = 777.22' |
| 15' clay NE = unable to open | |
| sanitary manhole 20744 | rim = 779.31' |
| 15' clay SW = 759.96' | |
| 15' clay SE = 759.96' | |
| sanitary manhole 20735 | rim = 780.42' |
| 15' clay NW = 759.86' | |
| 12' clay E = 759.86' | |
| 15' clay SE = 759.86' | |
| sanitary manhole 20679 | rim = 776.22' |
| 12' clay W = 760.97' | |
| 12' clay E = 760.97' | |
| sanitary manhole 20730 | rim = 777.16' |
| 15' clay NW = 759.01' | |
| 12' clay E = 759.01' | |
| 15' clay SE = 759.01' | |

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Merrillville, IN 46442
Phone: 937.435.8584 Fax: 888.208.4826

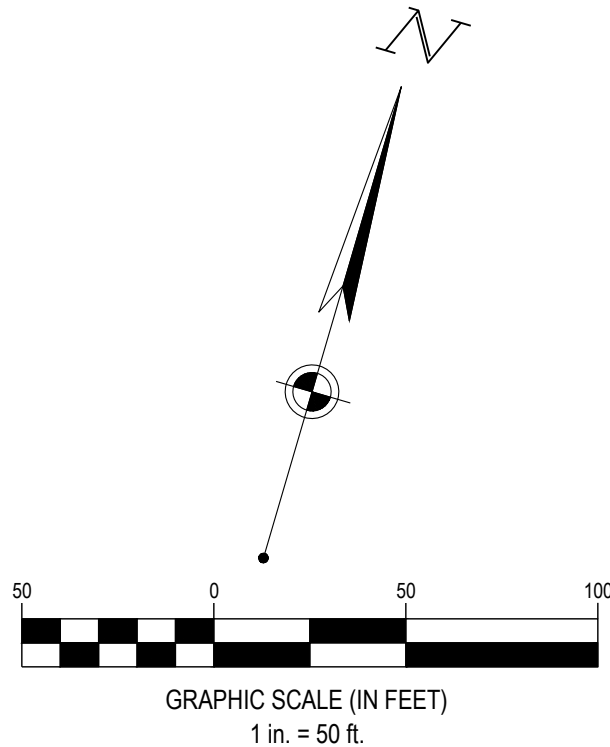
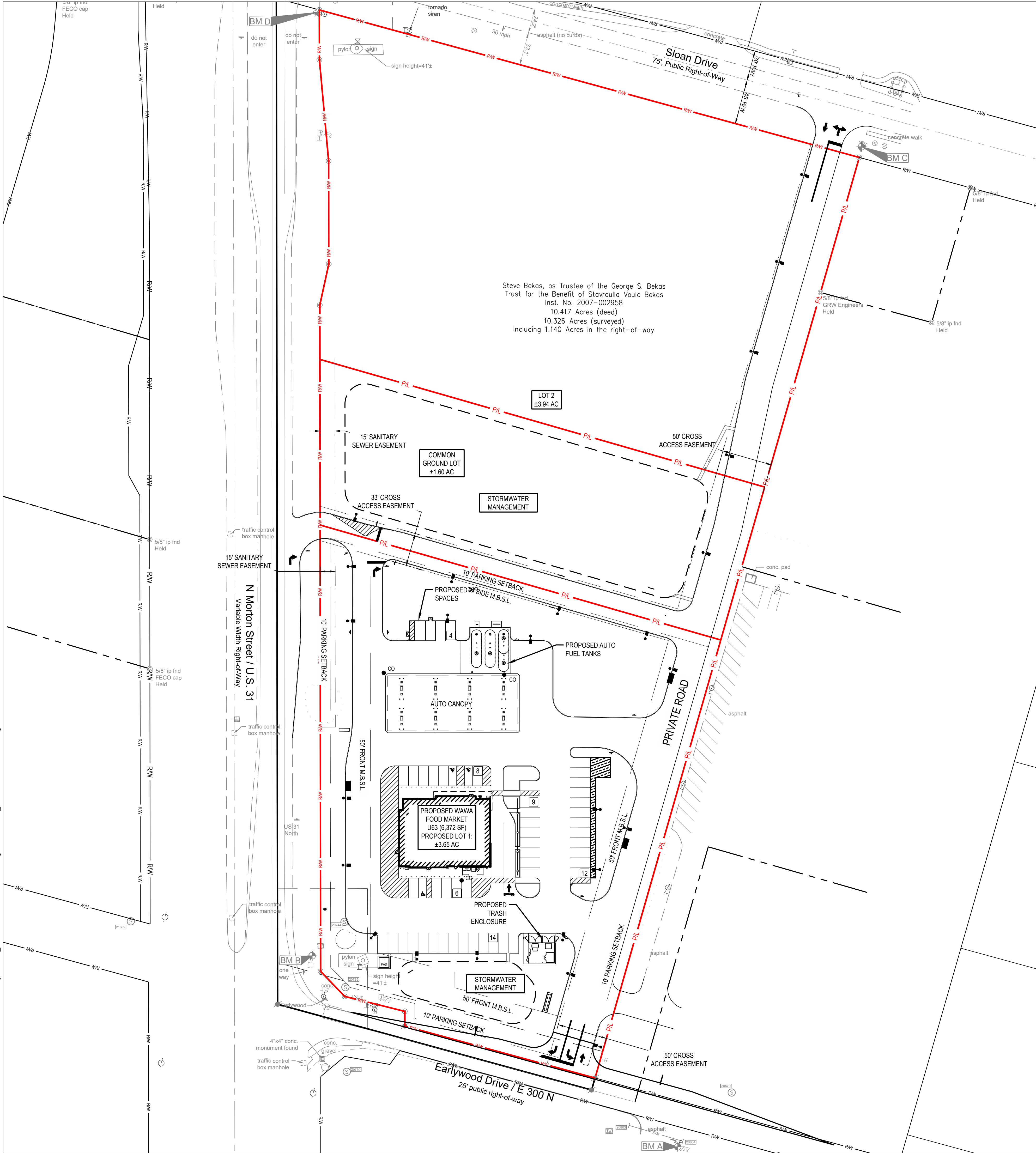
Wawa

Wawa - Franklin, Indiana
North Morton Street
Southwest Quarter of Section 34., Town 13, Range 4

Revisions / Submissions		
ID	Description	Date
Project Number: 763219		
Scale: 1" = 50'		
Drawn By: RSL		
Checked By: RLC		
Date: 8/9/2024		
Issue: Survey		

Drawing Title:
**ALTA / NSPS LAND
TITLE SURVEY**

C:\DARoot\Jobs\1829e7e32c44e7f86c32be7fa749b7\Project Files_CESOU03-Civil\PLAN\Re zoning Plans\763215_OVERALL SITE PLAN.dwg - 9/5/2024 - acesuser



SITE LEGEND	
EXISTING	
REFER TO ALT/NSPS TOPOGRAPHIC SURVEY	
PROPOSED	
	R/W RIGHT-OF-WAY (BOUNDARY)
	PL PROPERTY LINE
	SETBACK
	EASEMENT
	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
	PARKING SPACE COUNT
	SIGN
	LIGHT POLE
	BOLLARD
	CLEAN OUT
	CURB INLET
	HEADWALL

BENCHMARK	
Vertical Datum: NAVD88 derived from GPS Observations	
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BM "B":	Chiseled "X" southeast corner of concrete pad for signal pole. Northeast corner of U.S. 31 and Earlywood Dr., intersection, southwest from traffic control box. Elevation = 779.95'
BM "C":	Chiseled "X" on arrow bolt west side of hydrant, south side of Sloan Rd., across the street from the fire station, near the end of the sidewalk. Elevation = 780.33'
BM "D":	Chiseled "X" on bolt west side of hydrant. West from telephone box southeast corner of Sloan Rd. and U.S. 31. Elevation = 778.03'



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: INDIANA UTILITIES PROTECTION SERVICE AT 811 OR 800-382-5544 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

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WAWA
STORE #7426

FRANKLIN, IN
NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions		
ID	Description	Date

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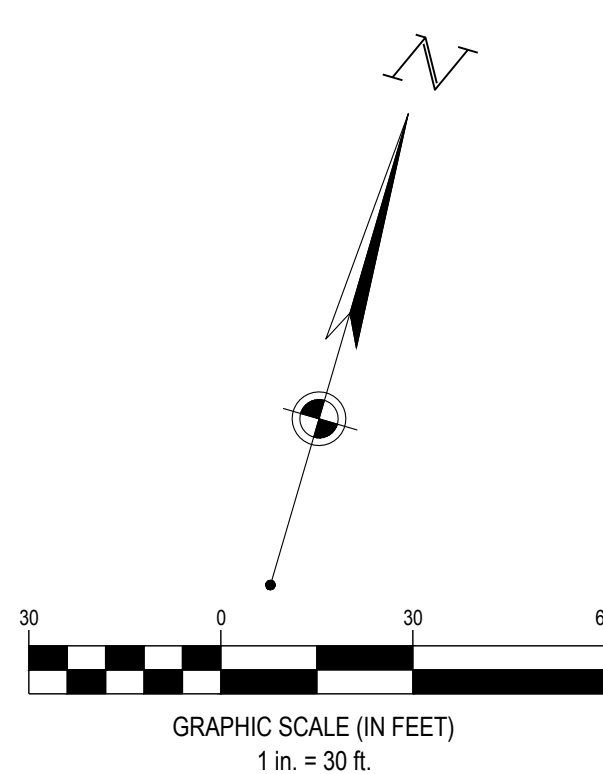
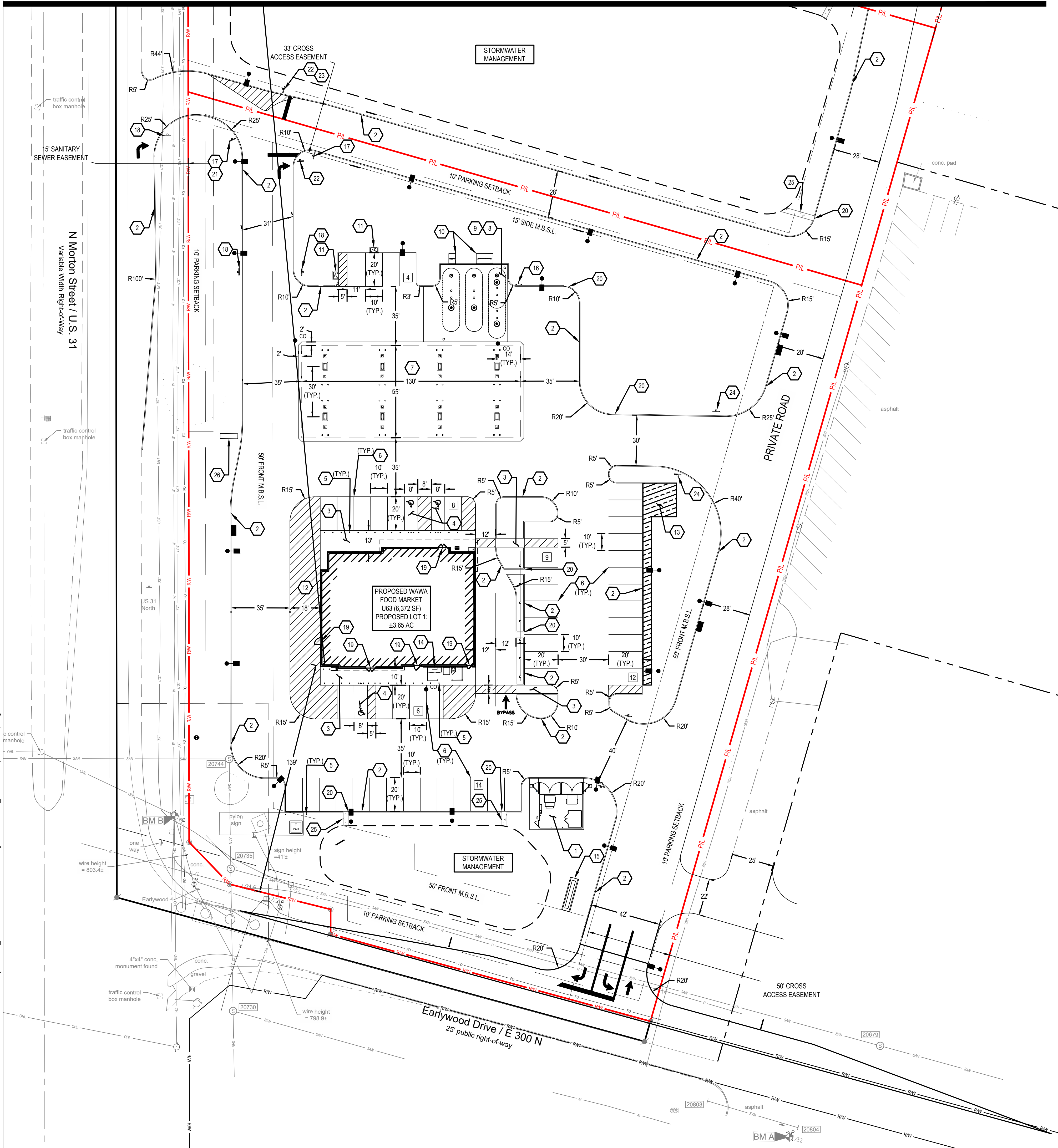
Project Number: 763219
Scale: 1"=50'
Drawn By: FAR
Checked By: JTK
Date: 09/05/2024
Issue: NOT FOR CONSTRUCTION

Drawing Title:
OVERALL SITE PLAN

3 OF 13

C:\DARoot\Jobs\181829e7e32c4467b8c3215\Site Plan (Detailed).dwg - 9/5/2024 - aceuser

MATCHLINE- SEE SHEET 5 OF 13 SITE PLAN-NORTH



SITE LEGEND

- EXISTING**
- REFER TO ALTANSPTS TOPOGRAPHIC SURVEY
- PROPOSED**
- R/W RIGHT-OF-WAY (BOUNDARY)
 - PL PROPERTY BOUNDARY
 - SETBACK
 - EASEMENT
 - BUILDING
 - CONCRETE CURB
 - PAVEMENT/WALK
 - PARKING SPACE COUNT
 - SIGN
 - LIGHT POLE
 - BOLLARD
 - CLEAN OUT
 - CURB INLET
 - HEADWALL

SITE REQUIREMENTS:

- BUILDING SETBACKS:**
- FRONTAGE ALONG (EAST PRIVATE ROAD) - 50'
 - FRONTAGE ALONG (US 31 ROW) - 50'
 - FRONTAGE ALONG (EARLYWOOD DRIVE / E 300N) - 50'
 - SIDE YARD - 15'
 - REAR YARD - 20'
- PARKING SETBACKS:**
- FRONTAGE ALONG (EAST PRIVATE ROAD) - 10'
 - FRONTAGE ALONG (US 31 ROW) - 10'
 - FRONTAGE ALONG (EARLYWOOD DRIVE / E 300N) - 10'
 - SIDE YARD - 10'
 - REAR YARD - 10'
- STANDARD PARKING DIMENSIONS:**
- 10'Wx20'
- PARKING REQUIRED:**
- WAWA C-STORE:**
 - (1) SPACE PER 300 S.F. OF GROSS FLOOR AREA
 - 6,372 x (1/300 GFA) = 22 SPACES
- TOTAL PARKING REQUIRED = 22 SPACES**
- TOTAL PARKING PROPOSED = 53 SPACES**

CODED NOTES:

- PROPOSED 8" MASONRY TRASH ENCLOSURE W/ 8" REINFORCED CONCRETE PAD.
- PROPOSED 6" STRAIGHT CURB.
- PROPOSED 4" CONCRETE SIDEWALK (4,000 PSI).
- ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE.
- PROPOSED 6" CONCRETE BOLLARD. TYPICAL DISTANCE BETWEEN BOLLARDS ARE 5'.
- PROPOSED 4" YELLOW PAINT PARKING LOT PAVEMENT MARKINGS.
- PROPOSED 130' X 55' FUELING CANOPY (7,150 SF).
- PROPOSED 8" CONCRETE PAD (4,000 PSI).
- PROPOSED TWO (2) 22K AND TWO (2) 20K FUEL STORAGE TANKS. REFER TO FUELING PLANS FOR DETAILS.
- PROPOSED 6'X6' VENT RISER CONCRETE PAD (4,000 PSI) WITH TWO BOLLARDS.
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- LIMITED BUILD AREA FOR FUTURE EV EQUIPMENT.
- PROPOSED ICE CHEST.
- PROPOSED GROUND MOUNTED SIGN.
- E-STOP BUTTON LOCATION.
- PROPOSED DO NOT ENTER SIGN.
- PROPOSED RIGHT-IN SIGN.
- PROPOSED BUILDING DOOR.
- PROPOSED 3' CURB CUT.
- PROPOSED ONE-WAY SIGN.
- PROPOSED STOP SIGN.
- PROPOSED LEFT TURN ONLY SIGN.
- PROPOSED DIRECTIONAL SIGN.
- PROPOSED 3' W CONCRETE FLUME.
- PROPOSED PYLON SIGN.

SITE NOTES:

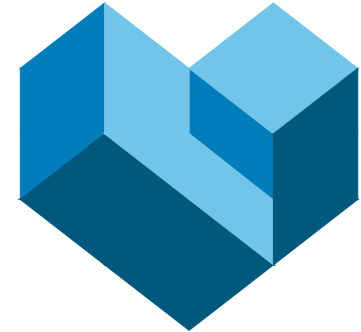
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL INDOT STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS/PERMITTING AND INSPECTIONS AS NECESSARY PRIOR TO CONSTRUCTION.
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- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT AND DIMENSIONS AND PROPOSED SIGNS.



