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DESCRIPTION

LOT NUMBER 12 HURRICANE INDUSTRIAL PARK, RECORDED AS INSTRUMENT NUMBER 2005-034659 IN THE OFFICE OF THE JOHNSON COUNTY RECORDER, CONTAINING 1.32 ACRE MORE OR LESS.

FLOOD CERTIFICATION

THE SUBJECT PARCEL APPEARS TO BE LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER THE FLOOD INSURANCE RATE MAP (FIRM) FOR JOHNSON COUNTY, INDIANA, COMMUNITY PANEL 18081C0231E, EFFECTIVE DATE JANUARY 29, 2021, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION. PER SAID FIRM, THIS PARCEL DOES NOT APPEAR TO LIE WITHIN THE BOUNDARY OF THE 100-YEAR FLOOD AREA. THE ACCURACY OF ANY FLOOD HAZARD STATEMENT IS SUBJECT TO MAP SCALE UNCERTAINTY.

VERTICAL DATUM:

THE VERTICAL DATUM FOR THIS SURVEY WAS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WAS ESTABLISHED BY RTK GPS MEASUREMENT UTILIZING THE INDIANA DEPARTMENT OF TRANSPORTATION'S INCORP'S NETWORK. THIS NETWORK WAS VERIFIED BY RUNNING AN OPUS SOLUTION ON CONTROL POINT 700 (ELEVATION=740.455)

DIFFERENTIAL LEVELING WAS PERFORMED ON THE SURVEY CONTROL POINTS PRIOR TO DATA COLLECTION TO ENSURE THAT VERTICAL TOLERANCES FOR THIS SURVEY WERE MET. UNLESS OTHERWISE NOTED THE TOPOGRAPHIC DATA SHOWN WAS COLLECTED USING STANDARD RADIAL TECHNIQUES UTILIZING ELECTRONIC STATIONS AND DATA COLLECTORS.

SITE BENCHMARK:



CUT "X" ON SANITARY MANHOLE RIM LOCATED AT THE NORTHWEST CORNER OF LOT 12.

ELEVATION = 740.98 NAVD 88

CONTACTS:

City of Franklin Department of Planning & Engineering 70 E. Monroe Street Franklin, Indiana 46131 877.736.3631	City of Franklin Board of Public Works 70 E. Monroe Street Franklin, Indiana 46131 877.736.3602	City of Franklin Fire Department 1800 Thornburg Lane Franklin, Indiana 46131 888.736.3650
Centerpoint Energy (Formerly Vectren) 1800 W. 26th Street Muncie, Indiana 47302 Jon Eastham 765.287.2119	Duke Energy 100 S. Mill Creek Road Noblesville, Indiana 46062 Don McDuffy 317.776.5320	Brightspeed Communications 1120 S. Tyrone Street Suite 700 Charlotte, NC 28203 Sonni Smith 704.314.2662
Indiana American Water 153 n. Emerson Avenue Greenwood, Indiana 46142 Ryan Moore 317.885.2404	METRO Fibernet, LLC 13701 Communications Way Evansville, Indiana 47715 812.213.1050	

UTILITY NOTE:

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

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24 Hours a day, 7 Days a Week.

PER INDIANA STATE LAW IC 8-1-26.
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

THIS DRAWING IS NOT
INTENDED TO
REPRESENTED AS A
RETRACEMENT OR
ORIGINAL BOUNDARY
SURVEY

LOT #12
HURRICANE INDUSTRIAL PARK

SITE DEVELOPMENT PLANS

FINAL PLAN DATE: 00.00.2023

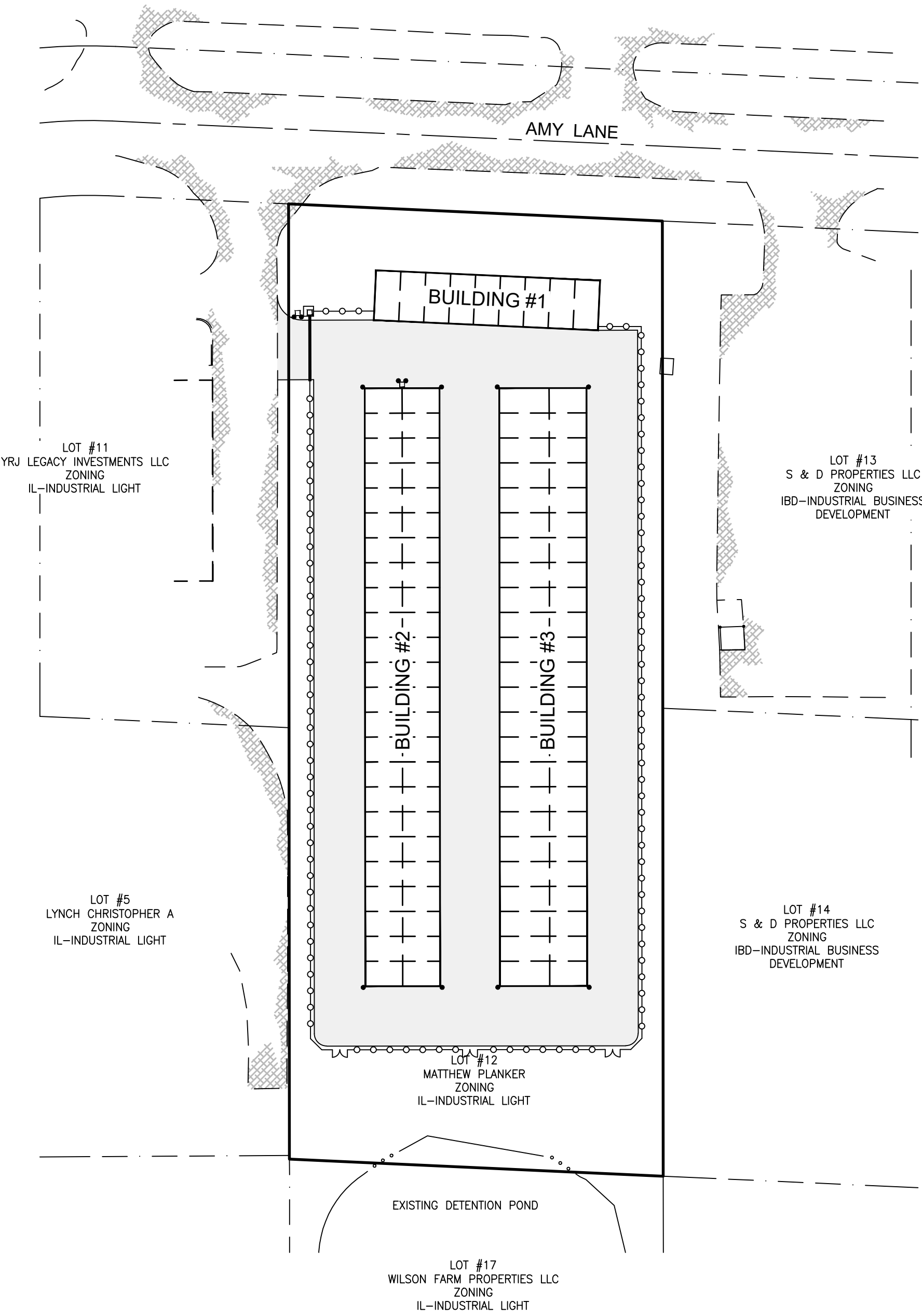
FINAL SITE CONSTRUCTION PLANS ARE THOSE CONTAINING THE FINAL PLAN DATE SHOWN ABOVE
1661 AMY LANE, FRANKLIN, INDIANA 46131

CITY OF FRANKLIN DOCKET #PC-22-37 (SPR)

PREPARED FOR

PLANKER

1548 West Smith Valley Road
Greenwood, Indiana 46142



CONSTRUCTION DOCUMENTS

PROJECT MANAGER: DATE:
THESE PLANS ARE NOT TO BE CONSIDERED FINAL OR TO BE UTILIZED FOR CONSTRUCTION UNLESS SIGNED AND DATED BY THE APPROPRIATE NORTHPOINTE ENGINEERING & SURVEYING, INC. PROJECT MANAGER.