VICINITY MAP
NO SCALE



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FRANKLIN, IN

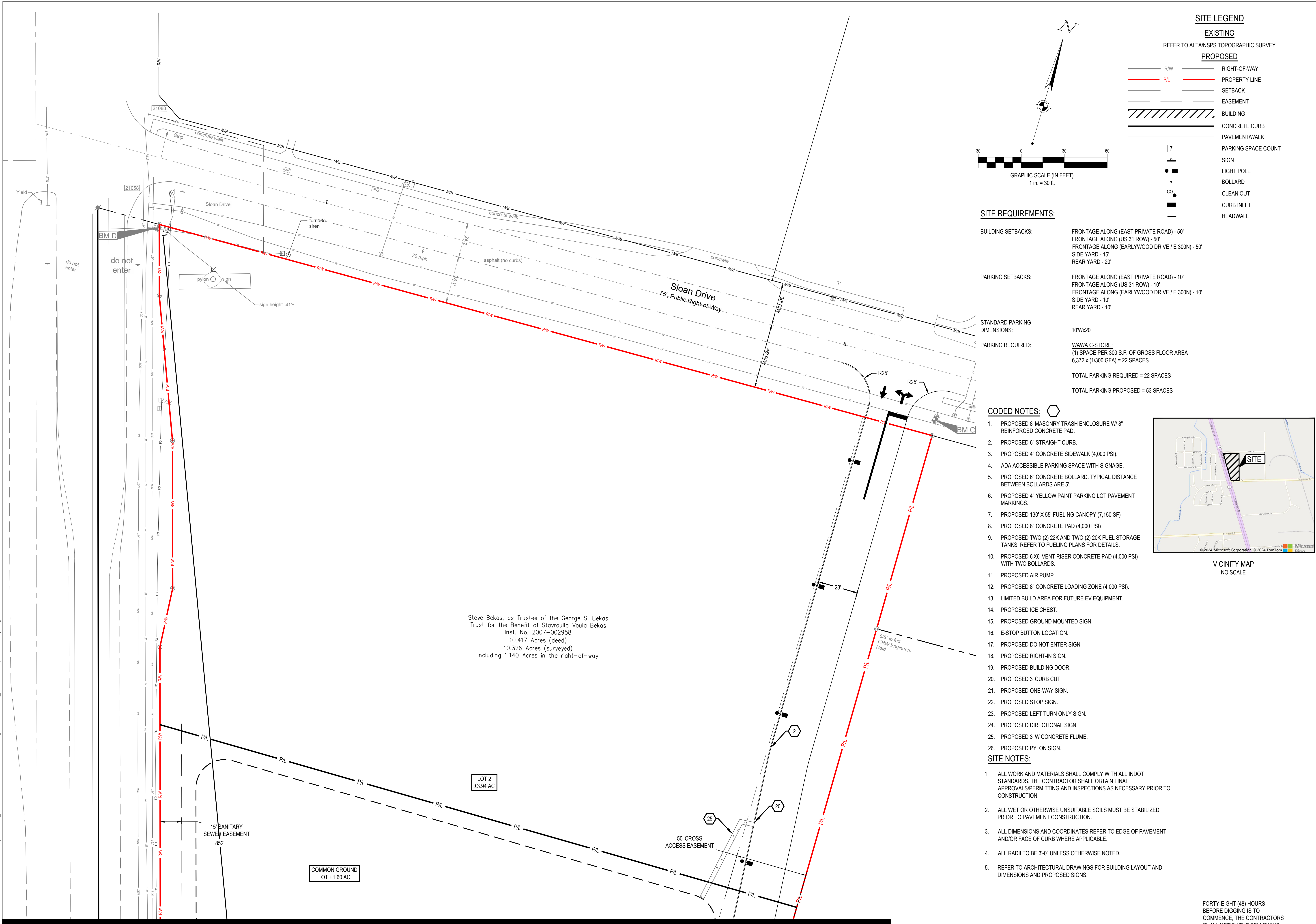
NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions

ID	Description	Date

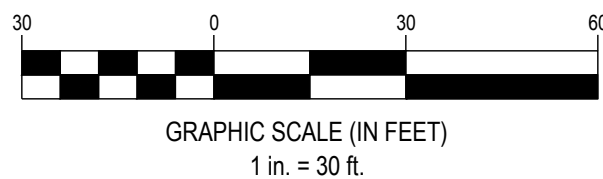
Drawing Title:
SITE PLAN-SOUTH

C:\DARoot\Jobs\101829e7e32c4467f86c32bbe7fa749b7\Project Files_CESO\03-CIVIL\PLAN\Re zoning Plans\763219 SITE PLAN (DETAILED).dwg - 9/5/2024 - acesuser



SITE LEGEND

- EXISTING
REFER TO ALT/ANSPS TOPOGRAPHIC SURVEY
- PROPOSED
- R/W RIGHT-OF-WAY
 - PL PROPERTY LINE
 - SETBACK
 - EASEMENT
 - BUILDING
 - CONCRETE CURB
 - PAVEMENT/WALK
 - PARKING SPACE COUNT
 - SIGN
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 - BOLLARD
 - CLEAN OUT
 - CURB INLET
 - HEADWALL



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- PROPOSED DIRECTIONAL SIGN.
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WAWA
STORE #7426

FRANKLIN, IN

NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions

ID	Description	Date
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Project Number: 763219

Scale: 1"=30'

Drawn By: FAR

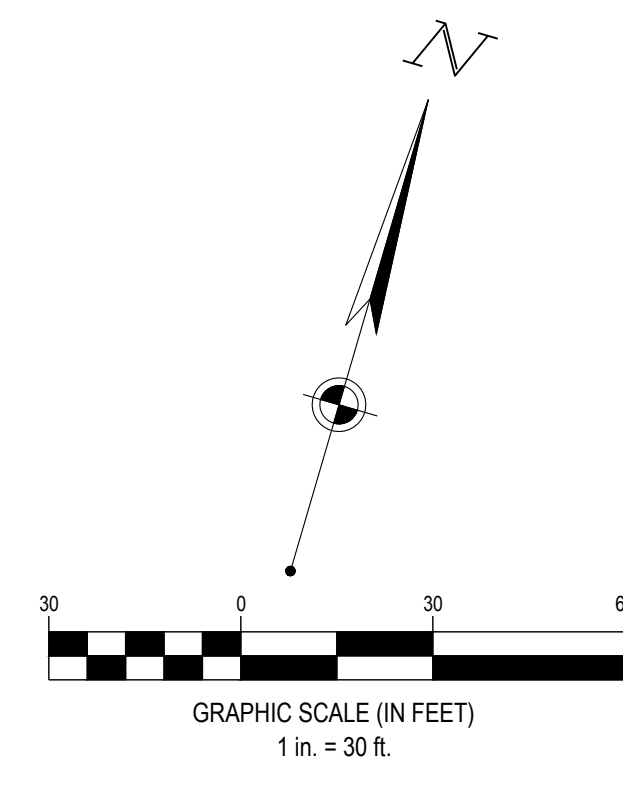
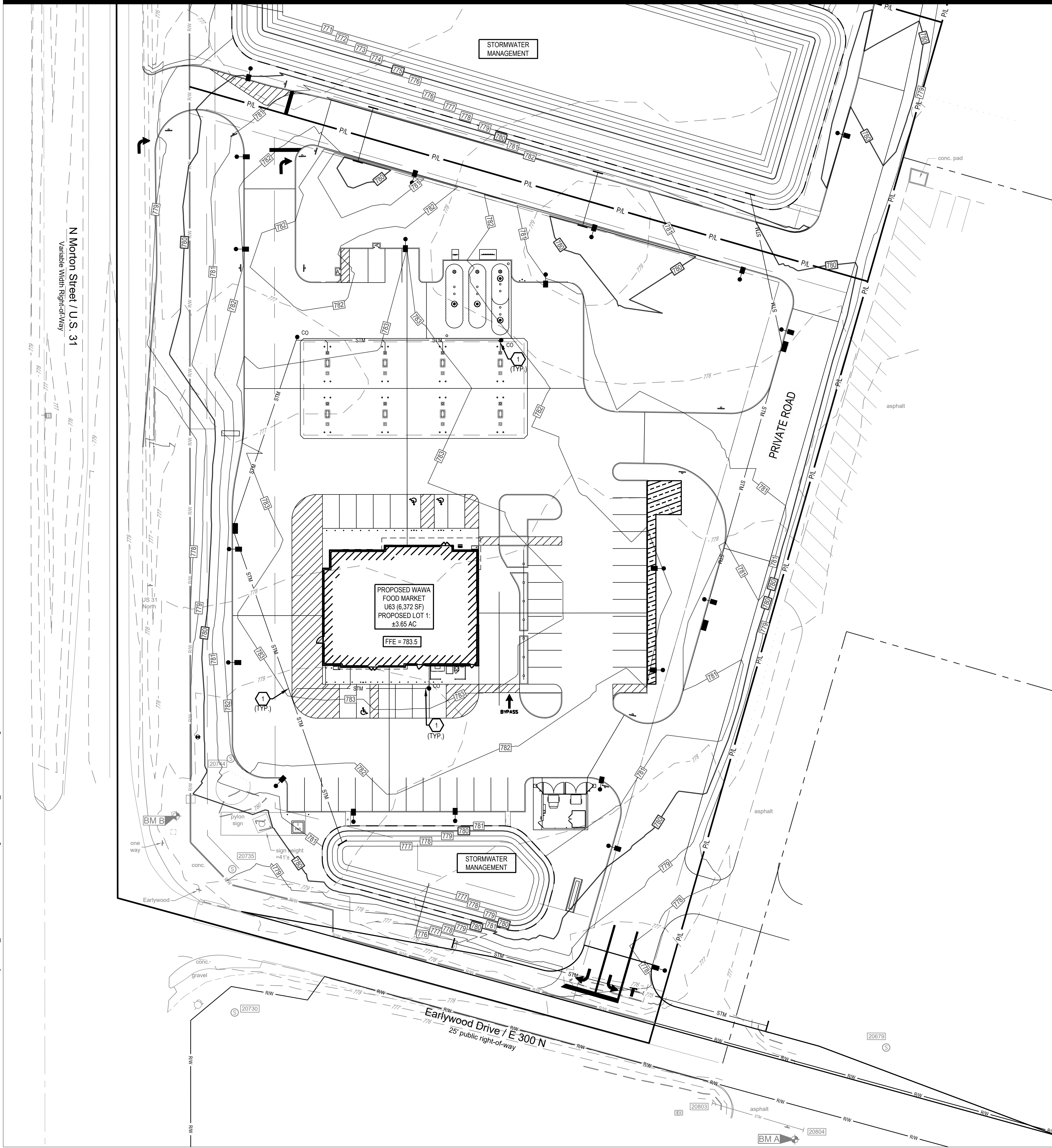
Checked By: JTK

Date: 09/05/2024

Issue: NOT FOR CONSTRUCTION

Drawing Title:

SITE PLAN-NORTH



GRADING LEGEND	
EXISTING	
REFER TO ALT/NSPS TOPOGRAPHIC SURVEY	
PROPOSED	
	RIGHT-OF-WAY
	PROPERTY LINE
	SETBACK
	EASEMENT
	BUILDING
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE BREAK
	CLEAN OUT
	CURB INLET
	STM
	STORM SEWER LINE
	HEADWALL

GRADING NOTES:

- REFER TO SECTION 9 WAWA EARTHWORK / GRADING / CLEARING / DEMOLITION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS THAT SHOULD BE FACTORED IN BIDDING, PREPARING THE SITE, AND SITE TURNOVER. ANY CONFLICTS OR DISCREPANCIES BETWEEN THE PLANS AND SPECIFICATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER TO OBTAIN CLARIFICATION.

CODED NOTES:

- WYE CONNECTION

EARTHWORK QUANTITIES	
RAW CUT (CY)	RAW FILL (CY)
6696	23507
*ESTIMATED QUANTITIES NOT FOR BIDDING	

BENCHMARK	
Vertical Datum: NAVD88 derived from GPS Observations	
BM "A":	Bench nail set northwest corner of power pole. South side of Earlywood Dr., east from service entrance to Dodge dealership. Elevation = 776.83'
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STORE #7426

FRANKLIN, IN
NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions

ID	Description	Date
----	-------------	------

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Project Number: 763219
Scale: 1"=30'
Drawn By: FAR
Checked By: JTK
Date: 09/05/2024
Issue: NOT FOR CONSTRUCTION

Drawing Title:

GRADING PLAN - SOUTH

7 OF 13

C:\DARoot\Jobs\lot829e7e32c446b7f8a74b7\Project Files_CESO\03-CIVIL\PLAN\Re zoning Plans\763215 GRADING PLAN.dwg - 9/5/2024 - acsuser



MATCHLINE - SEE SHEET 7 OF 13 GRADING PLAN - SOUTH

GRADING LEGEND

- EXISTING
REFER TO ALTA/NSPS TOPOGRAPHIC SURVEY
- PROPOSED
- RIGHT-OF-WAY
 - PROPERTY LINE
 - SETBACK
 - EASEMENT
 - BUILDING
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - GRADE BREAK
 - CLEAN OUT
 - CURB INLET
 - STORM SEWER LINE
 - HEADWALL

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CODED NOTES:

- WYE CONNECTION

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RAW CUT (CY)	RAW FILL (CY)
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derived from GPS Observations

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WAWA
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FRANKLIN, IN

NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions

ID Description Date

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Project Number: 763219

Scale: 1"=30'

Drawn By: FAR

Checked By: JTK

Date: 09/05/2024

Issue: NOT FOR CONSTRUCTION

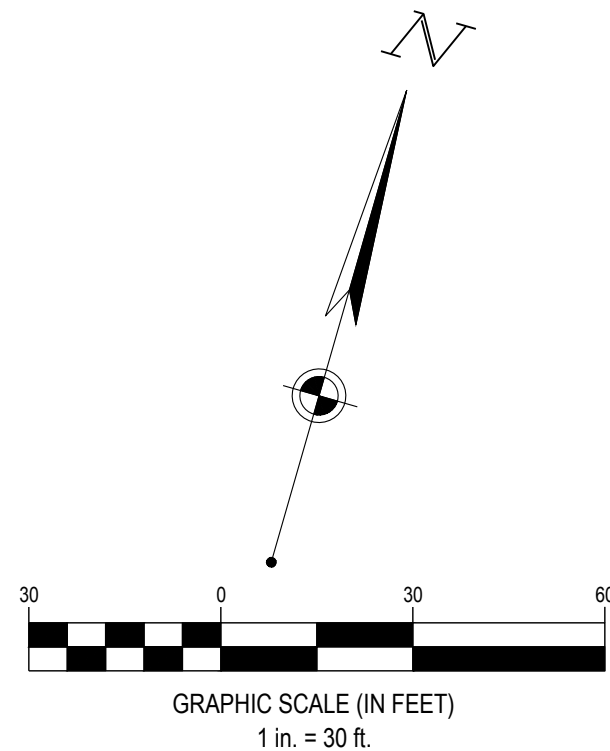
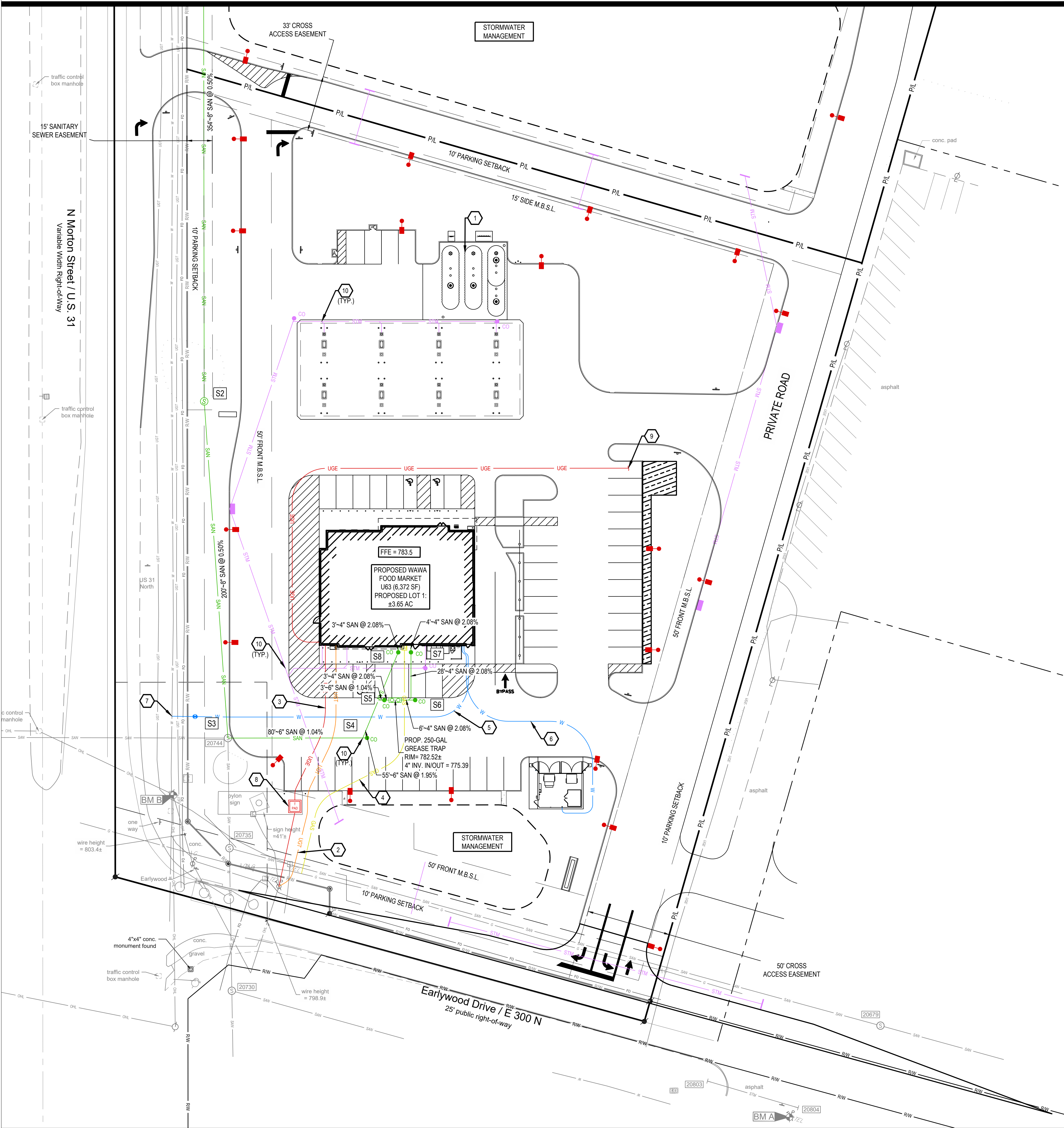
Drawing Title:

GRADING PLAN -
NORTH

8 OF 13

C:\ARoot\Jobs\181829e7e32c44a7f88c32be7fa74b7\Project Files_CESOU03-CIVIL\PLAN\Re zoning Plans\783215 UTILITY PLAN.dwg - 9/5/2024 - aceuser

MATCHLINE- SEE SHEET 10 OF 13 UTILITY PLAN- NORTH



UTILITY LEGEND

EXISTING

REFER TO XXX FOR EXISTING FEATURES LEGEND

PROPOSED

	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
	STORM SEWER LINE
	SANITARY SEWER LINE
	DOMESTIC WATER SERVICE LINE
	GAS SERVICE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE
	STORM SEWER
	SANITARY SEWER
	CURB INLET
	CLEANOUT
	ELECTRICAL TRANSFORMER PAD
	WATER VALVE
	HEADWALL
	LIGHT POLE

UTILITY NOTES:

- REFER TO WAWA SECTION 12 WET UTILITY/SWM PIPING SPECIFICATION FOR ADDITIONAL REQUIREMENTS.

CODED NOTES:

- UNDERGROUND STORAGE TANKS. REFER TO ARCHITECTURAL PLANS AND FUELING PLANS
- PROPOSED UNDERGROUND TELEPHONE SERVICE. COORDINATE FINAL LOCATION WITH TELEPHONE COMPANY.
- PROPOSED UNDERGROUND ELECTRIC SERVICE. COORDINATE FINAL LOCATION WITH ELECTRIC COMPANY.
- PROPOSED GAS SERVICE. CONTRACTOR TO COORDINATE WITH GAS PROVIDER FOR FINAL LOCATION TO THE GAS METER AND CONNECTION TO MAIN.
- PROPOSED 2" BLACK POLY DOMESTIC WATER SERVICE. CONTRACTOR TO COORDINATE METER WITH UTILITY COMPANY.
- PROPOSED 3/4" POWER WASH SUPPLY TO REMOTE TRASH COMPOUND. FROST FREE YARD HYDRANT TO BE INSTALLED AT COMPOUND.
- PROPOSED 2" WATERLINE TO CONNECT TO EXISTING WATERLINE WITH TAPPING SLEEVE AND VALVE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- PROPOSED TRANSFORMER PAD WITH BOLLARD PROTECTION PER POWER COMPANY.
- PROVIDE 6" CONDUIT FOR FUTURE EV CHARGING.
- WYE CONNECTION.

SANITARY SEWER STRUCTURE SCHEDULE

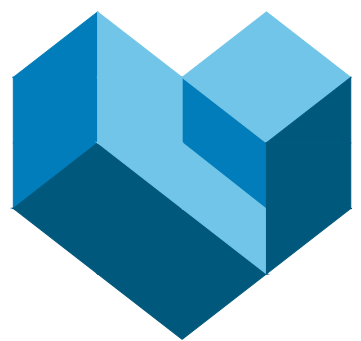
NO.	STRUCTURE	RIM	INVERT
S2	MANHOLE	779.52	772.89 (8") S 772.89 (8") N
S3	MANHOLE	781.80	774.06 (6") E 773.89 (6") N
S4	CLEANOUT	782.22	774.88 (6") N 774.89 (6") W
S5	CLEANOUT	782.87	775.33 (4") E 775.17 (6") W
S6	CLEANOUT	782.86	775.51 (4") N 775.51 (4") W
S7	CLEANOUT	783.43	776.10 (4") N 776.10 (4") S
S8	CLEANOUT	783.44	776.12 (4") N 775.95 (6") S

BENCHMARK

Vertical Datum: NAVD88
derived from GPS Observations

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Elevation = 776.83'
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- BM "D": Chiseled "X" on bolt west side of hydrant. West from telephone box southeast corner of Sloan Rd. and U.S. 31.
Elevation = 778.03'

FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: INDIANA UTILITIES PROTECTION SERVICE AT 811 OR 800-382-5544 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



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WAWA
STORE #7426

FRANKLIN, IN

NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions

ID	Description	Date
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Project Number: 763219

Scale: 1"=30'

Drawn By: FAR

Checked By: JTK

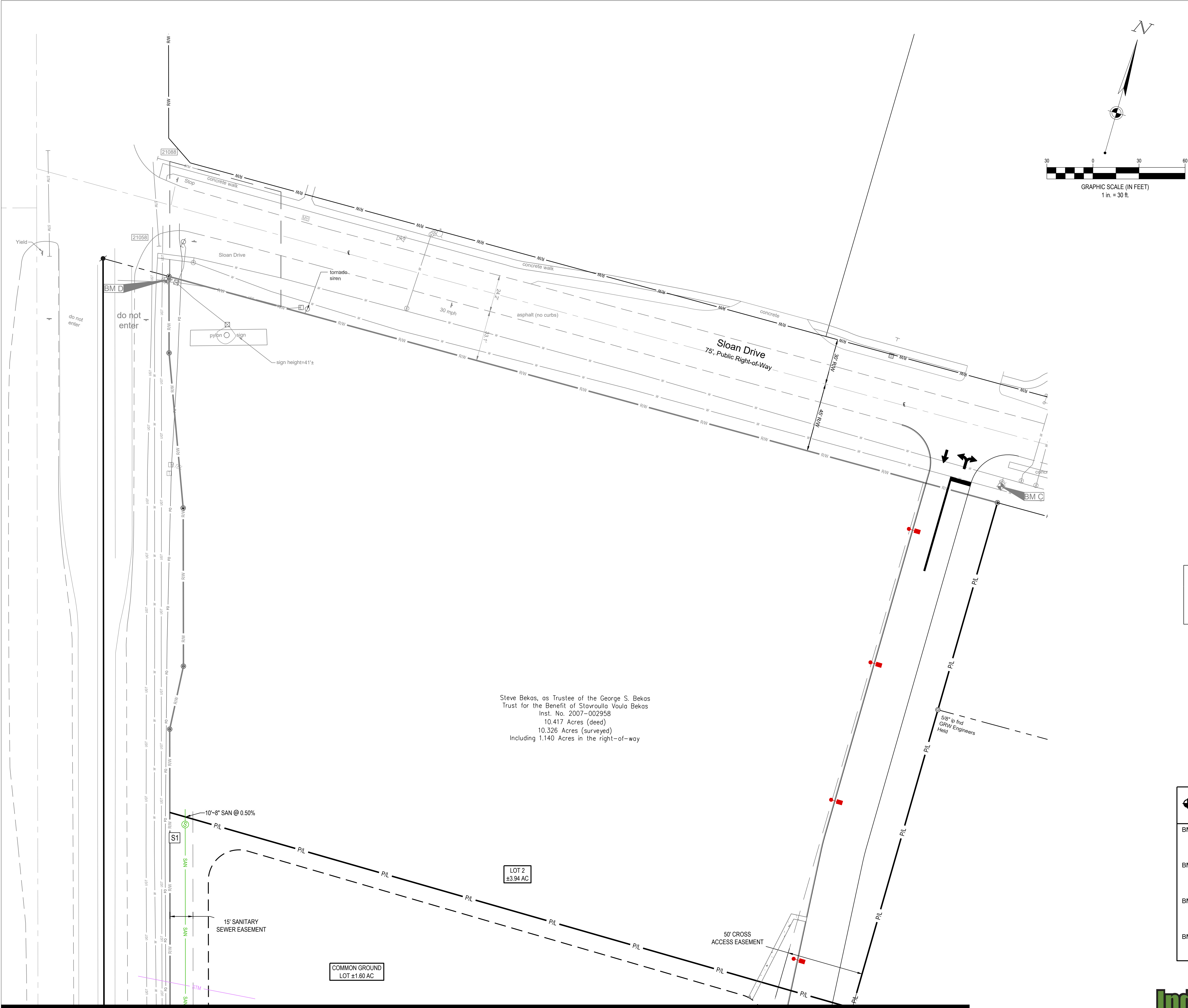
Date: 09/05/2024

Issue: NOT FOR CONSTRUCTION

Drawing Title:

UTILITY PLAN - SOUTH

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Steve Bekas, as Trustee of the George S. Bekas Trust for the Benefit of Stavroula Voula Bekas
Inst. No. 2007-002958
10.417 Acres (deed)
10.326 Acres (surveyed)
Including 1.140 Acres in the right-of-way

UTILITY LEGEND

EXISTING

REFER TO XXX FOR EXISTING FEATURES LEGEND

PROPOSED

	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
	STORM SEWER LINE
	SANITARY SEWER LINE
	DOMESTIC WATER SERVICE LINE
	GAS SERVICE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE
	STORM SEWER
	SANITARY SEWER
	CURB INLET
	CLEANOUT
	ELECTRICAL TRANSFORMER PAD
	WATER VALVE
	HEADWALL
	LIGHT POLE

UTILITY NOTES:

- REFER TO WAWA SECTION 12 WET UTILITY/SWM PIPING SPECIFICATION FOR ADDITIONAL REQUIREMENTS.

CODED NOTES:

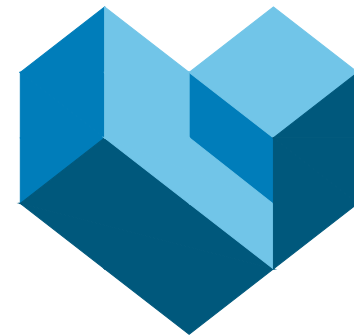
- UNDERGROUND STORAGE TANKS. REFER TO ARCHITECTURAL PLANS AND FUELING PLANS
- PROPOSED UNDERGROUND TELEPHONE SERVICE. COORDINATE FINAL LOCATION WITH TELEPHONE COMPANY.
- PROPOSED UNDERGROUND ELECTRIC SERVICE. COORDINATE FINAL LOCATION WITH ELECTRIC COMPANY.
- PROPOSED GAS SERVICE. CONTRACTOR TO COORDINATE WITH GAS PROVIDER FOR FINAL LOCATION TO THE GAS METER AND CONNECTION TO MAIN.
- PROPOSED 2" BLACK POLY DOMESTIC WATER SERVICE. CONTRACTOR TO COORDINATE METER WITH UTILITY COMPANY.
- PROPOSED 3/4" POWER WASH SUPPLY TO REMOTE TRASH COMPOUND. FROST FREE YARD HYDRANT TO BE INSTALLED AT COMPOUND.
- PROPOSED 2" WATERLINE TO CONNECT TO EXISTING WATERLINE WITH TAPPING SLEEVE AND VALVE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- PROPOSED TRANSFORMER PAD WITH BOLLARD PROTECTION PER POWER COMPANY.
- PROVIDE 6" CONDUIT FOR FUTURE EV CHARGING.
- WYE CONNECTION.

SANITARY SEWER STRUCTURE SCHEDULE

NO.	STRUCTURE	RIM	INVERT
S1	MANHOLE	776.78	771.12 (8") S 771.12 (8") N

BENCHMARK	
Vertical Datum: NAVD88 derived from GPS Observations	
BM "A":	Bench nail set northwest corner of power pole. South side of Earlywood Dr., east from service entrance to Dodge dealership. Elevation = 776.83'
BM "B":	Chiseled "X" southeast corner of concrete pad for signal pole. Northeast corner of U.S. 31 and Earlywood Dr., intersection, southwest from traffic control box. Elevation = 779.95'
BM "C":	Chiseled "X" on arrow bolt west side of hydrant, south side of Sloan Rd., across the street from the fire station, near the end of the sidewalk. Elevation = 780.33'
BM "D":	Chiseled "X" on bolt west side of hydrant. West from telephone box southeast corner of Sloan Rd. and U.S. 31. Elevation = 778.03'

FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: INDIANA UTILITIES PROTECTION SERVICE AT 811 OR 800-382-5544 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



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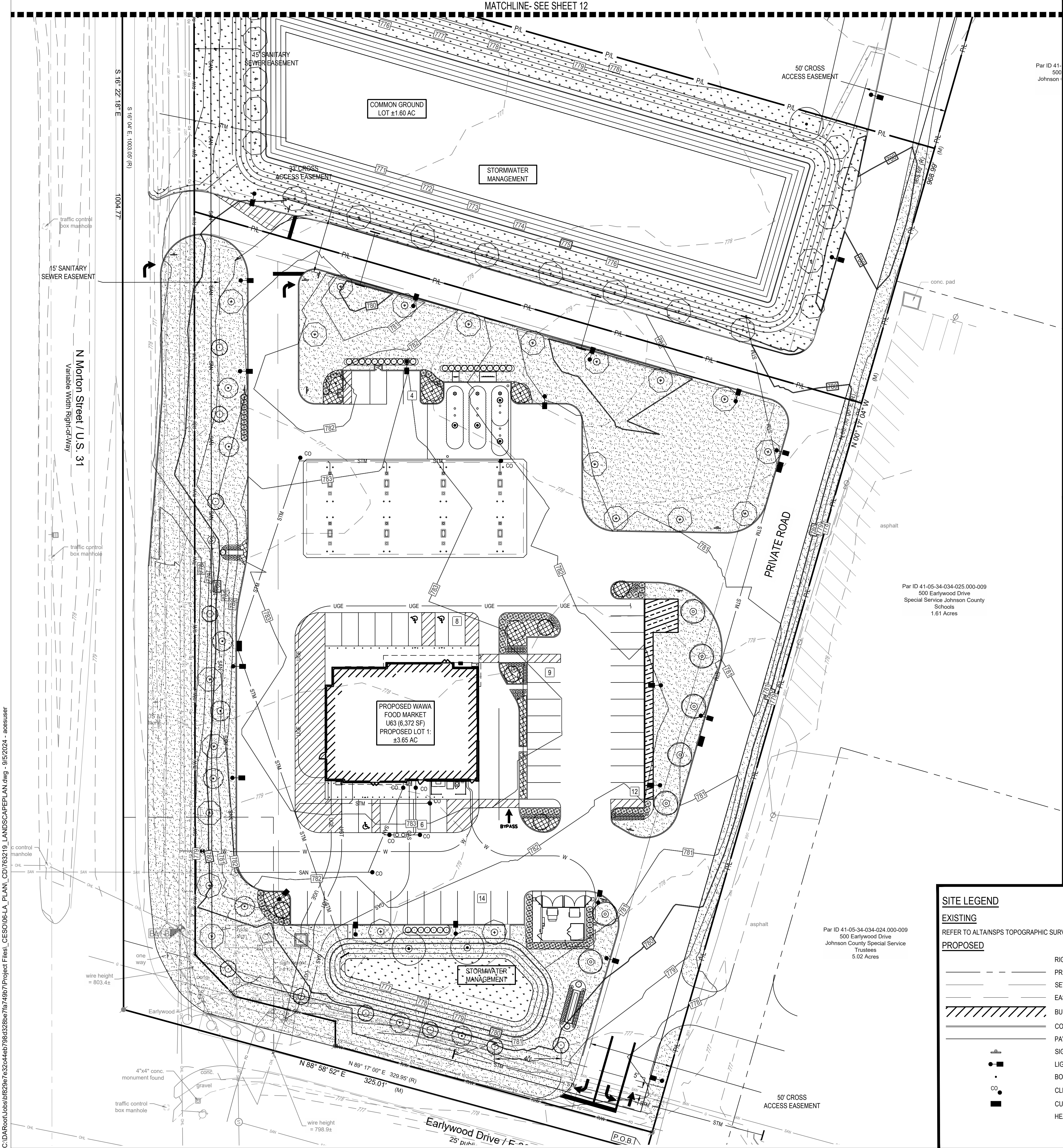
Date: 09/05/2024

Issue: NOT FOR CONSTRUCTION

Drawing Title:

UTILITY PLAN- NORTH

MATCHLINE- SEE SHEET 12



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
TREES					
	39	ACER GRISEUM PAPERBARK MAPLE	2.5" CAL	12' HT	AS SHOWN
	3	BETULA NIGRA RIVER BIRCH	2.5" CAL	12' HT	AS SHOWN
	7	CARPINUS BETULUS 'FASTIGIATA' UPRIGHT EUROPEAN HORNBEAM	2.5" CAL	8' HT	AS SHOWN
	12	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY EASTERN REDBUD	2.5" CAL	8' HT	AS SHOWN
	15	GINKGO BILOBA 'JADE BUTTERFLY' JADE BUTTERFLY MAIDENHAIR TREE	2.5" CAL	12' HT	AS SHOWN
SHRUBS					
	117	SPIRAEA X BUMALDA 'LITTLE PRINCESS' LITTLE PRINCESS SPIREA	---	18" HT	2'-0" OC
	91	TAXUS CUSPIDATA JAPANESE YEW	---	18" HT	3'-6" OC
	32	THUJA OCCIDENTALIS 'YELLOW RIBBON' YELLOW RIBBON ARBORVITAE	---	5' HT.	4'-0" OC

GROUND COVERS

	723	JUNIPERUS HORIZONTALIS 'BLUE RUG' BLUE RUG JUNIPER	1 GAL	1'-6" OC
	29,175 SF	POA PRATENSIS KENTUCKY BLUEGRASS	SEED	
	70,339 SF	POA PRATENSIS KENTUCKY BLUEGRASS	SOD	

MULCH

ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH FROM A SUSTAINABLE SOURCE
CONTRACTOR TO PLACE A 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

LANDSCAPE REQUIREMENTS

<p>BUFFER YARD TYPE 1: MIN SETBACK OF 10' 1 BROAD-LEAF DECIDUOUS CANOPY TREE MUST BE PLANTED EVERY 30' OF BOUNDARY BETWEEN THE SUBJECT AND ADJ. PROPERTIES.</p> <p>EAST BUFFER TYPE 1-(1 DEC. TREE PER 30 LF) 473 LF REQUIRED: 16 TREES PROPOSED: 16 TREES</p> <p>SOUTH BUFFER TYPE 1-(1 DEC. TREE PER 30 LF) 238 LF REQUIRED: 8 TREES PROPOSED: 8 TREES</p> <p>SITE INTERIOR PLANTING REQUIREMENT (1) TREE PER 1,500 SF OF YARD AREA</p> <p>MAIN SITE- 138,521 SF (25% OPEN SPACE REQ.) 34,630 SF REQUIRED: 23 TREES PROPOSED: 24 TREES</p> <p>STORM WATER AREA 1- 26,468 SF (NOT INCL. POND) REQUIRED: 18 TREES PROPOSED: 18 TREES</p> <p>PARKING LOT PERIMETER LANDSCAPE REQUIREMENTS: (THROUGHFARE PLAN PUBLIC R.O.W.)</p> <p>TREES- (1) TREE FOR EVERY 80 LF</p> <p>SHRUBS- MIN OF (1) SHRUB REQUIRED PER 80 LF</p> <p>LOCATION OF PARKING / DRIVES: SOUTH (EARLY WOOD DRIVE) 244 LF REQUIRED TREES: 4 PROPOSED TREES: 4 REQUIRED SHRUBS: 4 PROPOSED SHRUBS: 7</p>	<p>LOCATION OF PARKING / DRIVES: WEST (US 31) 432 LF REQUIRED TREES: 6 PROPOSED TREES: 6 REQUIRED SHRUBS: 6 PROPOSED SHRUBS: 9</p> <p>PARKING LOT AREA LANDSCAPING (INTERIOR) TREES- (1) TREE PER 300 SF REQUIRED LANDSCAPE AREA- 5% OF PAVED AREA</p> <p>77,627 SF PARKING LOT 3,881 SF REQUIRED LANDSCAPE AREA (5%) 7,038 SF PROPOSED LANDSCAPE AREA (9%) 13 REQUIRED TREES 13 PROPOSED TREES</p> <p>STREET TREES REQUIREMENTS:</p> <p>STREET TREES, NORTH, (1 TREE PER 40 LF) STREET ADJACENT TO STORMWATER POND: 308 LF (NOT INCL. DRIVES) REQUIRED: 8 TREES PROPOSED: 8 TREES</p> <p>STREET TREES, WEST (1 TREE PER 40 LF) US 31 S 13765 NB, 11897 SB500: 583 LF (NOT INCLUDING ENTRANCE) REQUIRED: 15 TREES PROPOSED: 15 TREES</p>
---	---

SITE LEGEND

EXISTING

REFER TO ALTANSPS TOPOGRAPHIC SURVEY

PROPOSED

	RIGHT-OF-WAY
	PROPERTY LINE
	SETBACK
	EASEMENT
	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
	SIGN
	LIGHT POLE
	BOLLARD
	CLEAN OUT
	CURB INLET
	HEADWALL

GRAPHIC SCALE (IN FEET)
1 in. = 30 ft.