Plans Prepared By:



CERTIFIED BY:



Venus L.L. Thorne
01.12.2023
Venus L.L. Thorne
Professional Engineer
State of Indiana
Registration Number 11200278

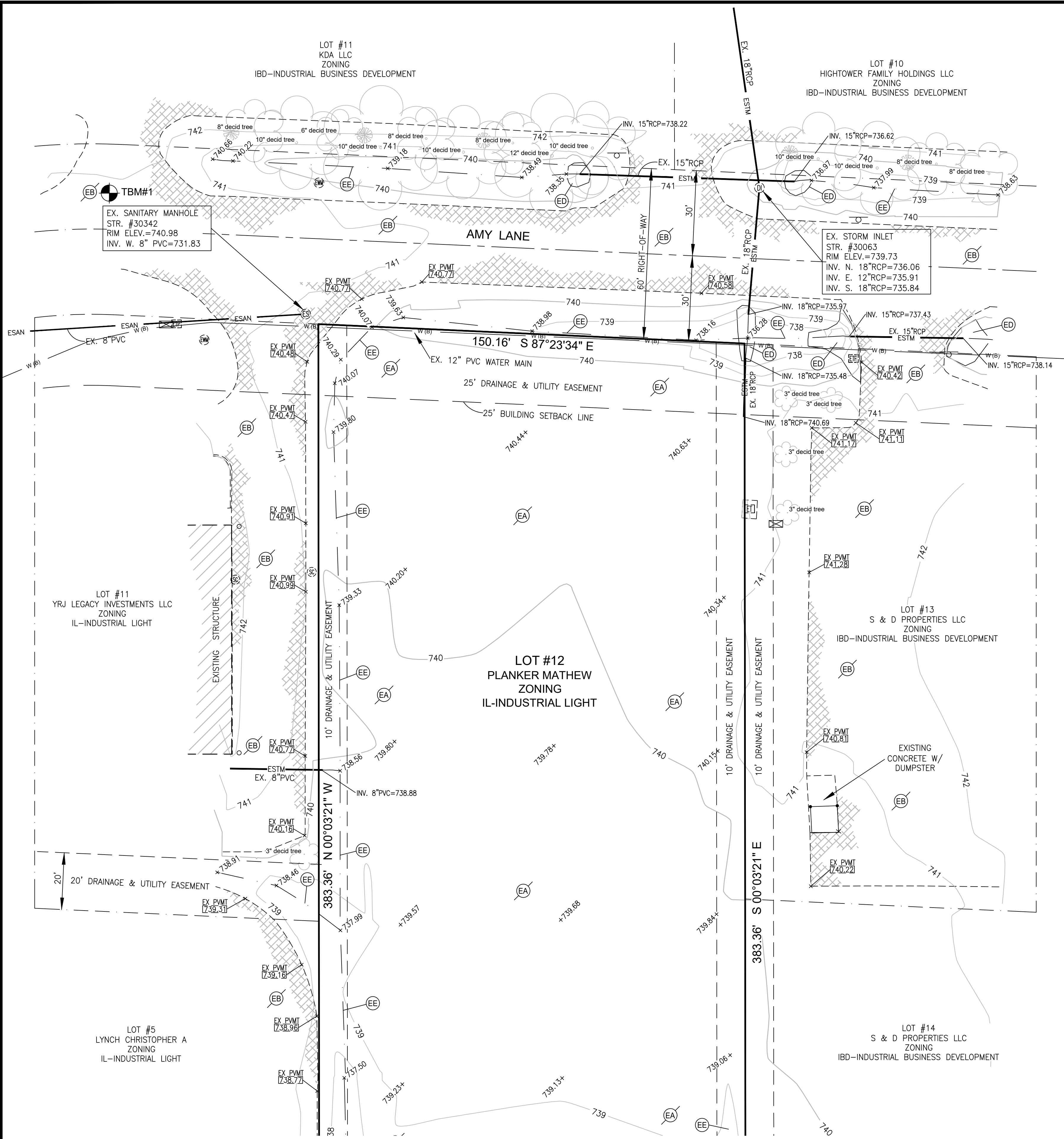


Donna Jo Smithers
01.12.2023
Donna Jo Smithers
Professional Surveyor
State of Indiana
Registration Number 20100076

Engineering, Land Surveying
Consulting & Inspection

Donna Jo Smithers
Professional Land Surveyor
President / Owner
Venus L.L. Thorne
Professional Engineer
Vice President
Martin K. Spees
Professional Engineer
Vice President

6125 South East Street, Suite "B"
Indianapolis, Indiana 46227-2147
Office - 317-884-3020
www.npesindy.com



LEGEND - EXISTING	
	-EXISTING STORM (CURB) INLET
	-EXISTING STORM INLET
	-EXISTING STORM SEWER
	-EXISTING SANITARY MANHOLE
	-EXISTING SANITARY CLEANOUT
	-EXISTING SANITARY MAIN
	-EXISTING FIRE HYDRANT
	-EXISTING WATER MAIN
	-EXISTING WATER VALVE
	-EXISTING LIGHT POLE
	-EXISTING ELECTRIC TRANSFORMER
	-EXISTING ELECTRIC LINE
	-EXISTING GAS LINE
	-EXISTING GAS VALVE
	-EXISTING GAS LINE MARKER
	-EXISTING TELEPHONE LINE
	-EXISTING TELEPHONE PEDESTAL
	-EXISTING TELEPHONE MANHOLE
	-EXISTING TELEPHONE SPICE TUB
	-EXISTING FIBOR OPTIC
	-EXISTING SIGN
	-EXISTING SPOT ELEVATIONS
	-EXISTING CONTOUR ELEVATION
	-EXISTING TREE
	-EXISTING SHRUB

SITE NOTES	
	(EA) - EXISTING GROUND COVER GRASS
	(EB) - EXISTING BITUMINOUS PAVEMENT
	(EC) - EXISTING DETENTION EDGE OF WATER
	(ED) - EXISTING RIP-RAP
	(EE) - EXISTING SWALE

- GENERAL SITE NOTES
1. ALL WORK SHALL CONFORM TO STATE AND LOCAL REGULATIONS.

2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AS SHOWN ON THIS PLAN PRIOR TO STARTING CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND IN THE PLANS FROM FIELD CONDITIONS, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

3. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, CURRENT EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS.

4. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION. PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM 0-1557. FIELD COMPACTING TEST SHALL BE RUN ON EACH LIFT. IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.

5. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA EXISTING UTILITY STRUCTURES ARE SHOWN HEREIN IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.

6. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.

7. ALL GRADES AT BOUNDARY SHALL MEET EXISTING.

8. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A STANDARDS FOR WORKER SAFETY.

9. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS. ANY AREAS THAT HOLD WATER MORE THAN 1/8" DEEP SHALL BE CUT OUT AND CORRECTED TO POSITIVE DRAINAGE AT NO COST TO THE OWNER/ DEVELOPER/ OR ENGINEER.

10. VERIFY EXISTING STORM INVERT ELEVATIONS PRIOR TO STARTING NEW STORM SEWER CONNECTION.

11. THE CONTRACTOR IS RESPONSIBLE TO CALCULATE THEIR OWN DIRT QUANTITIES TO DETERMINE A SITE BALANCE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CHECK EXISTING GRADES AGAINST PROPOSED GRADES TO DETERMINE ACCURACY OF DIRT TO BE MOVED ON THE SITE. ONCE THE CONTRACTOR MOVES ANY DIRT ON SITE THEY ARE RESPONSIBLE FOR ALL DIRT TO BE MOVED AT NO ADDITIONAL COST TO THE DEVELOPER.

12. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THE MOST UPDATED SET OF CONSTRUCTION PLANS PRIOR TO COMMENCING CONSTRUCTION.

13. ALL SANITARY SEWER LATERALS SHOWN ARE TO BE 6" PVC SDR-36 NORMAL LATERAL SLOPE IS 1/4" PER FOOT MINIMUM LATERAL SLOPE IS 1/8" PER FOOT MINIMUM COVER IS 4 FEET OVER THE PIPE

14. THE CONTRACTOR SHALL RESURFACE AND/OR RECONSTRUCT BACK TO ITS ORIGINAL CONDITION. ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITY AS WELL AS TRAFFIC FROM SUPPLIERS AND SUBCONTRACTORS AFTER CONSTRUCTION WORK IS COMPLETE.

DESCRIPTION

LOT NUMBER 12 HURRICANE INDUSTRIAL PARK, RECORDED AS INSTRUMENT NUMBER 2005-034659 IN THE OFFICE OF THE JOHNSON COUNTY RECORDER, CONTAINING 1.32 ACRE MORE OR LESS.

FLOOD CERTIFICATION

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THIS DRAWING IS NOT INTENDED TO REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY

VERTICAL DATUM:
THE VERTICAL DATUM FOR THIS SURVEY WAS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WAS ESTABLISHED BY RTK GPS MEASUREMENT UTILIZING THE INDIANA DEPARTMENT OF TRANSPORTATION'S INCORS NETWORK. THIS NETWORK WAS VERIFIED BY RUNNING AN OPUS SOLUTION ON CONTROL POINT 700 (ELEVATION=740.455)

DIFFERENTIAL LEVELING WAS PERFORMED ON THE SURVEY CONTROL POINTS PRIOR TO DATA COLLECTION TO ENSURE THAT VERTICAL TOLERANCES FOR THIS SURVEY WERE MET. UNLESS OTHERWISE NOTED THE TOPOGRAPHIC DATA SHOWN WAS COLLECTED USING STANDARD RADIAL TECHNIQUES UTILIZING ELECTRONIC STATIONS AND DATA COLLECTORS.

SITE BENCHMARK: TBM#1
CUT "X" ON SANITARY MANHOLE RIM LOCATED AT THE NORTHWEST CORNER OF LOT 12.
ELEVATION = 740.98 NAVD 88

UTILITY STATEMENT:
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

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NORTHPOINTE
ENGINEERING & SURVEYING, Inc.

Engineering, Land Surveying
Consulting & Inspection

Donna Jo Smithers
Professional Land Surveyor
President / Owner

Venus L.L. Thorne
Professional Engineer
Vice President

Martin K. Spees
Professional Engineer
Vice President Engineering

6125 South East Street, Suite "B"
Indianapolis, Indiana 46227-2147
Office - 317-884-3020
www.agesindy.com

01.12.23 Seal

01.12.23 Seal

Bar Scale
0 10' 20' 40'

Scale: 1"=20'