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Checked By: EB

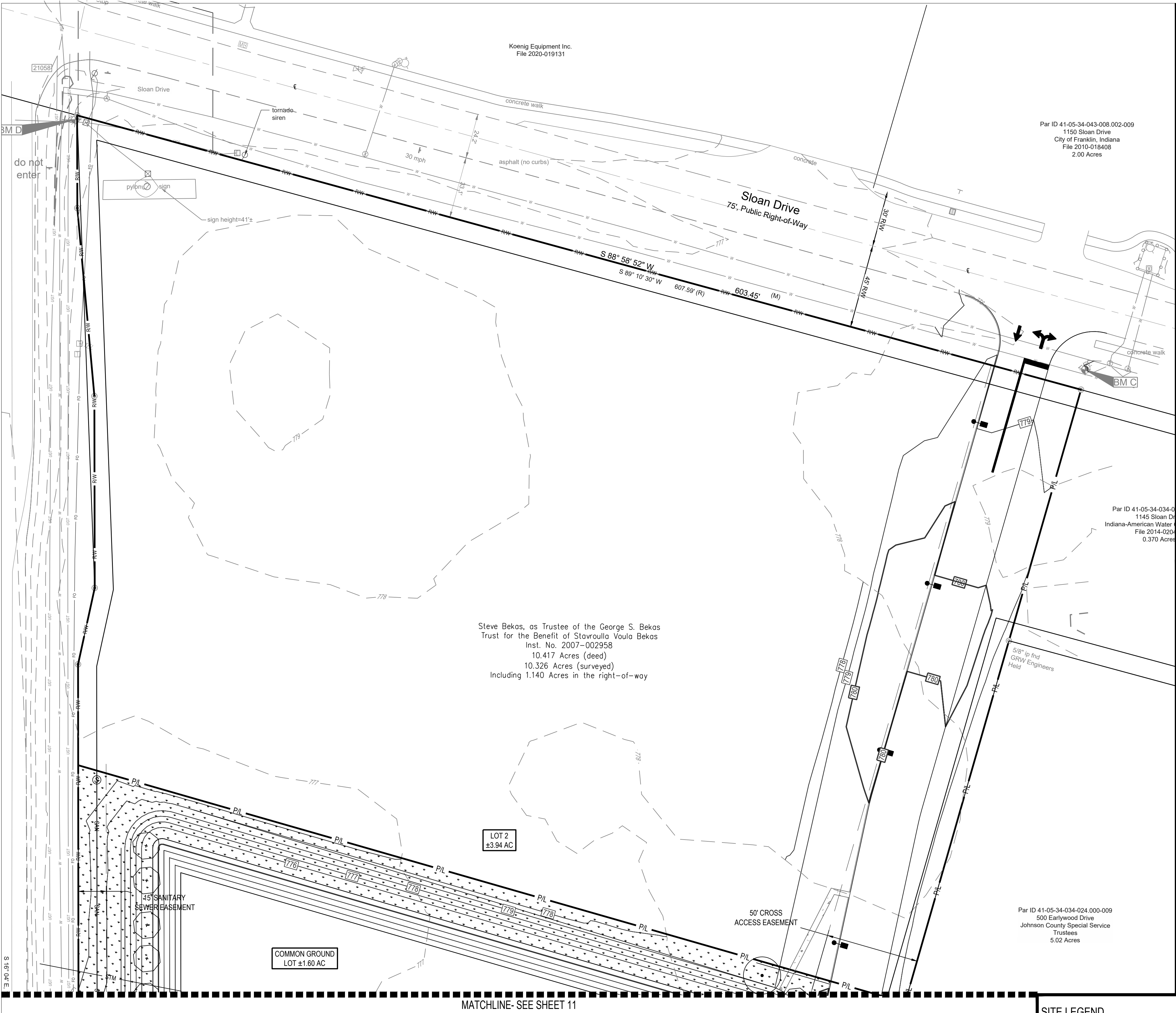
Date: 09/05/2024

Issue: NOT FOR CONSTRUCTION

Drawing Title:

LANDSCAPE PLAN-
SOUTH

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MATCHLINE- SEE SHEET 11

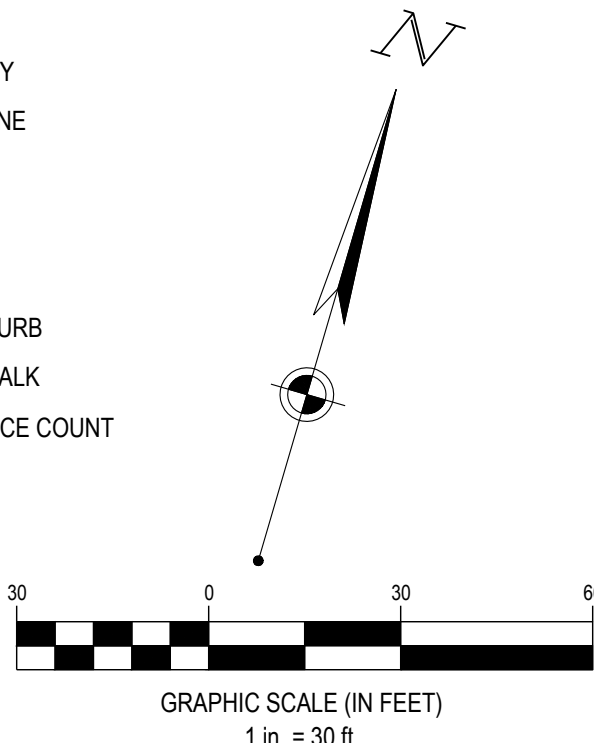
SITE LEGEND

EXISTING

REFER TO ALTANSPS TOPOGRAPHIC SURVEY

PROPOSED

- RIGHT-OF-WAY
- PROPERTY LINE
- SETBACK
- EASEMENT
- BUILDING
- CONCRETE CURB
- PAVEMENT/WALK
- PARKING SPACE COUNT
- SIGN
- LIGHT POLE
- BOLLARD
- CLEAN OUT
- CURB INLET
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SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
TREES					
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SHRUBS					
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	91	TAXUS CUSPIDATA JAPANESE YEW	---	18" HT	3'-6" OC
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LANDSCAPE REQUIREMENTS

BUFFER YARD TYPE 1:
MIN SETBACK OF 10'
1 BROAD -LEAF DECIDUOUS CANOPY TREE
MUST BE PLANTED EVERY 30' OF BOUNDARY
BETWEEN THE SUBJECT AND ADJ. PROPERTIES.

EAST BUFFER TYPE 1 - (1 DEC. TREE PER 30 LF)
473 LF
REQUIRED: 16 TREES
PROPOSED: 16 TREES

SOUTH BUFFER TYPE 1 - (1 DEC. TREE PER 30 LF)
238 LF
REQUIRED: 8 TREES
PROPOSED: 8 TREES

SITE INTERIOR PLANTING REQUIREMENT
(1) TREE PER 1,500 SF OF YARD AREA
MAIN SITE- 138,521 SF (25% OPEN SPACE REQ.)
34,630 SF
REQUIRED: 23 TREES
PROPOSED: 24 TREES

STORM WATER AREA 1- 26,468 SF (NOT INCL. POND)
REQUIRED: 18 TREES
PROPOSED: 18 TREES

PARKING LOT PERIMETER LANDSCAPE REQUIREMENTS:
(THROUGHFARE PLAN PUBLIC R.O.W.)

TREES- (1) TREE FOR EVERY 80 LF

SHRUBS- MIN OF (1) SHRUB REQUIRED PER 80 LF

LOCATION OF PARKING / DRIVES: SOUTH (EARLY WOOD DRIVE)
244 LF
REQUIRED TREES: 4
PROPOSED TREES: 4
REQUIRED SHRUBS: 4
PROPOSED SHRUBS: 7

LOCATION OF PARKING / DRIVES: WEST (US 31)
432 LF
REQUIRED TREES: 6
PROPOSED TREES: 6
REQUIRED SHRUBS: 6
PROPOSED SHRUBS: 9

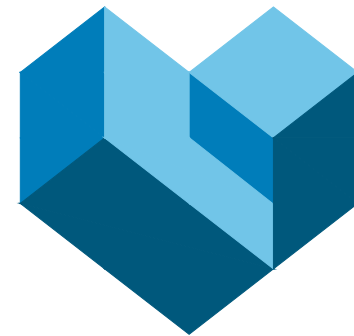
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TREES- (1) TREE PER 300 SF REQUIRED
LANDSCAPE AREA- 5% OF PAVED AREA

77,627 SF PARKING LOT
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7,038 SF PROPOSED LANDSCAPE AREA (9%)
13 REQUIRED TREES
13 PROPOSED TREES

STREET TREES REQUIREMENTS:

STREET TREES, NORTH , (1 TREE PER 40 LF)
STREET ADJACENT TO STORMWATER POND: 308 LF (NOT INCL. DRIVES)
REQUIRED: 8 TREES
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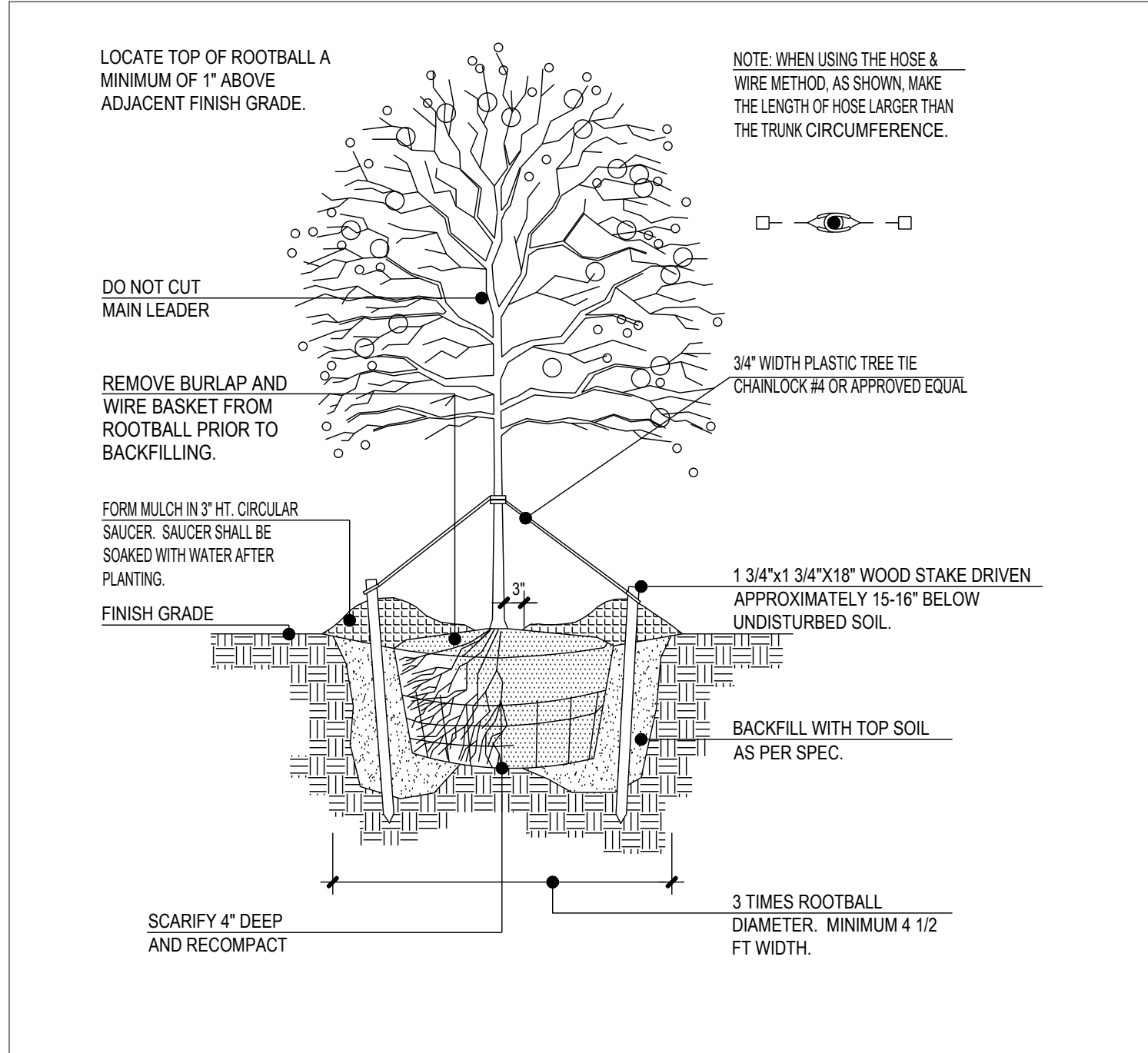
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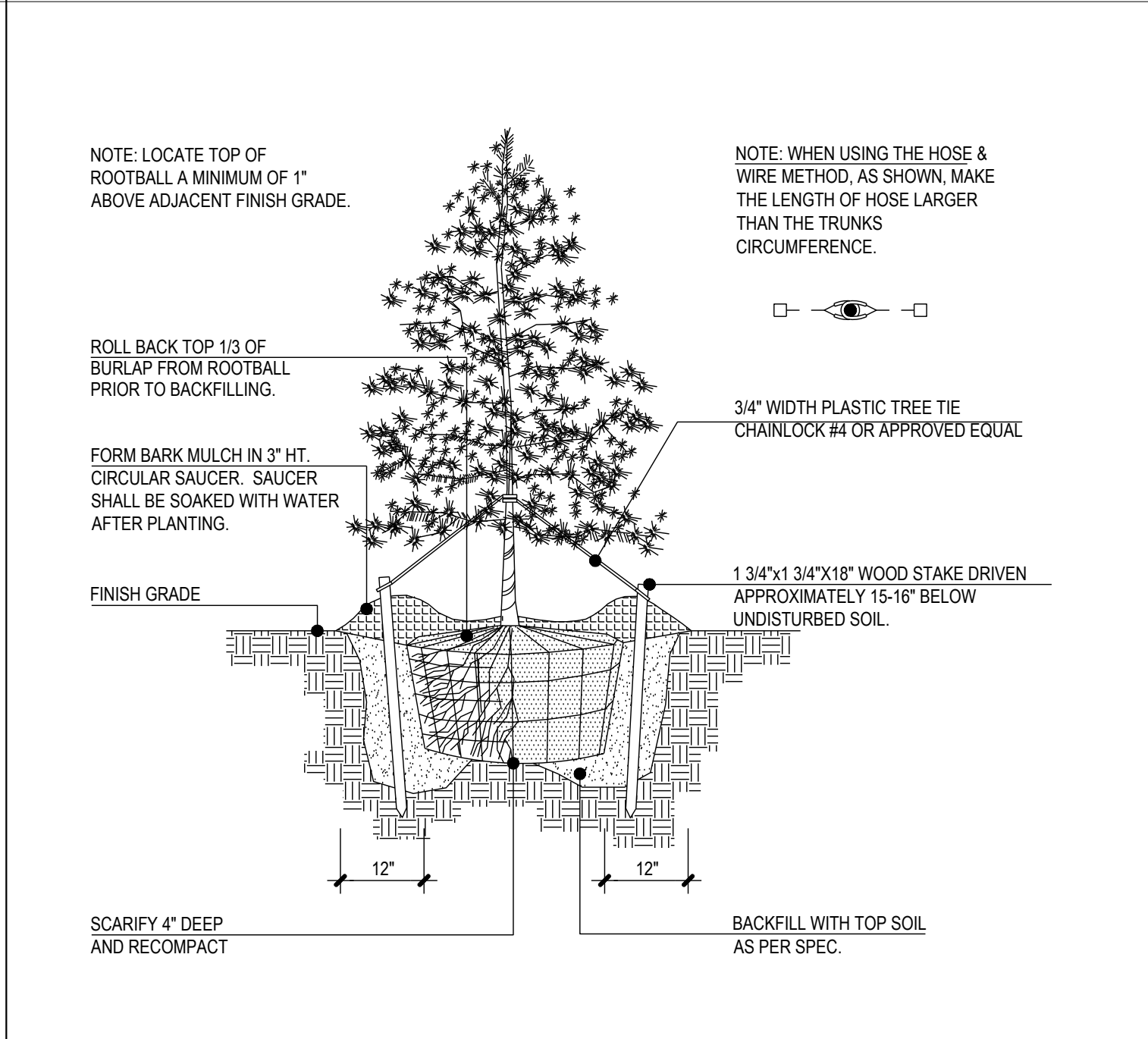
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LANDSCAPE PLAN-
NORTH

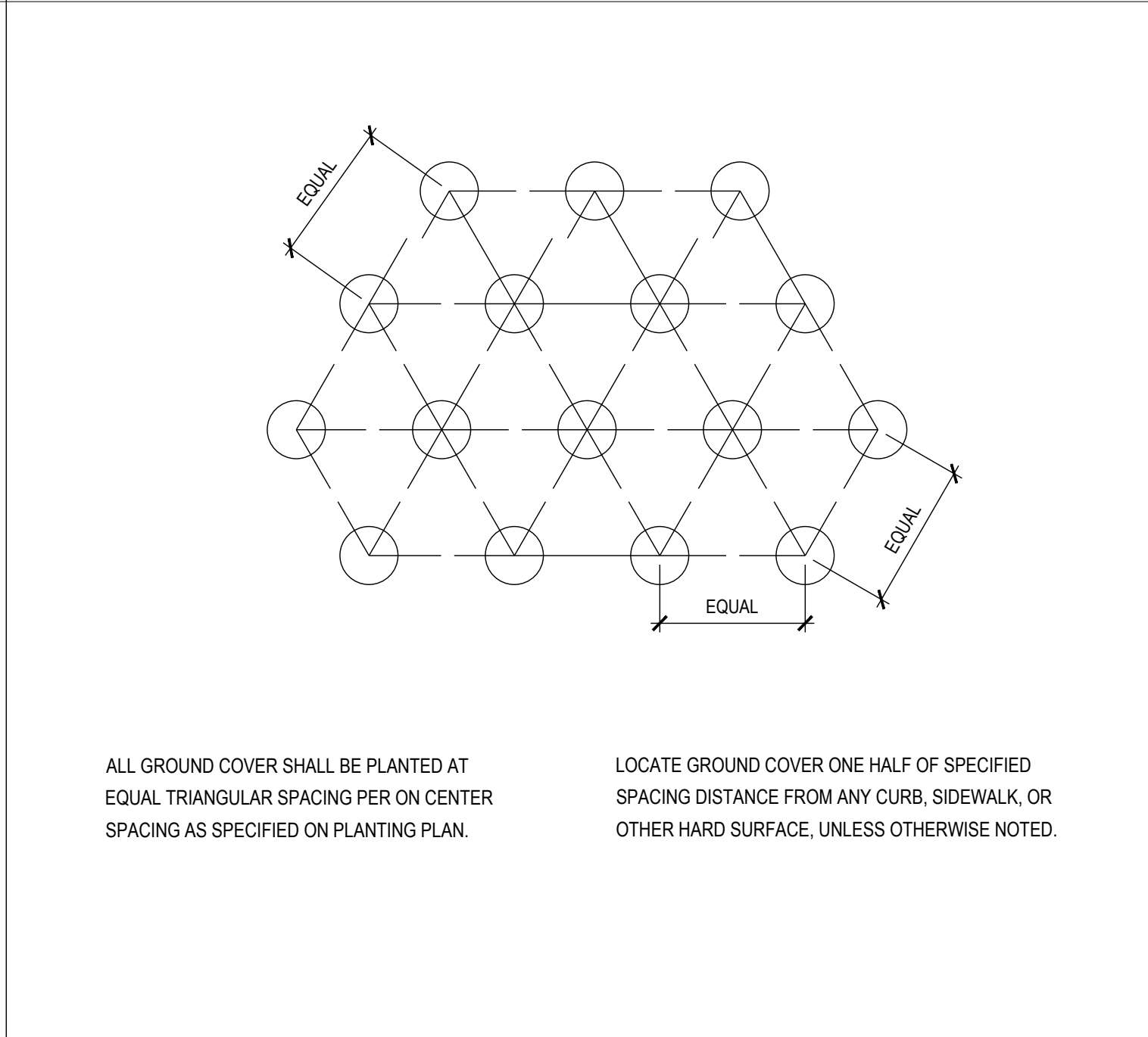
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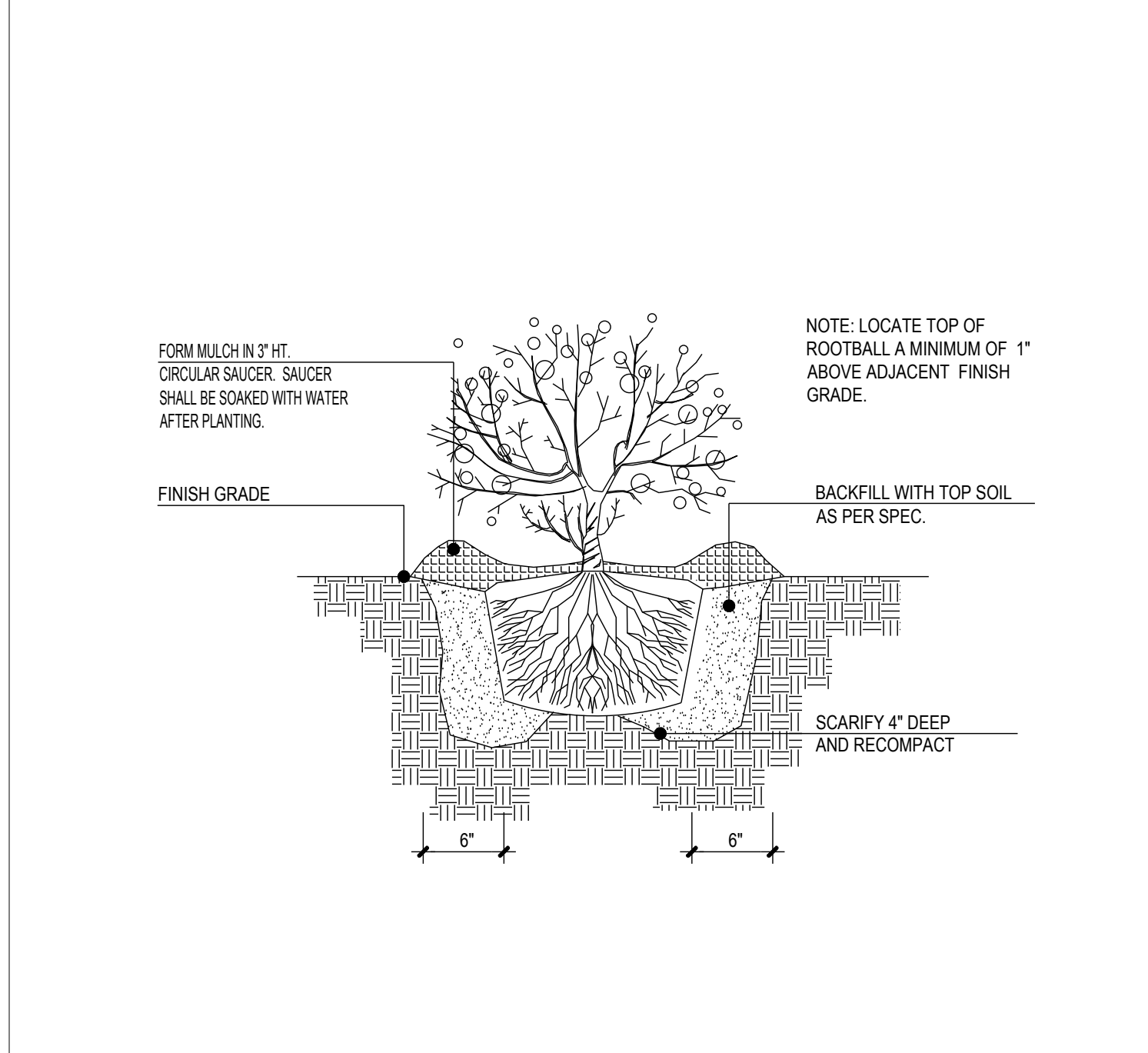
1 DECIDUOUS TREE STAKING N.T.S.



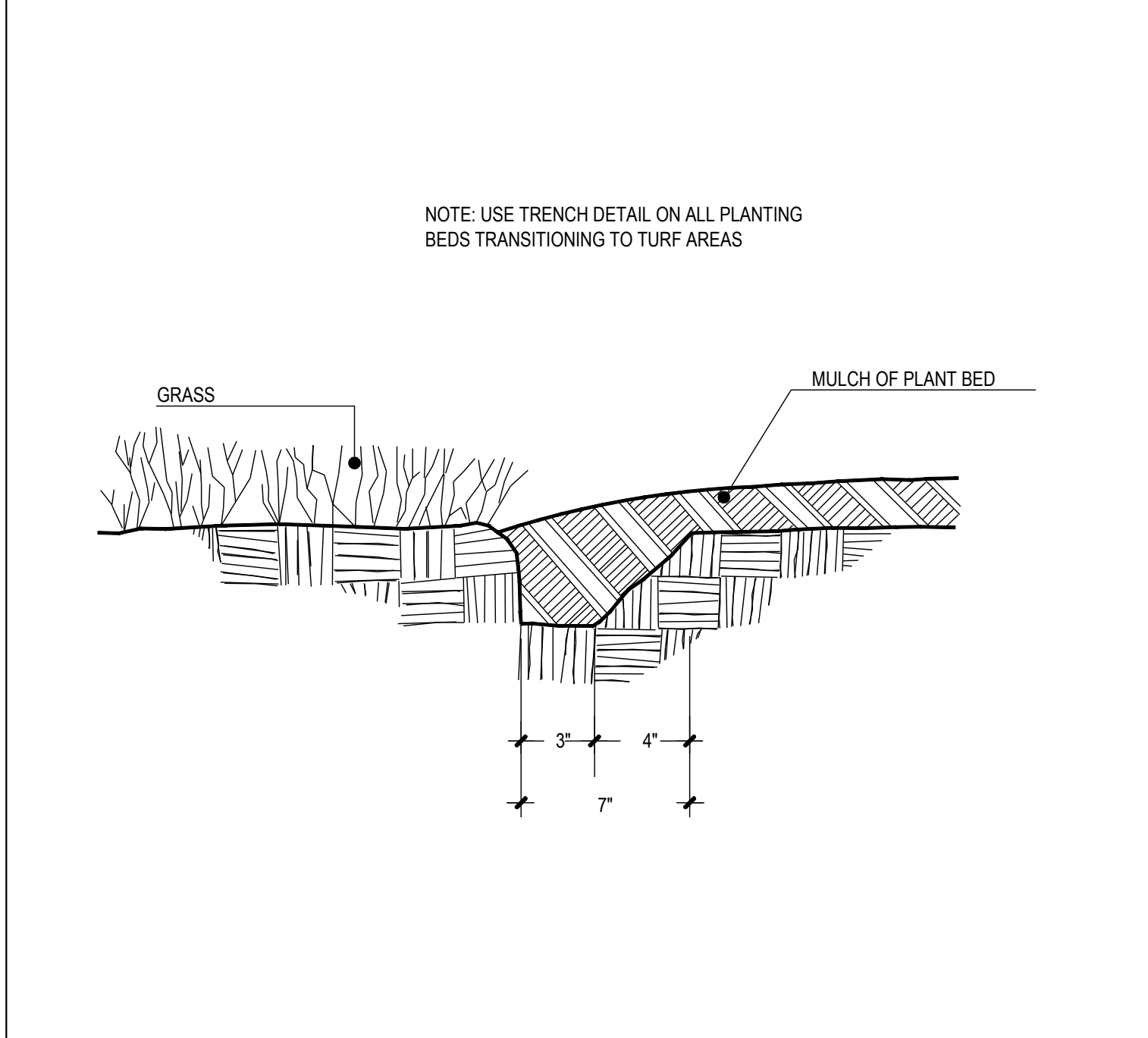
2 EVERGREEN TREE STAKING N.T.S.



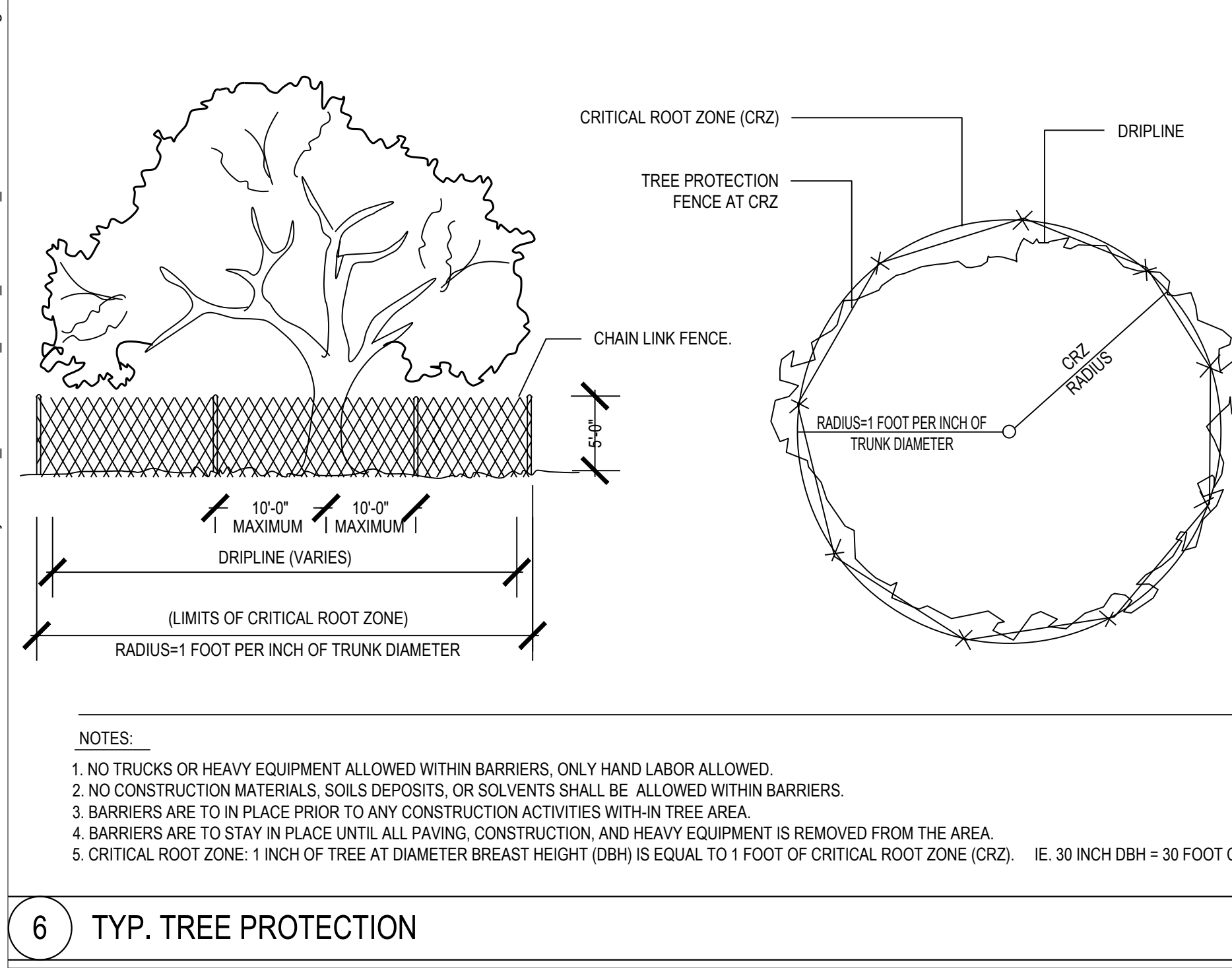
3 GROUND COVER SPACING N.T.S.



4 EVERGREEN / DECIDUOUS SHRUB N.T.S.



5 TRENCH EDGING N.T.S.



6 TYP. TREE PROTECTION N.T.S.

TREE PROTECTION NOTES

- DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, DO NOT PLACE SOIL DEPOSITS, DEBRIS SOLVENTS, MACHINERY CONSTRUCTION MATERIAL OF ANY KIND WITHIN THE DRIP LINE OF A TREE TO REMAIN.
- BEFORE CONSTRUCTION STARTS ALL PROTECTED TREES SHALL BE PRUNED AS FOLLOWS UNLESS OTHERWISE DIRECTED BY THE OWNER OR HIS REPRESENTATIVE: REMOVE ANY DEAD OR DISEASED TRUNKS OR BRANCHES, AND REMOVE WEAK OR CROSSED BRANCHES. ALL CUTS SHALL BE MADE SUFFICIENTLY CLOSE TO THE TRUNK OR PARENT LIMB, WITHOUT CUTTING INTO THE BRANCH COLLAR OR LEAVING A PROTRUDING STUB, SO THAT CLOSURE CAN READILY START. ALL TRIMMING SHALL BE DONE BY A QUALIFIED TREE SURGEON. PRUNING SHALL BE IN ACCORDANCE WITH ANSI A-300 PRUNING STANDARDS.
- ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTED RADIUS. A 3" LAYER OF MULCH SHALL BE IMMEDIATELY APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES. A SOIL AUGER WILL BE USED TO BORE UNDER ROOT SYSTEMS UTILITIES ARE TO BE INSTALLED WITHIN 10' OF A PROTECTED TREE.

ROOT PRUNING NOTE:

WHEN THE CRITICAL ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS. ROOTS CAN BE PRUNED BY UTILIZING TRENCHING EQUIPMENT DESIGNED FOR THIS PURPOSE OR BY HAND DIGGING A TRENCH AND PRUNING ROOTS WITH A PRUNING SAW, CHAIN SAW OR OTHER EQUIPMENT DESIGNED FOR TREE PRUNING. ROOTS LOCATED WITHIN A CRITICAL ROOT ZONE THAT WILL BE IMPACTED BY CONSTRUCTION MUST BE PRUNED TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM THE EXISTING GRADE. WHEN UNDERGROUND UTILITY LINES ARE TO BE INSTALLED WITHIN THE CRITICAL ROOT ZONE, THE ROOT PRUNING REQUIREMENTS MAY BE WAIVED IF THE LINES ARE INSTALLED VIA TUNNELING OR DIRECTIONAL BORING AS OPPOSED TO OPEN TRENCHING. A LICENSED CERTIFIED ARBORIST SHALL PROVIDE PRUNING.

GENERAL NOTES: LANDSCAPE PLAN

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS AS NEEDED.
- REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
- ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE, OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE. SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING, WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS, AND OTHER PLANTS AS PER THE PROJECT MANUAL AND/OR WRITTEN SPECIFICATIONS, IF APPLICABLE. LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTORS RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS.
- REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS.

SOIL PLANTING MIXTURE (MIX ONSITE)

- THE LANDSCAPE CONTRACTOR SHALL FURNISH FROM THEIR SOURCE A GOOD CLEAN, NATIVE SOIL WHICH SHALL MEET THE APPROVAL OF THE OWNER'S REPRESENTATIVE. THIS SOIL SHALL BE USED FOR THE PLANTING MIXTURE AS FOLLOWS:
 - ONE PART COMPOST/MANURE PLANTING MIX, TOPSOIL OR APPROVED EQUAL
 - ONE PART NATIVE SOIL
- SOILS WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANTED MATERIAL & SOD WITH REGARD TO: pH, SOIL TEXTURE, SOIL STRUCTURE, AND SEASONAL HIGH WATER TABLE. THE CONTRACTOR SHALL ANALYZE EXISTING SOILS LOCATED IN PROXIMITY TO PROPOSED PLANT MATERIAL AND BE RESPONSIBLE TO AMEND THE SOIL TO OBTAIN ESSENTIAL REQUIREMENTS NECESSARY FOR THE ESTABLISHMENT AND GROWTH OF PLANT LIFE. LANDSCAPE CONTRACTOR TO PROVIDE SOILS REPORT AND APPROPRIATE RECOMMENDATIONS PRIOR TO INSTALLATION TO OWNER'S REPRESENTATIVE FOR REVIEW. FAILURE TO PROVIDE REPORT MAY RESULT IN PLANT MATERIAL BEING REJECTED BY OWNER'S REPRESENTATIVE AND REPLACED AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO PLANTING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS.