PREPARED FOR

PLANKER

1548 West Smith Valley Road
Greenwood, Indiana 46142

PROJECT NAME

LOT #12
HURRICANE INDUSTRIAL PARK
1661 Amy Lane, Franklin, Indiana

SHEET TITLE

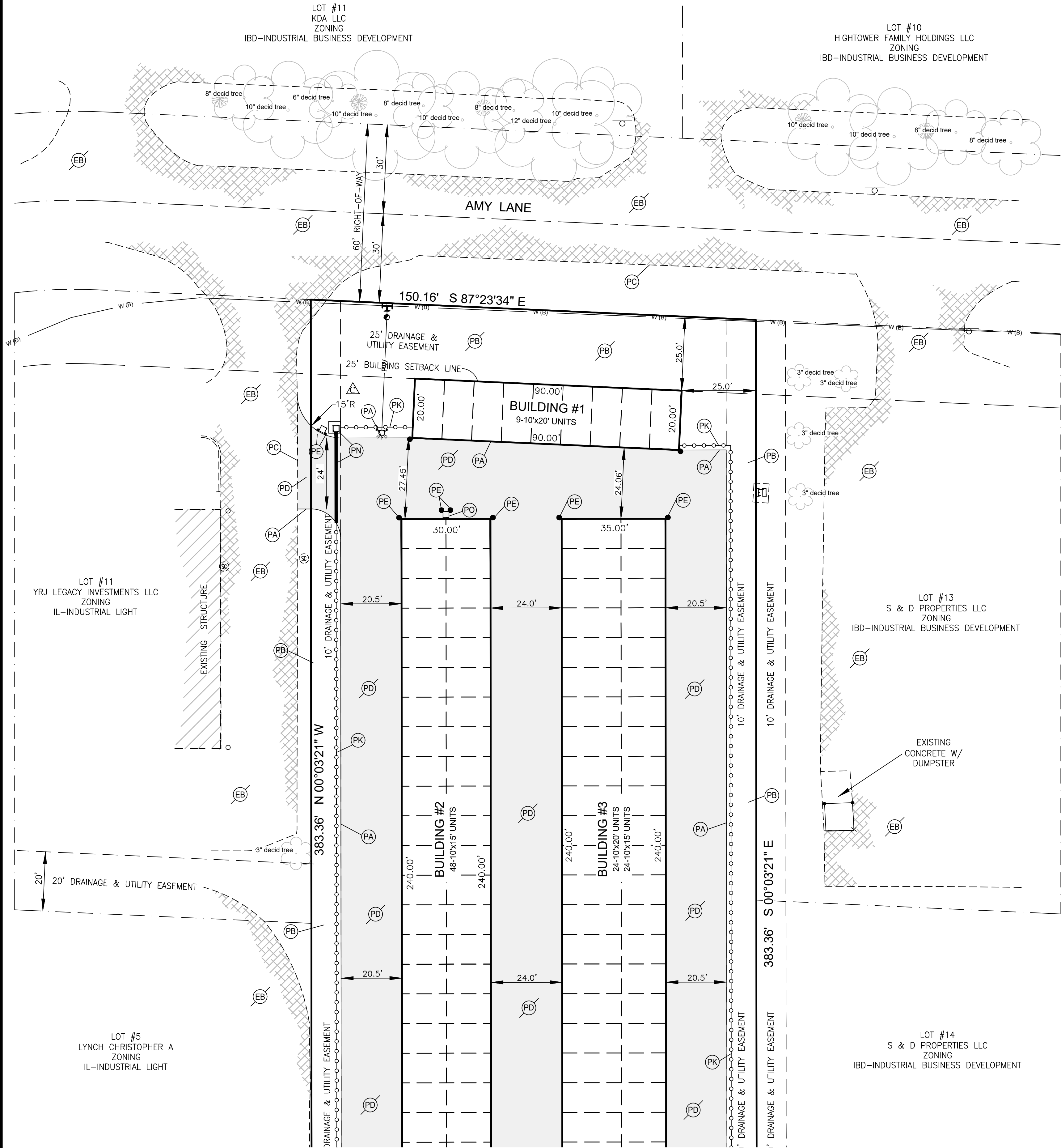
EXISTING SITE CONDITIONS

DATE

01.12.2023

NPES Job # 22-0069

Sheet C-2.0



LEGEND - EXISTING	
	-EXISTING STORM (CURB) INLET
	-EXISTING STORM INLET
	-EXISTING STORM SEWER
	-EXISTING SANITARY MANHOLE
	-EXISTING SANITARY CLEANOUT
	-EXISTING SANITARY MAIN
	-EXISTING FIRE HYDRANT
	-EXISTING WATER MAIN
	-EXISTING WATER VALVE
	-EXISTING LIGHT POLE
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	-EXISTING TELEPHONE SPLICE TUB
	-EXISTING FIBOR OPTIC
	-EXISTING SIGN
	-EXISTING SPOT ELEVATIONS
	-EXISTING CONTOUR ELEVATION
	-EXISTING TREE
	-EXISTING SHRUB

LEGEND - PROPOSED	
	-PROPOSED STORM STRUCTURE NUMBER
	-PROPOSED STORM INLET WITH CONCRETE COLLAR
	-PROPOSED STORM SEWER
	-PROPOSED CONCRETE END SECTION
	-PROPOSED WATER QUALITY STRUCTURE
	-PROPOSED SWALE
	-PROPOSED FLOW ARROW
	-PROPOSED GRANULAR BACKFILL
	-PROPOSED GRADE

SITE NOTES	
	EA - EXISTING GROUND COVER GRASS
	EB - EXISTING BITUMINOUS PAVEMENT
	EC - EXISTING DETENTION EDGE OF WATER
	ED - EXISTING RIP RAP
	EE - EXISTING SWALE
	PA - PROPOSED EDGE OF PAVEMENT
	PB - PROPOSED GRASS / LANDSCAPE AREA
	PC - MATCH EXISTING PAVEMENT SAW CUT EXISTING PAVEMENT EDGE TO BE UNIFORM VERTICAL EDGE
	PD - PROPOSED ASPHALT PAVEMENT SEE DETAIL SHEET C-10.0
	PE - PROPOSED BOLLARD SEE DETAIL SHEET C-10.0
	PK - PROPOSED 6' BLACK ALUMINUM FENCE
	PL - PROPOSED 6' BLACK ALUMINUM FENCE W/ GATES TO ALLOW FOR SNOW TO BE PUSHED OUT
	PM - PROPOSED CONCRETE COLLAR SEE DETAIL SHEET C-11.1
	PN - PROPOSED ENTRANCE GATE & KEYPAD BY OTHERS
	PO - PROPOSED EXIT KEYPAD BY OTHERS

- ### GENERAL SITE NOTES
- ALL WORK SHALL CONFORM TO STATE AND LOCAL REGULATIONS.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AS SHOWN ON THIS PLAN PRIOR TO STARTING CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND IN THE PLANS FROM FIELD CONDITIONS, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, CURRENT EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS.
 - FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION. PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTION TEST SHALL BE RUN ON EACH LIFT. IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HEREIN IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
 - ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
 - ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
 - ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH OSHA STANDARDS FOR WORKER SAFETY.
 - PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS. ANY AREAS THAT HOLD WATER MORE THAN 1/8" DEEP SHALL BE CUT OUT AND CORRECTED TO POSITIVE DRAINAGE AT NO COST TO THE OWNER/ DEVELOPER/ OR ENGINEER.
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 - ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THE MOST UPDATED SET OF CONSTRUCTION PLANS PRIOR TO COMMENCING CONSTRUCTION.
 - ALL SANITARY SEWER LATERALS SHOWN ARE TO BE 6" PVC SDR-35 NORMAL LATERAL SLOPE IS 1/4" PER FOOT. MINIMUM LATERAL SLOPE IS 1/8" PER FOOT. MINIMUM COVER IS 4 FEET OVER THE PIPE.
 - CONTRACTOR SHALL RESURFACE AND/OR RECONSTRUCT BACK TO ITS ORIGINAL CONDITION. ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITY AS WELL AS TRAFFIC FROM SUPPLIERS AND SUBCONTRACTORS AFTER CONSTRUCTION WORK IS COMPLETE.

REVISIONS	
DATE	DESCRIPTION
03.10.17	REVISED PIPE SLOPES
	ADDED NOTE
03.02.23	REVISED RADIUS



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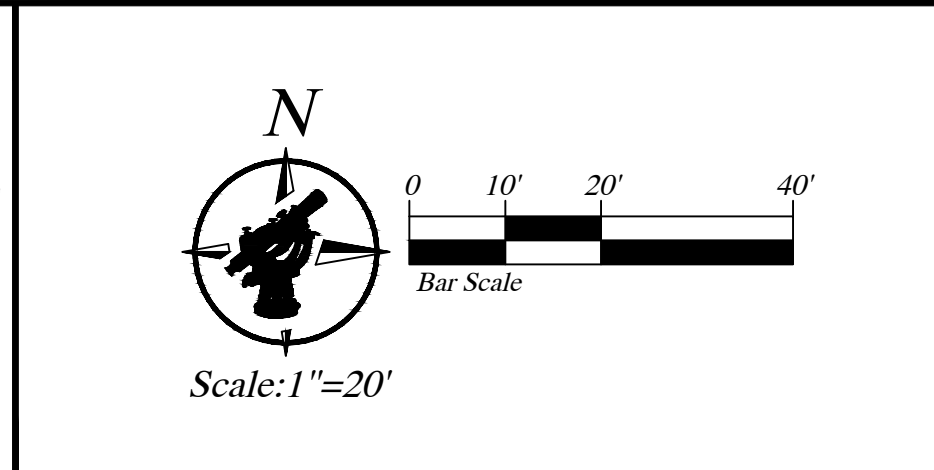
Engineering, Land Surveying
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Donna Jo Smithers
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Professional Engineer
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Office - 317-884-3020
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PREPARED FOR