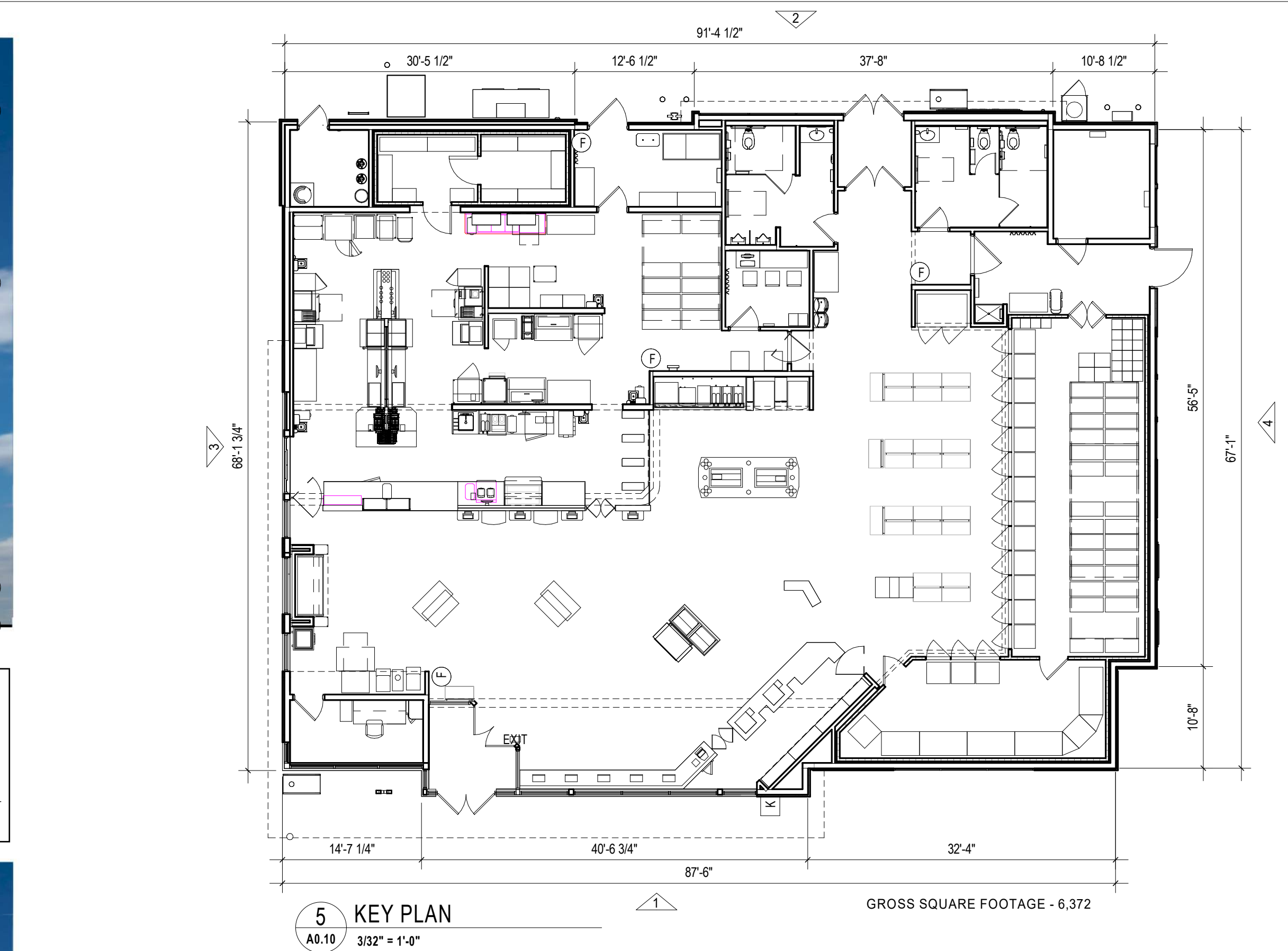
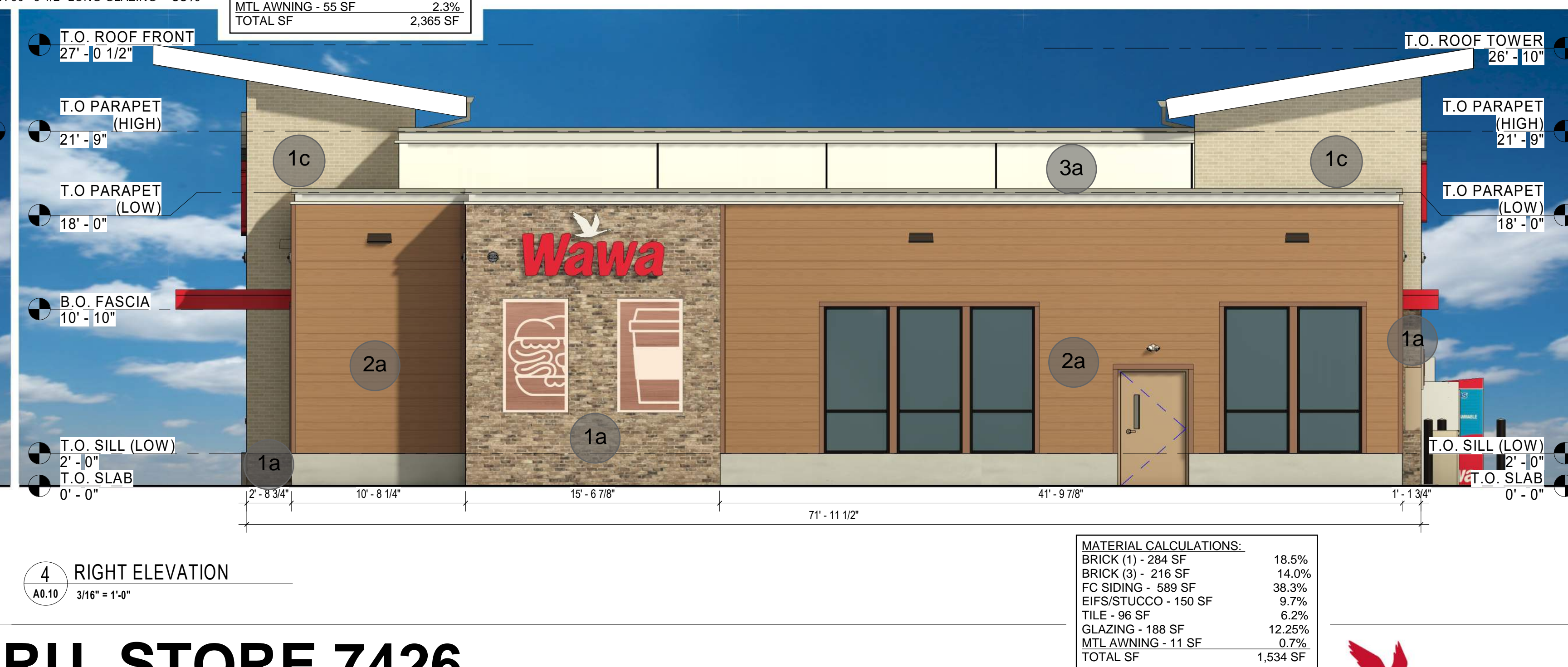
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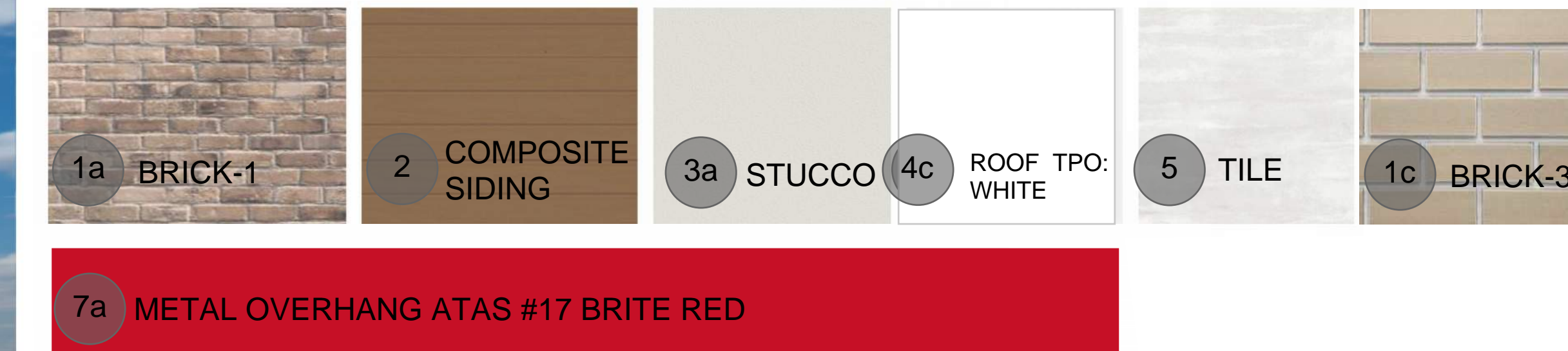
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FRANKLIN, IN 46131

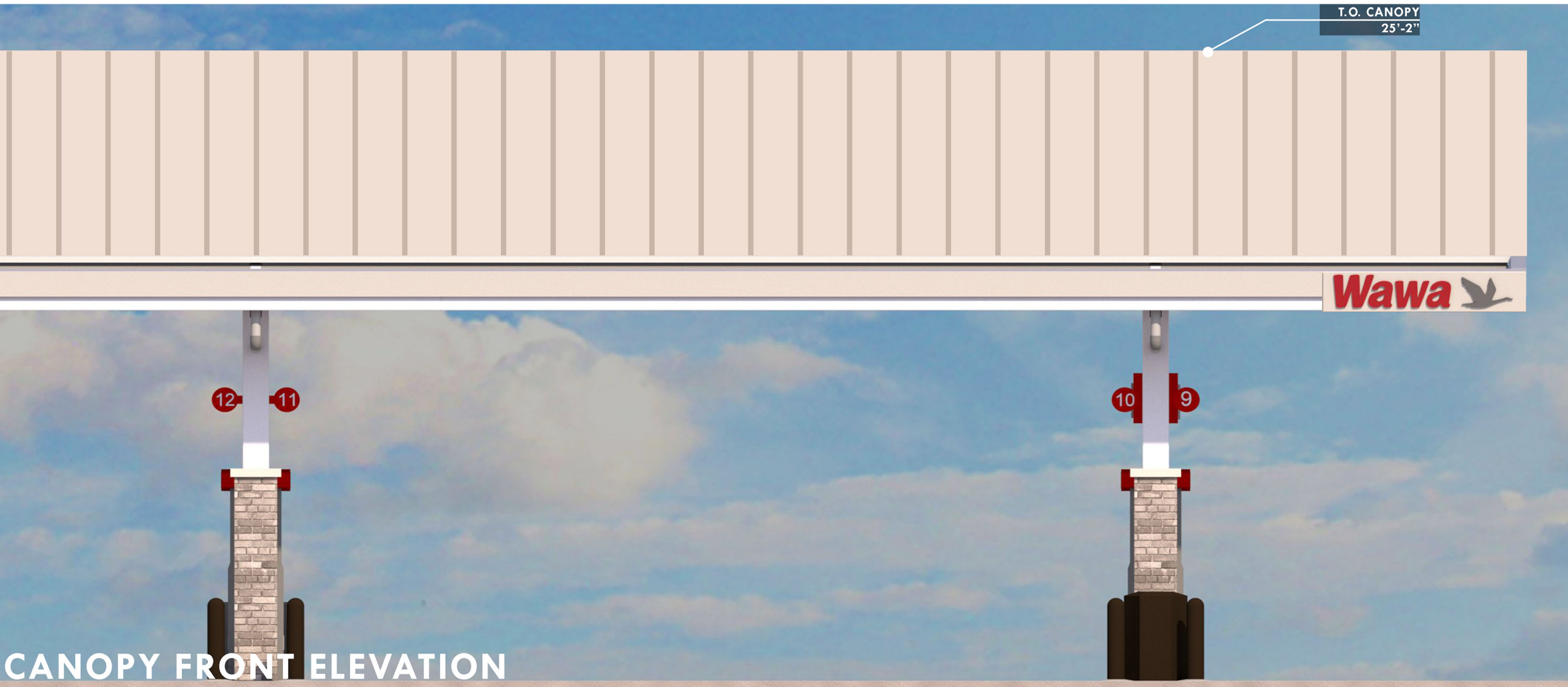
Revisions / Submissions		
ID	Description	Date
© 2024 CESO, INC.		
Project Number:	763219	
Scale:	N/A	
Drawn By:	JC	
Checked By:	EB	
Date:	09/05/2024	
Issue:	NOT FOR CONSTRUCTION	