PLANKER

1548 West Smith Valley Road
Greenwood, Indiana 46142

PROJECT NAME

LOT #12

HURRICANE INDUSTRIAL PARK
1661 Amy Lane, Franklin, Indiana

SHEET TITLE

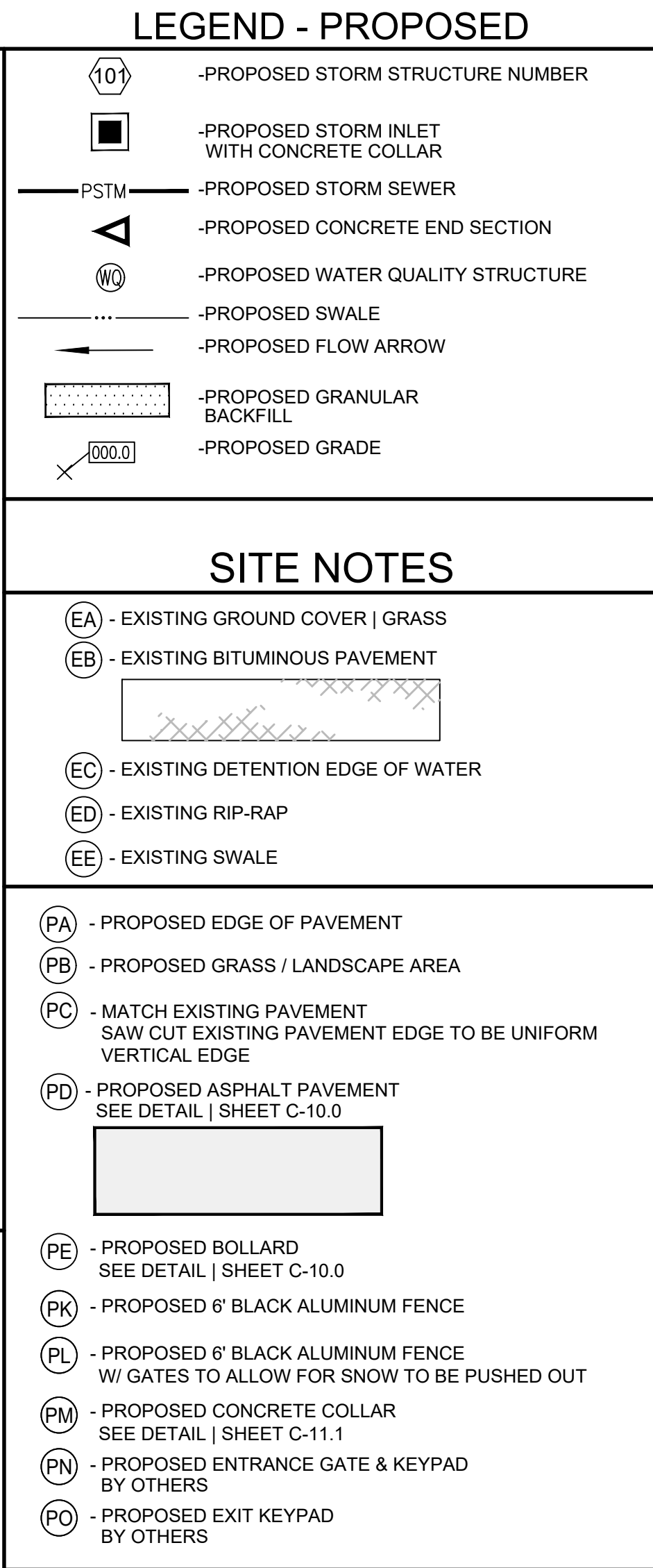
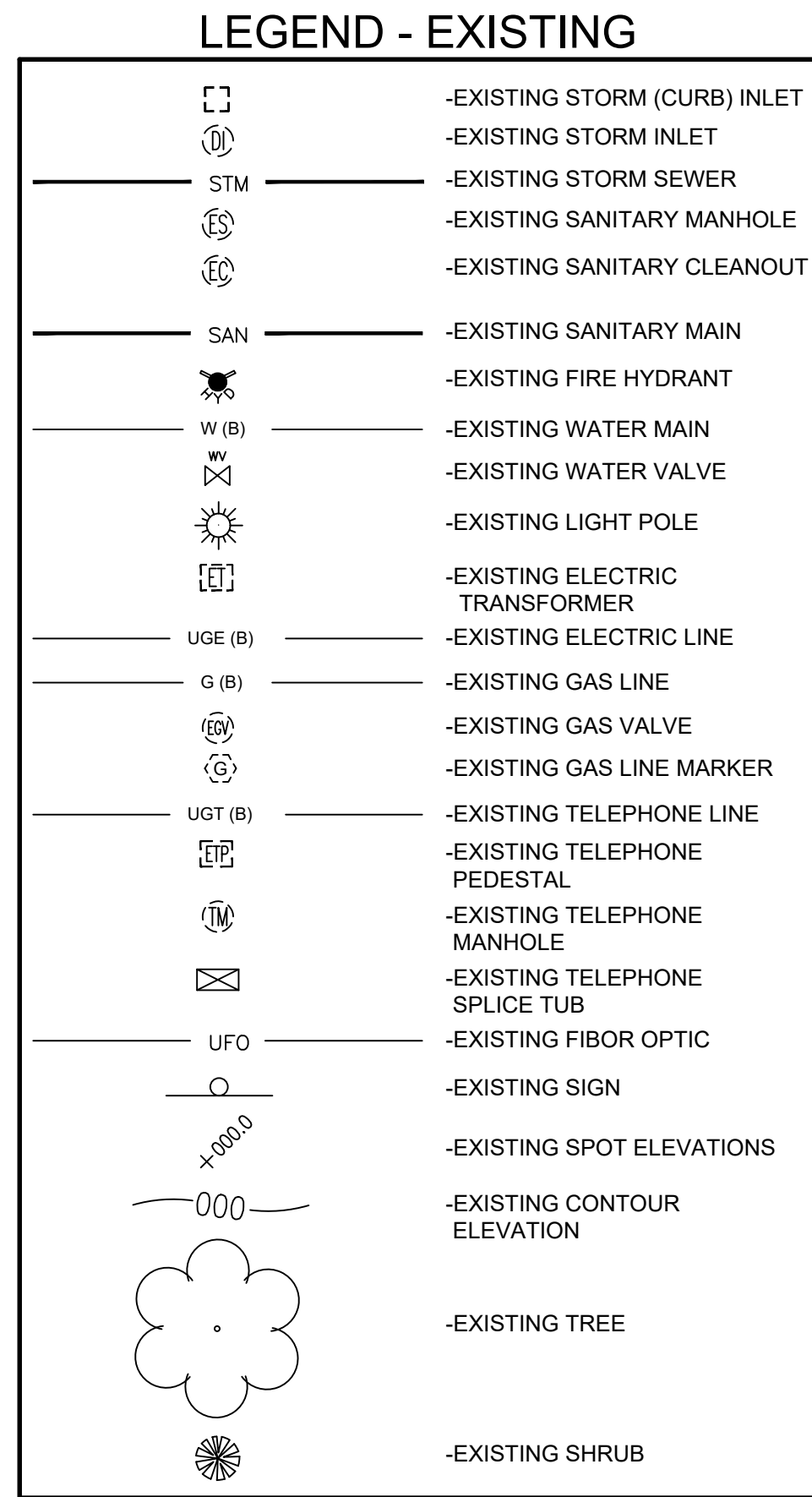
DIMENSIONAL PLAN

DATE

01.12.2023

NPES Job # 22-0069

Sheet C-3.0



- # GENERAL SITE NOTES
1. ALL WORK SHALL CONFORM TO STATE AND LOCAL REGULATIONS.
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 6. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
 7. ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
 8. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A STANDARDS FOR WORKER SAFETY.
 9. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS. ANY AREAS THAT HOLD WATER MORE THAN 18" DEEP SHALL BE CUT OUT AND CORRECTED TO POSITIVE DRAINAGE AT NO COST TO THE OWNER/ DEVELOPER/ OR ENGINEER.
 10. VERIFY EXISTING SURFACE INVERT ELEVATIONS PRIOR TO STARTING NEW STORM SEWER CONNECTION.
 11. THE CONTRACTOR IS RESPONSIBLE TO CALCULATE THEIR OWN DIRT QUANTITIES TO DETERMINE A SITE BALANCE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CHECK EXISTING GRADES AGAINST PROPOSED GRADES TO DETERMINE ACCURACY OF DIRT TO BE MOVED ON THE SITE. ONCE THE CONTRACTOR MOVES ANY DIRT ON SITE THEY ARE RESPONSIBLE FOR ALL DIRT TO BE MOVED AT NO ADDITIONAL COST TO THE DEVELOPER.
 12. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THE MOST UPDATED SET OF CONSTRUCTION PLANS PRIOR TO COMMENCING CONSTRUCTION.
 13. ALL SANITARY SEWER LATERALS SHOWN ARE TO BE 6" PVC SDR-56 NORMAL LATERAL SLOPE IS 1/4" PER FOOT
MINIMUM LATERAL SLOPE IS 1/8" PER FOOT
MINIMUM COVER IS 4 FEET OVER THE PIPE
 14. CONTRACTOR SHALL RESURFACE AND/OR RECONSTRUCT BACK TO ITS ORIGINAL CONDITION, ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITY AS WELL AS TRAFFIC FROM SUPPLIERS AND SUBCONTRACTORS AFTER CONSTRUCTION WORK IS COMPLETE.



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UNDERGROUND UTILITIES SHOWN HEREON MAY BE ENTERED, THE OWNER, HIS EMPLOYEES,
SUBSIDIARIES, CONTRACTORS, OR CONSULTANTS, SUCH AS L. A. HERBERY, INC. THE
SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION
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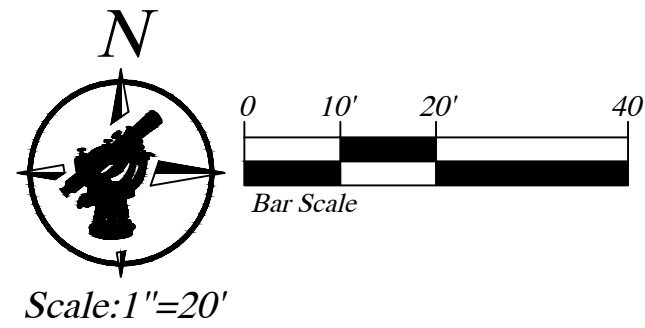
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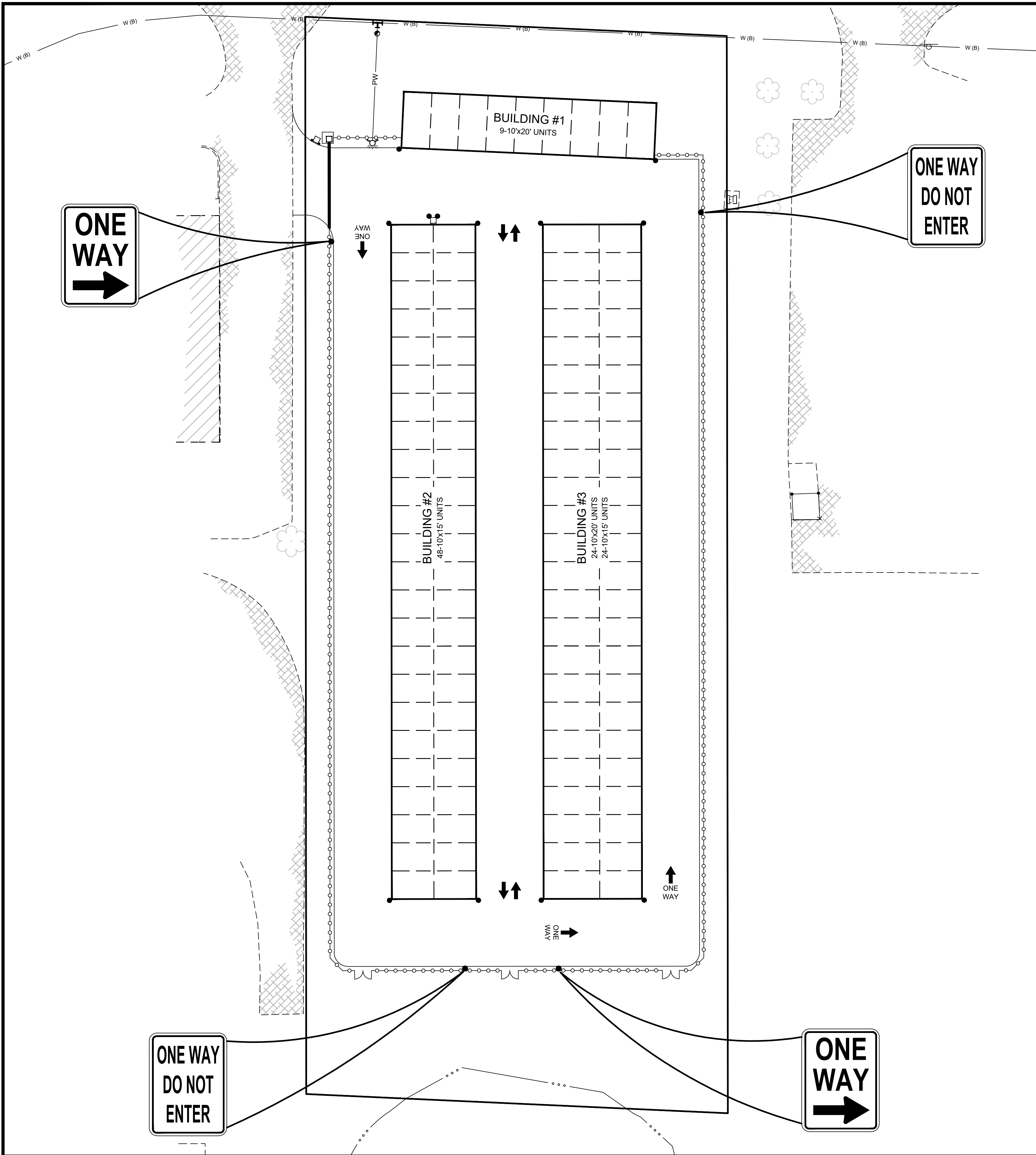
1548 West Smith Valley Road
Greenwood, Indiana 46142

PROJECT NAME
LOT #12
HURRICANE INDUSTRIAL PARK
1661 Amy Lane, Franklin, Indiana

SHEET TITLE
DIMENSIONAL PLAN

DATE
01.12.2023
NPES Job # 22-0069

Sheet C-3.1



LEGEND - EXISTING	
	-EXISTING STORM (CURB) INLET
	-EXISTING STORM INLET
	-EXISTING STORM SEWER
	-EXISTING SANITARY MANHOLE
	-EXISTING SANITARY CLEANOUT
	-EXISTING SANITARY MAIN
	-EXISTING FIRE HYDRANT
	-EXISTING WATER MAIN
	-EXISTING WATER VALVE
	-EXISTING LIGHT POLE
	-EXISTING ELECTRIC TRANSFORMER
	-EXISTING ELECTRIC LINE
	-EXISTING GAS LINE
	-EXISTING GAS VALVE
	-EXISTING GAS LINE MARKER
	-EXISTING TELEPHONE LINE
	-EXISTING TELEPHONE PEDESTAL
	-EXISTING TELEPHONE MANHOLE
	-EXISTING TELEPHONE SPLICE TUB
	-EXISTING FIBER OPTIC
	-EXISTING SIGN
	-EXISTING SPOT ELEVATIONS
	-EXISTING CONTOUR ELEVATION
	-EXISTING TREE
	-EXISTING SHRUB