Drawing Title:
**LANDSCAPE DETAILS
AND NOTES**

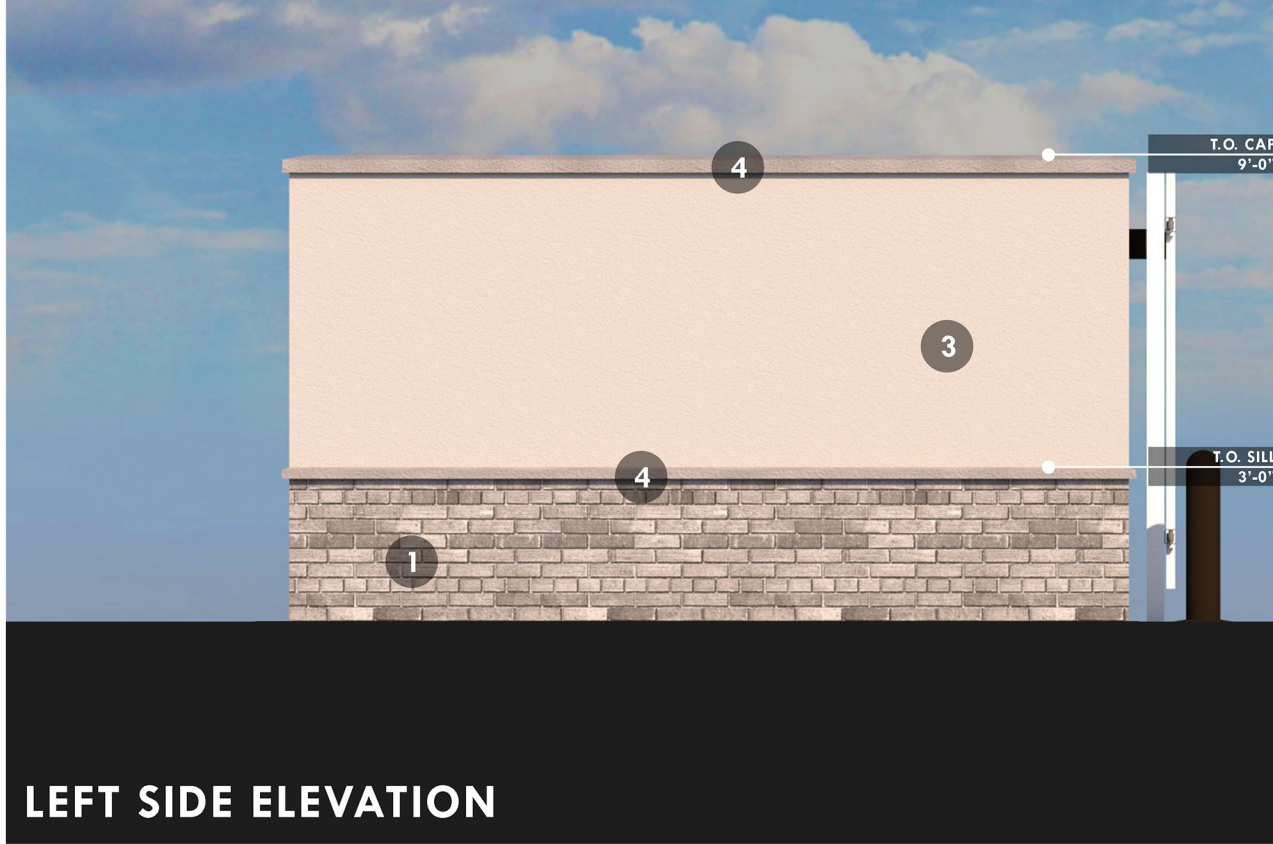
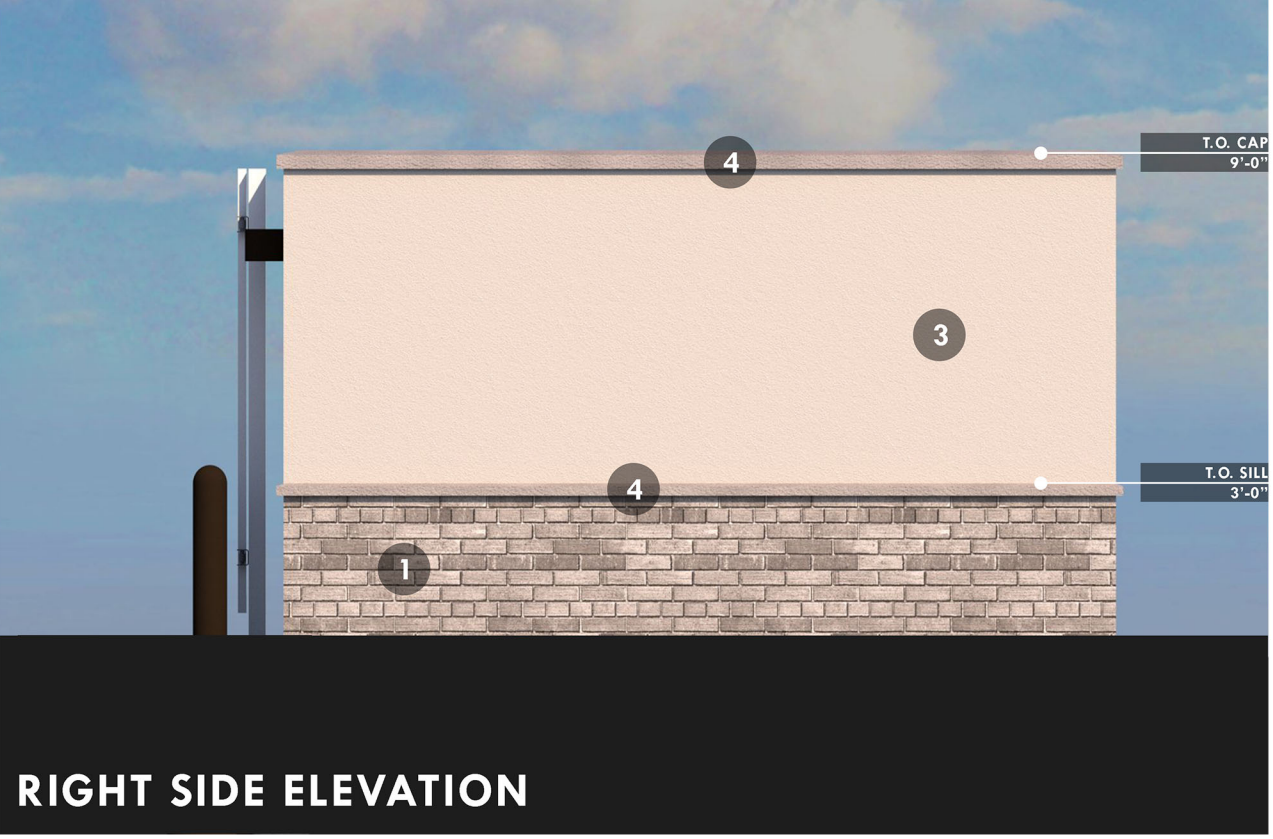
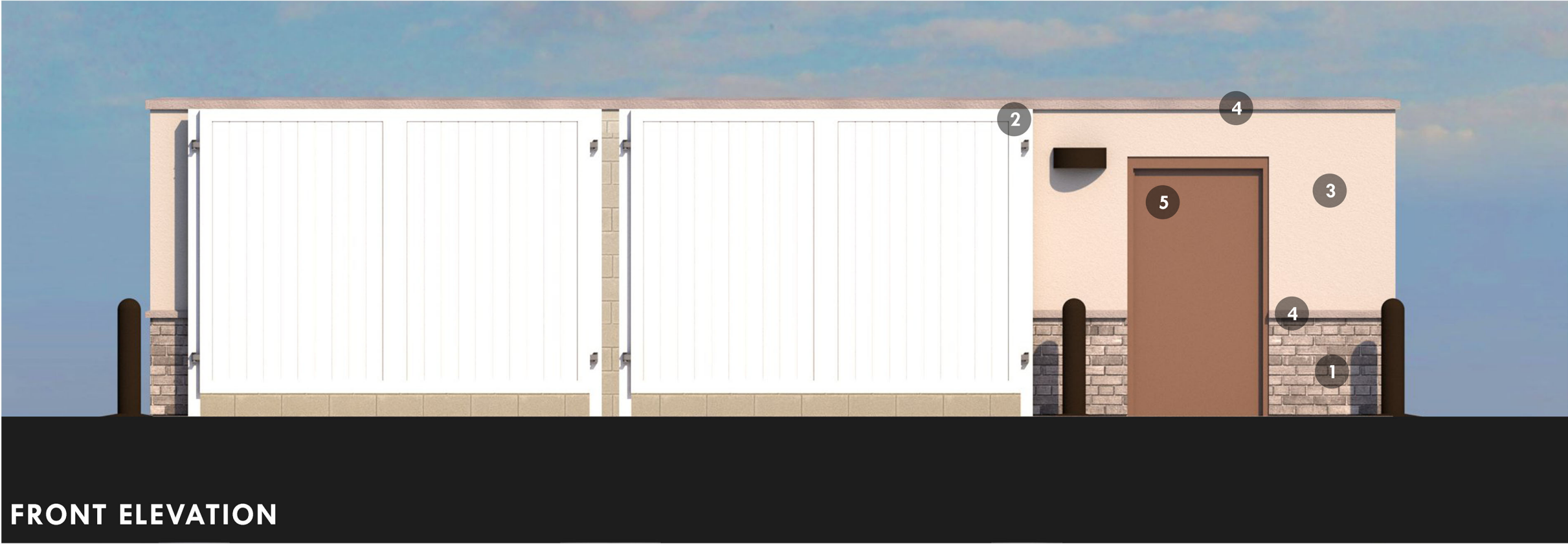
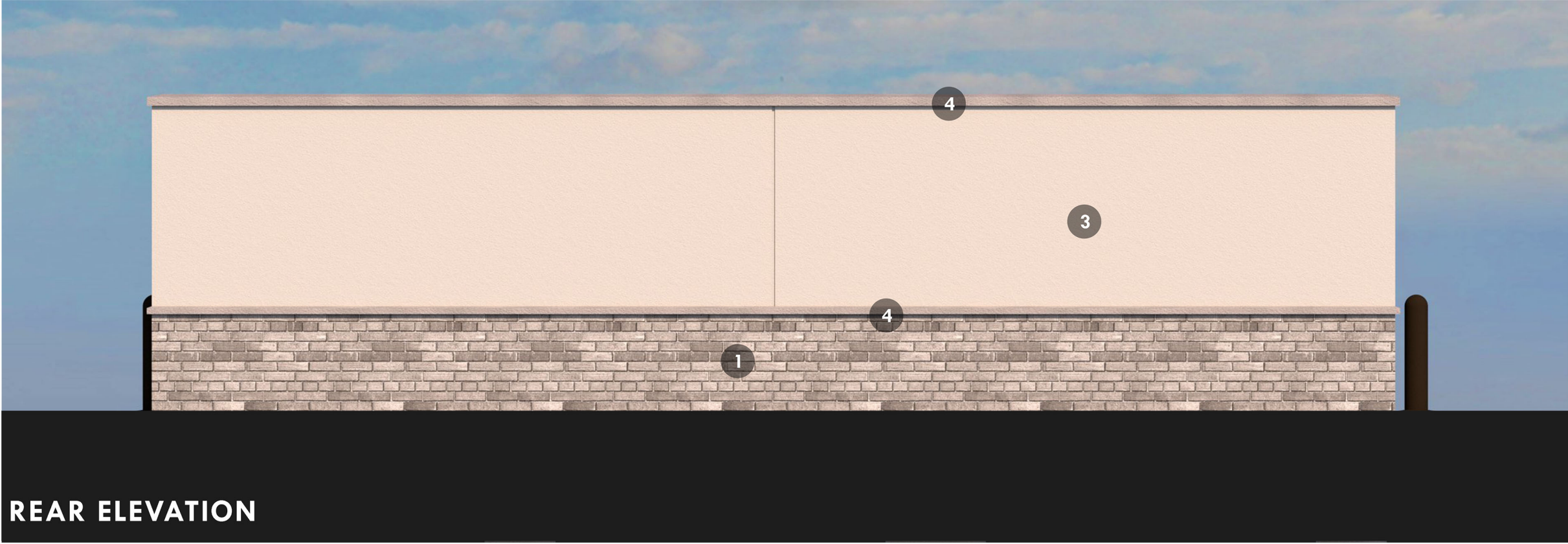
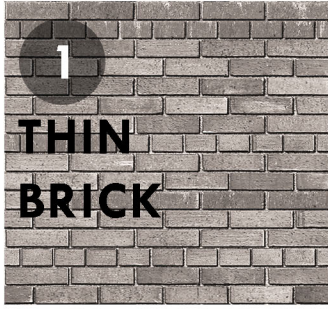
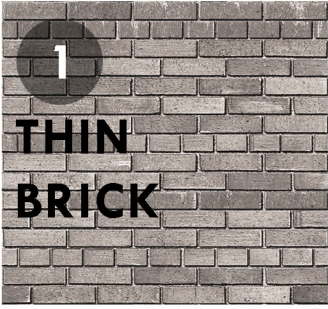


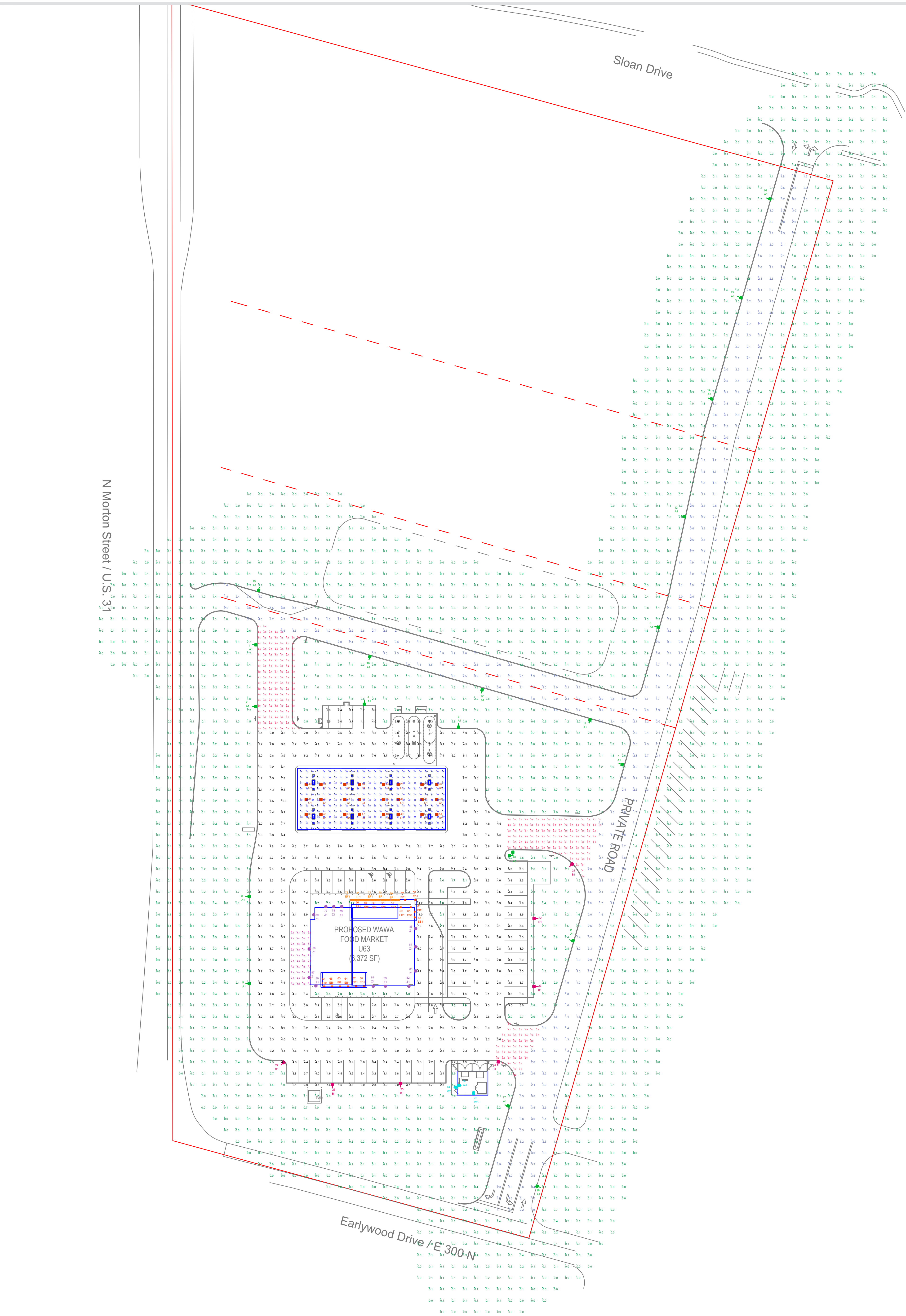
MATERIALS:





MATERIALS:





NOTES:
--ALL AREA LIGHTS ON 20 FT. POLES MOUNTED ON 6 IN. CONCRETE BASES

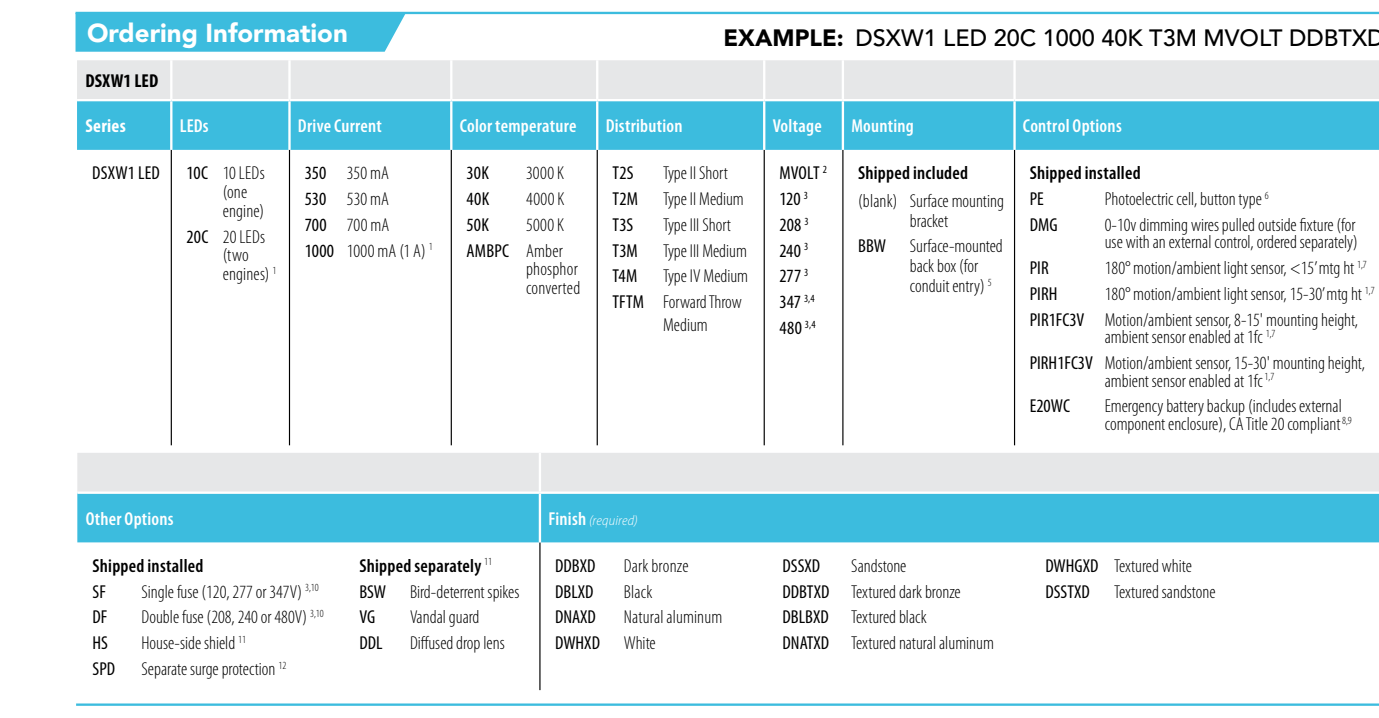
LUMINAIRE LOCATION SUMMARY			LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.	LUM NO.	LABEL	MTG. HT.
1	A1	20.5	46	C1	21.53
2	A1	20.5	47	C1	21.53
3	A1	20.5	48	C1	21.53
4	A1	20.5	49	C1	21.53
5	A1	20.5	50	C1	21.53
6	A1	20.5	51	C1	21.53
7	A1	20.5	52	EB1	10.5
8	A1	20.5	53	EB1	10.5
9	A1	20.5	54	EB1	10.5
10	A1	20.5	55	EB1	10.5
11	A1	20.5	56	EB1	10.5
12	A1	20.5	57	EB1	10.5
13	A1	20.5	58	EB1	10.5
14	A1	20.5	59	EB1	10.5
15	A1	20.5	60	EB1	10.5
16	A1	20.5	61	EB1	10.5
17	A1	20.5	62	EB1	10.5
18	A1	20.5	63	EB1	10.5
19	A1	20.5	64	EB1	10.5
20	A3	20.5	65	EB1	10.5
21	B1	20.5	66	EB1	10.5
22	B1	20.5	67	EB1	10.5
23	B1	20.5	68	EB1	10.5
24	B1	20.5	69	EF1	12
25	B1	20.5	70	EF1	12
26	B1	20.5	71	EF1	12
27	B1	20.5	72	EF1	12
28	C1	17.11	73	EF1	12
29	C1	17.11	74	W3	8
30	C1	17.11	75	W3	8
31	C1	19.32	76	W3	8
32	C1	19.32	77	Z1	15
33	C1	19.32	78	Z1	15
34	C1	19.32	79	Z1	15
35	C1	19.32	80	Z1	15
36	C1	19.32	81	Z1	15
37	C1	19.32	82	Z1	15
38	C1	19.32	83	Z1	15
39	C1	21.53	84	Z1	15
40	C1	17.11	85	Z1	15
41	C1	17.11	86	Z1	15
42	C1	17.11	87	Z1	15
43	C1	17.11	88	Z1	15
44	C1	17.11	89	Z1	15
45	C1	21.53			

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	38.58	60	14	2.76	4.29
DELIVERY AREA	4.22	4.9	2.6	1.62	1.88
ENTRANCE & EXIT DRIVES	3.47	6.6	1.7	2.04	3.88
PARKING & INTERIOR DRIVE AISLES	3.83	14.2	1.4	2.74	10.14
PRIVATE ROADS	2.36	4.7	1.1	2.15	4.27
UNDEFINED	0.58	11.7	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DIMMING FACTOR	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	19	A1	SINGLE	17468	1.030	0.730	B3-U0-G4	90.42	1717.98	Lithonia Lighting	DSXOLED-P6-50K-70CRI-T3M-MVOLT-FAQ-XX (SW, POS. 5)
	1	A3	2 @ 90 degrees	17468	1.030	0.730	B3-U0-G4	90.42	180.84	Lithonia Lighting	DSXOLED-P6-50K-70CRI-T3M-MVOLT-FAQ-XX (SW, POS. 5)
	7	B1	SINGLE	17728	1.030	0.730	B3-U0-G5	90.42	632.94	Lithonia Lighting	DSXOLED-P6-50K-70CRI-T4M-MVOLT-FAQ-XX (SW, POS. 5)
	24	C1	SINGLE	16179	1.030	1.000	B3-U1-G1	114.0914	2738.194	Lithonia Lighting	RCNYLED-AL02-50K-80CRI-SVMC-MVOLT-BZS-XX (SW, POS. 6)
	17	EB1	Single	1388	1.000	1.000	B1-U1-G0	19	323	WAC Lighting	WP-LED119-30
	5	EF1	SSL-4, 1	992	1.000	1.000	B1-U1-G0	17.444	348.88	FC Lighting	CVLWET1.5-4-K-80CRI-1040
	3	W3	SINGLE	1740	1.010	1.000	B0-U1-G1	19.1	57.3	Lithonia Lighting	DSXWLED-10C-530-50K-T3M-MVOLT-HS-XX
	13	Z1	Single	3348	1.000	1.000	B1-U0-G1	25.4	330.2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON	ISC-SA1B-740-U-SL4-WH



ADDITIONAL FIXTURE INFO 



 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-5674 (7374) • www.lithonia.com
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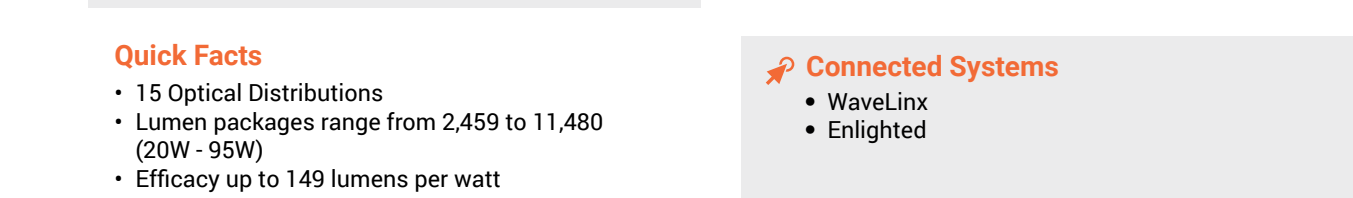
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LIGHTING**