- ### GENERAL SITE NOTES
- ALL WORK SHALL CONFORM TO STATE AND LOCAL REGULATIONS.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AS SHOWN ON THIS PLAN PRIOR TO STARTING CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND IN THE PLANS FROM FIELD CONDITIONS, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, CURRENT EDITION, FOR BASIC MATERIALS AND CONSTRUCTION METHODS.
 - FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION. PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTION TEST SHALL BE RUN ON EACH LIFT. IN FILL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
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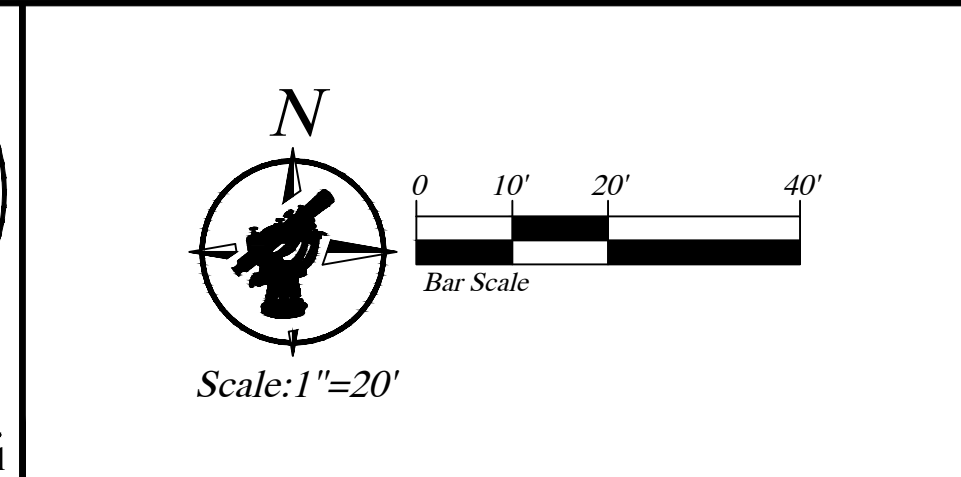
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PREPARED FOR

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1548 West Smith Valley Road
Greenwood, Indiana 46142

PROJECT NAME

LOT #12
HURRICANE INDUSTRIAL PARK
1661 Amy Lane, Franklin, Indiana

SHEET TITLE

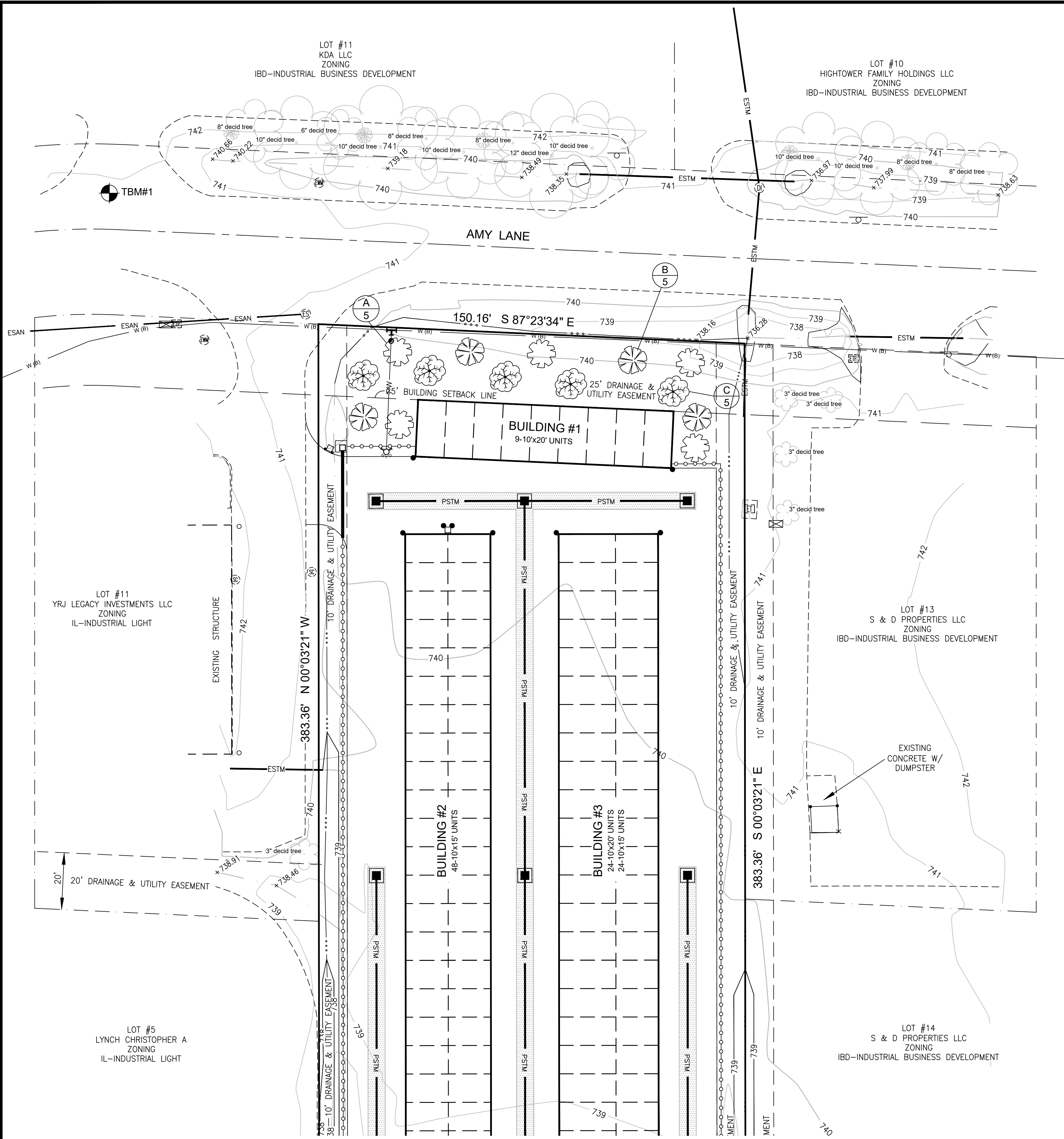
INTERIOR TRAFFIC CONTROL PLAN

DATE

01.12.2023

NPES Job # 22-0069

Sheet C-4.2



LANDSCAPE NOTES

ALL PLANTS, INCLUDING TREES, SHRUBS AND GROUND COVER SHALL BE NATIVE SPECIES.

VEGETATIVE GROUND COVER OR LOW SHRUBS SHALL BE PLANTED IN ALL LANDSCAPED CURB ISLANDS AREAS AS SHOWN ON PLAN.

GRAVEL AND BARK MULCH MAY NOT BE USED AND/OR SUBSTITUTED FOR GROUND COVER OF LOW SHRUBS.

ALL LANDSCAPING DONE SHALL CONFORM TO THE CITY OF FRANKLIN ORDINANCE.

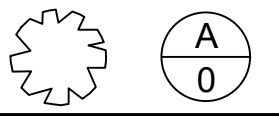
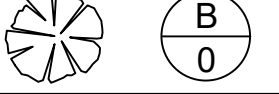

GROUND COVER: LOW-GROWING HERBACEOUS PLANTS LESS THAN EIGHTEEN (18) INCHES IN HEIGHT WITH A SPREADING GROWTH HABIT, USED TO PROVIDE PROTECTION FROM EROSION AND DROUGHT, AND TYPICALLY TO IMPROVE AESTHETIC APPEARANCE, SUCH AS GRASSES, VINES, FLOWERS. THIS DEFINITION DOES NOT INCLUDE NOXIOUS WEEDS AS DEFINED BY IC 15-16-7-2.