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DSW11102
Rev. 5/2018



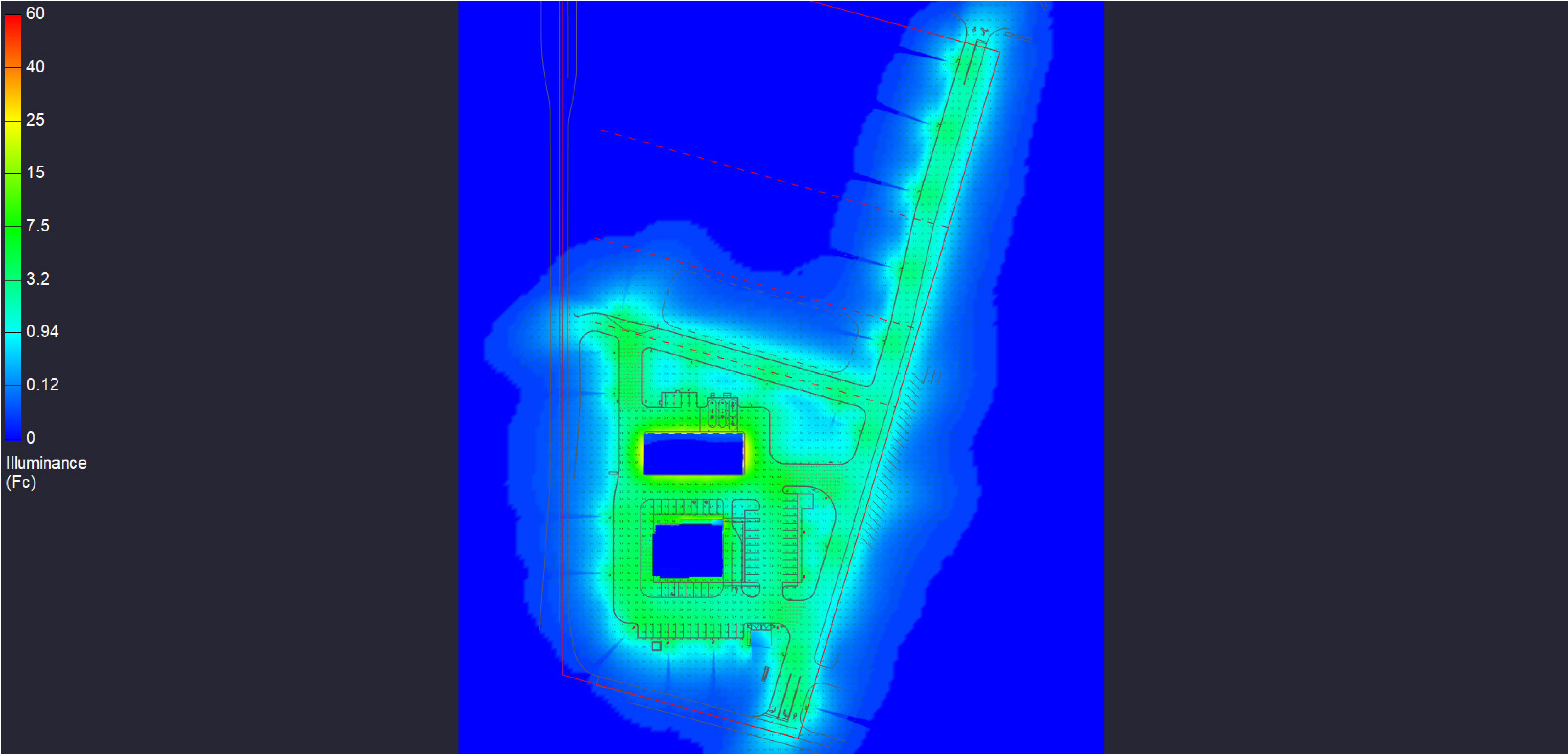

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February 14, 2023 7:25 PM

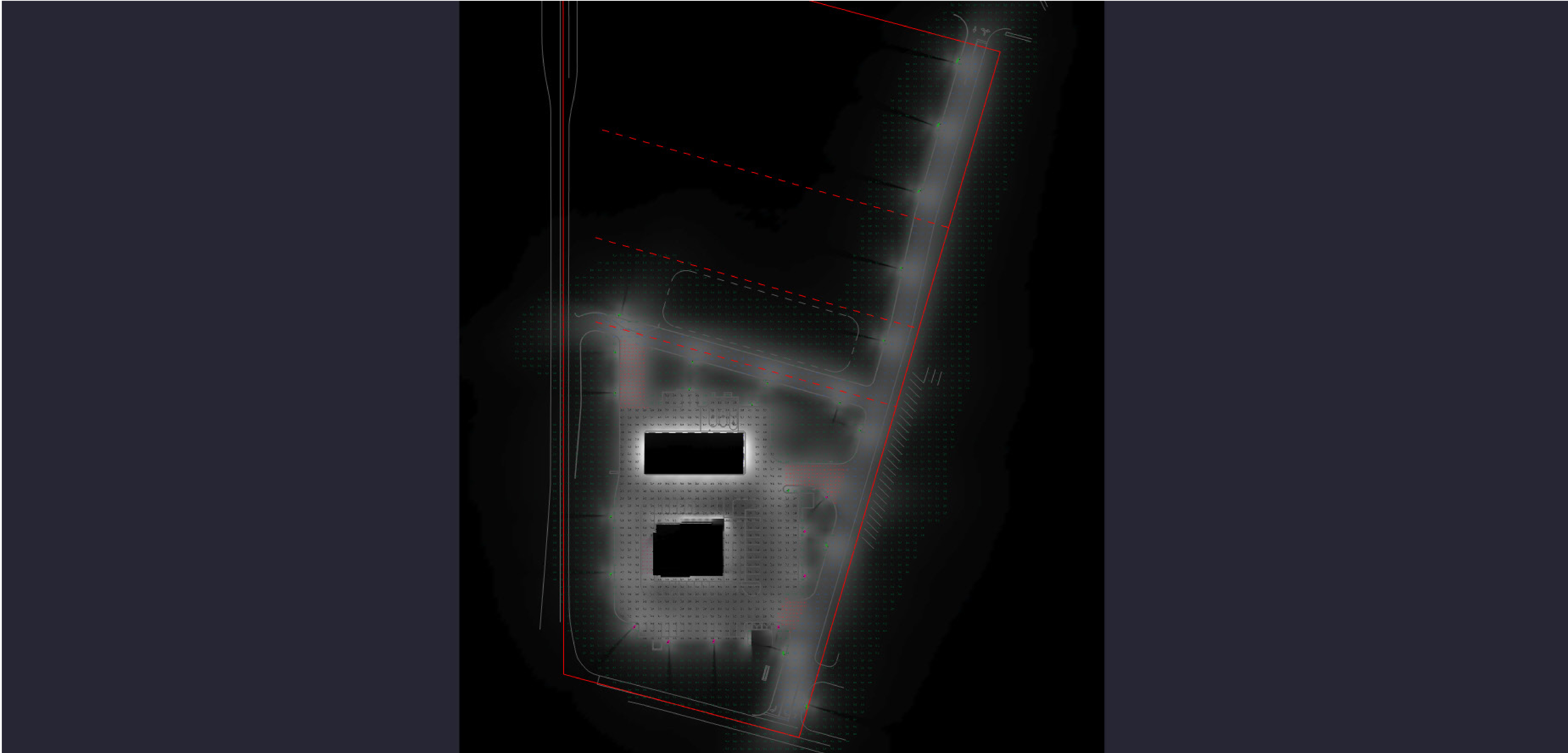
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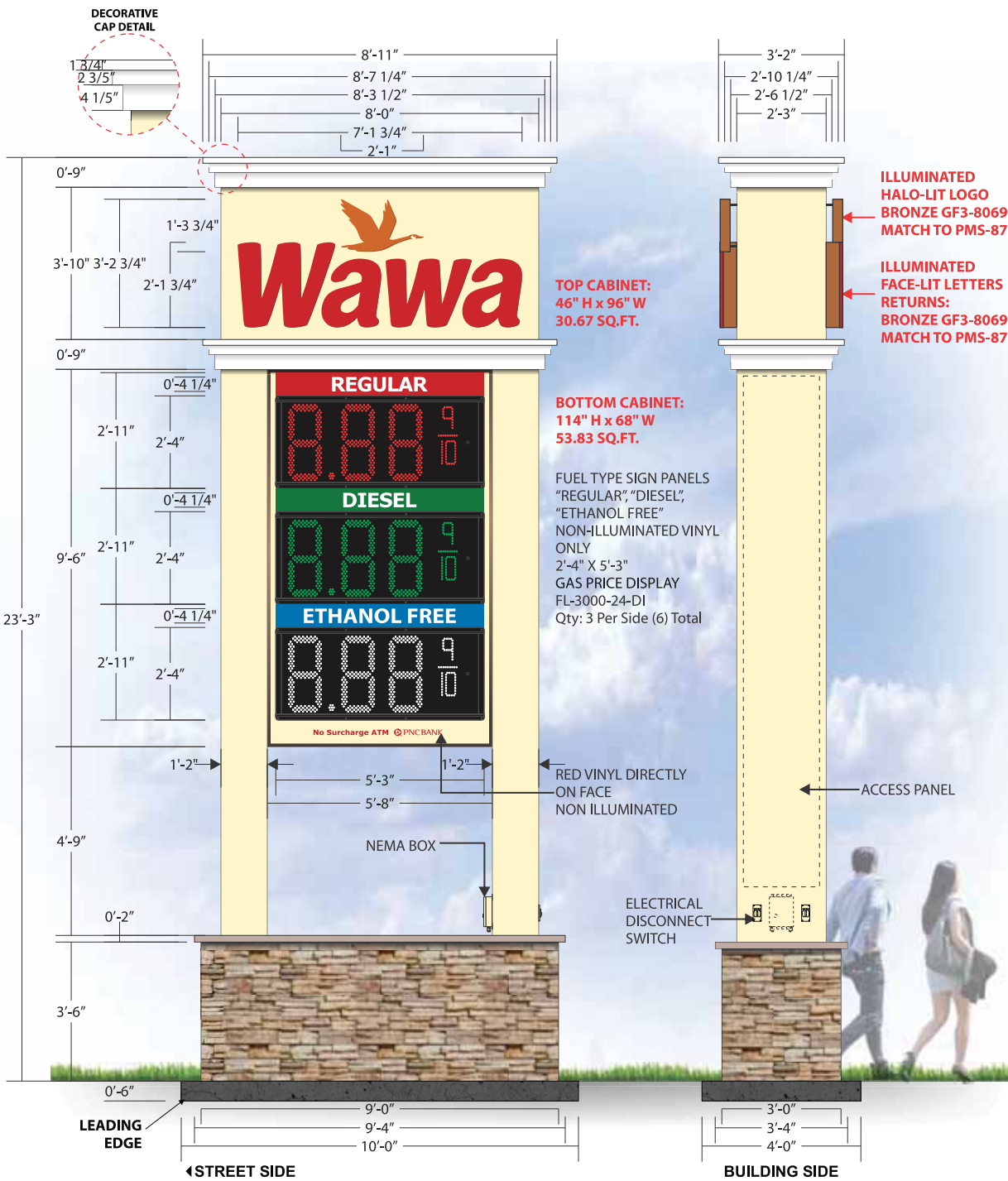
<p>Construction</p> <ul style="list-style-type: none"> • Heavy-duty cast aluminum housing and removable bezel design • Optional tamper resistant bezels for vandal resistance • BICO impact rated <p>Optics</p> <ul style="list-style-type: none"> • Available for injection-molded AccuLED optics technology • 15 optical distributions • IMA Certified (IEC60529 C2T and warmer only) 	<p>Electrical</p> <ul style="list-style-type: none"> • Operates with 0-12V driving • Standard with Coarse Lighting Solutions proprietary circuit module designed to withstand 100% of transient line surge • Suitable for operation in -40°C to 60°C ambient temperatures, optional 50°C high ambient (HA) configuration • Suitable for operation in -40°C to 40°C ambient temperatures, optional 50°C high ambient (HA) configuration <p>Mounting</p> <ul style="list-style-type: none"> • Mounting hardware included 	<p>Accessories</p> <ul style="list-style-type: none"> • Secured to a gasketed and sized plate mounting hardware • Two black oxide coated Allen set screws available but not accessible from below <p>Finish</p> <ul style="list-style-type: none"> • Suitable for TSCC polymer powder coat, 2.5 mil nominal thickness • 4 mil and custom color matches available • Custom Construction (CC) option available <p>Warranty</p> <ul style="list-style-type: none"> • Five year limited warranty, consult website for details
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 February 14, 2023 7:25 PM







24" / 3 PRODUCT
P-75 D/F ILLUMINATED PYLON SIGN (84.5 SQ. FT.)

Scale: 1/4"=1'-0"

Color Reference

RED JEWELITE

3M 7725-13 TOMATO RED
(EMC BORDER & SURCHARGE NOTICE)

3M 7725-46 KELLY GREEN
(EMC BORDER)

3M 7725-57 OLYMPIC BLUE
(EMC BORDER)

3M 7725-10 WHITE
(FUEL GRADES)

#2783 RED FLAT ACRYLIC FACES
(CHANNEL LETTERS)

PAIN TO MATCH PMS 876C METALLIC
COPPER WITH GLOSS FINISH (RETURNS)

PAIN TO MATCH PMS 7401 C WITH
SATIN FINISH (PYLON STRUCTURE)

WHITE PAINT WITH SATIN FINISH
(DECORATIVE CAP AND TRIM)

LIMESTONE CAP BY OTHERS

STONE BASE BY OTHERS



THOMAS

SIGN & AWNING CO INC

4590 118TH Avenue North
Clearwater, Florida 33762

800-526-3325

www.thomassign.com

CLIENT

WAWA - 2019 FAMILY OF SIGNS

Design Number:
80032
Installation Address:

Project Identity Number:
84035

Sales Associate: Project Team:

TSA BB

Designer: Date:

MBV 09.30.19

Project Updates:
11.11.19 MBV -NEMA REVS
01.20.20 MBV - Updated pricers vyl

Underwriters
Laboratories, Inc.

LISTING E89514

ELECTRIC SIGN

COMPLIES TO UL 48

THIS ARTICLE IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



3M™ MCS™ Warranty

Approval:

- ☐ Approved
DATE:
- ☐ Approved as noted
DATE:
- ☐ Revise & Re-Submit
DATE:

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Fax: 727-573-0328



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DATE:

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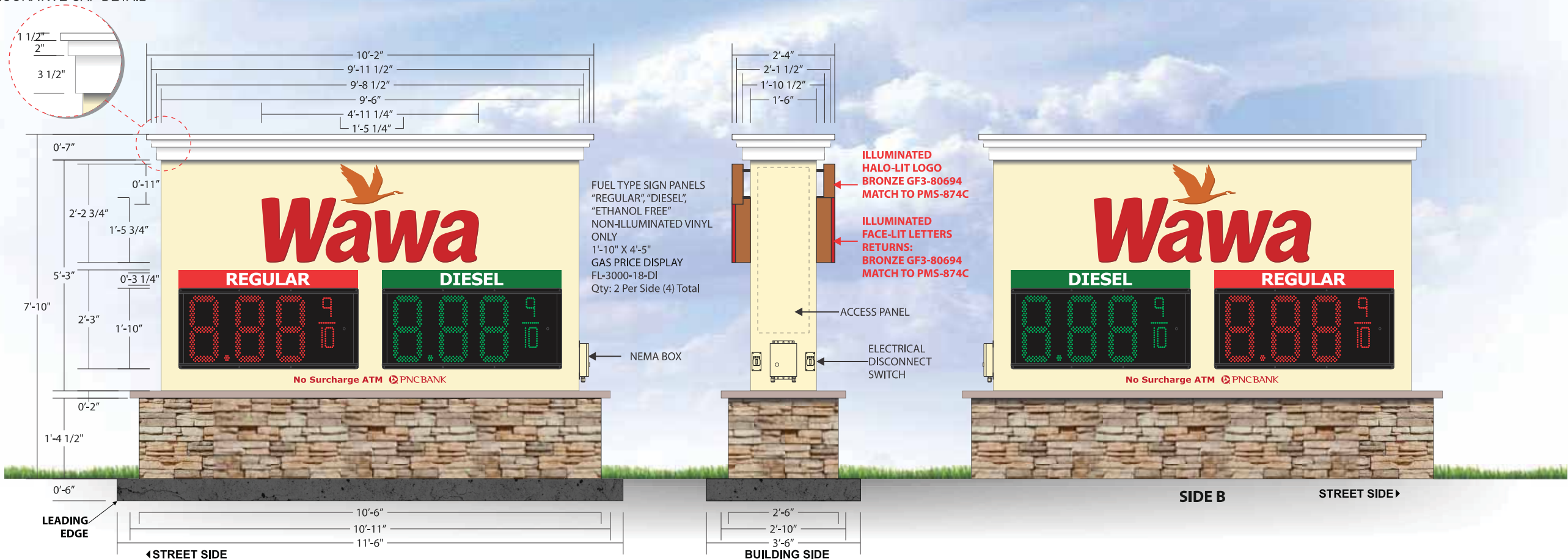
Sheet

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Fax: 727-573-0328

DECORATIVE CAP DETAIL



18" / 2 PRODUCT (OPTION 1A)
M-50 D/F ILLUMINATED MONUMENT SIGN (49.87 SQ. FT.)

Scale: 3/8"=1'-0"

Color Reference

	RED JEWELITE		3M 7725-13 TOMATO RED (EMC BORDER & SURCHARGE NOTICE)		3M 7725-46 KELLY GREEN (EMC BORDER)		3M 7725-57 OLYMPIC BLUE (EMC BORDER)		3M 7725-10 WHITE (FUEL GRADES)		#2783 RED FLAT ACRYLIC FACES (CHANNEL LETTERS)
	PAINT TO MATCH PMS 876C METALLIC COPPER WITH GLOSS FINISH (RETURNS)		PAINT TO MATCH PMS 7401C WITH SATIN FINISH (PYLON STRUCTURE)		WHITE PAINT WITH SATIN FINISH (DECORATIVE CAP AND TRIM)		LIMESTONE CAP BY OTHERS		STONE BASE BY OTHERS		