INTERIOR LANDSCAPING REQUIRED
1 BROAD LEAF / DECIDUOUS TREE FOR EVERY 5,000 SQUARE FEET OF YARD AREA
4 REQUIRED | 4 PROVIDED

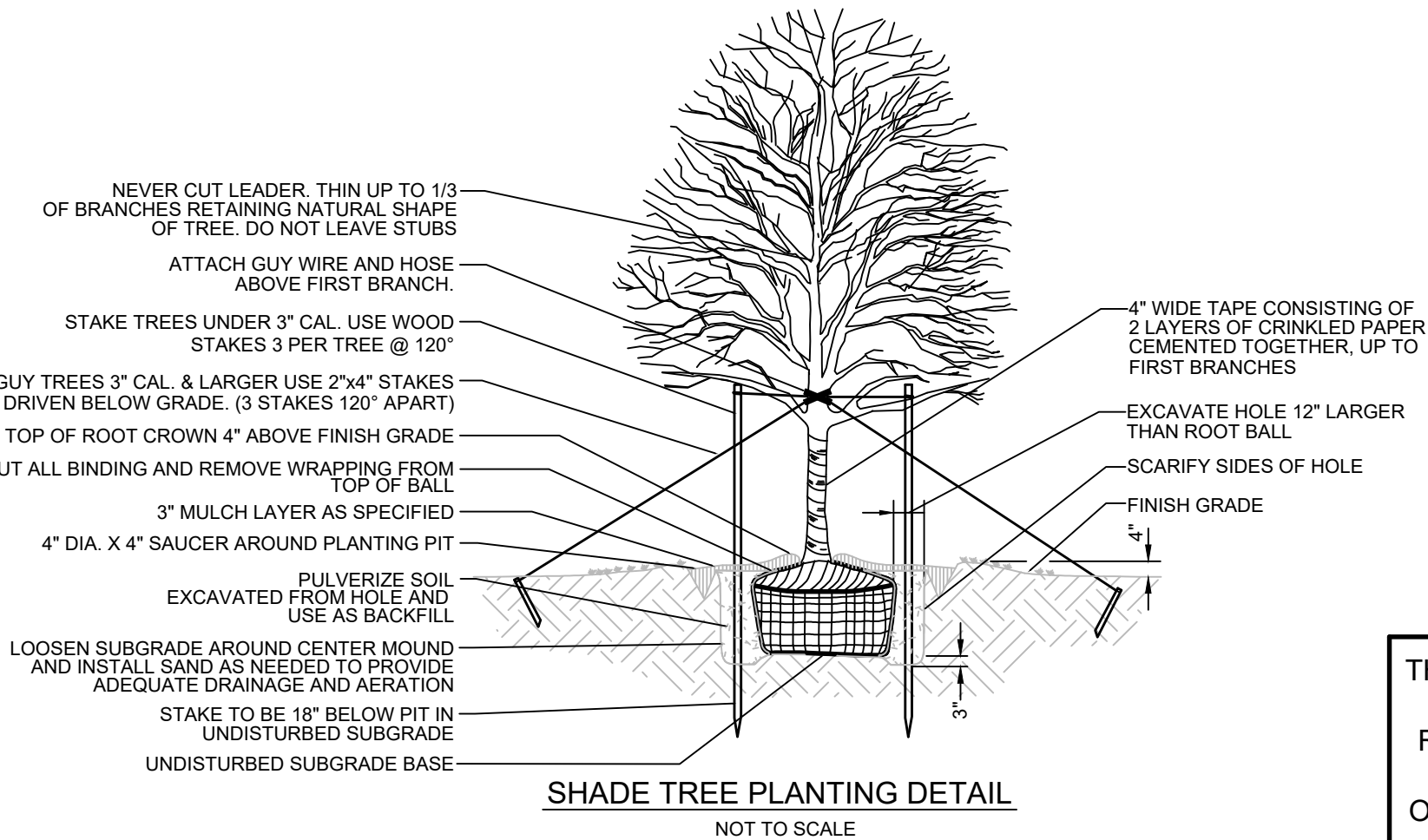
STREET TREES
1 SHADE TREE REQUIRED PER 35 LF OF ROAD FRONTAGE
5 SHADE TREES REQUIRED | 5 PROVIDED

PAVED SURFACE
LANDSCAPE ISLANDS EQUAL TO 5% OF THE PAVED SURFACE REQUIRED | 22,287 SF PAVED SURFACE - 1,115 SF OF ISLANDS REQUIRED (MIN. 300 SF IN AREA WITH 1 TREE PER 300 SF)
1,115 / 300 = 4 ISLANDS AND 4 TREES REQUIRED | 6 TREES PROVIDED, 0 ISLANDS PROPOSED

TREES SHALL BE A MINIMUM 2.5" CALIPER

COMMON NAME	SCIENTIFIC NAME	SYMBOL	QUANTITY
MAJESTIC HONEYLOCUST	GLEDITZIA TRIACANTHOS INERMIS		5
STRIPED MAPLE	ACER PENSYLVANICUM		5
BASSWOOD	TILIA AMERICANA		5

REVISIONS	
DATE	DESCRIPTION
02.02.23	REVISED LANDSCAPE TABLE
	ADDED NOTE
	ADDED INTERIOR ISLAND INFORMATION



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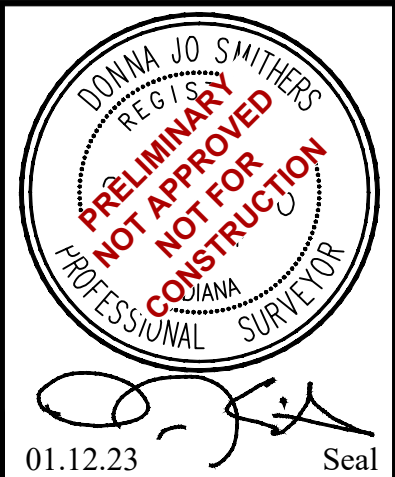
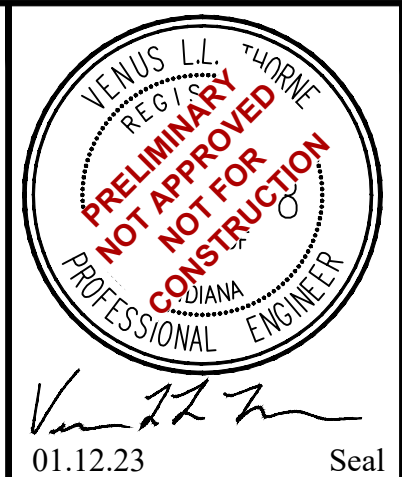
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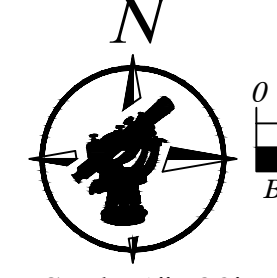
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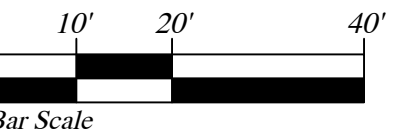
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Scale: 1"=20'



Bar Scale

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Sheet C-7.0