

Existing Conditions TOPO Survey
for the Proposed Scooter's
1730 North Morton St.Franklin Indiana

Owner: Northwood Plaza Company, ILPTRN,
PO Box 57, Oolitic, IN 47451
Client: Milano & Grunloh Engineers, LLC
Phone: (217) 347-7262 , 14 W. Washington Ave., Effingham, IL 62401
Site Address: 1730 North Morton St.Franklin Indiana

Description of the Leased Area (0.356 Acres) as provided by the client being the previous Long John Silver's site.

A part of the east half of the Southeast quarter of Section 10, Township 12 North, Range 4 East of the Second Principal Meridian, in Johnson County, Indiana, described as follows:

Beginning at the Southeast corner of said half quarter section; thence running West upon and along the South line of said half quarter section a distance of 17.91 feet to a point; thence deflecting 80 degrees 04 minutes right and running North 11 degrees 57 minutes West upon and along the Westerly right-of-way line of US Rd No. 31 a distance of 275.92 feet to a point; thence continuing North 13 degrees 44 minutes West upon and along said right-of-way line a distance of 100.60 feet to a point; thence continuing North 14 degrees 51 minutes West upon and along said right-of-way line a distance of 195.20 feet to a point; thence continuing North 16 degrees 37 minutes West upon and along said right-of-way line a distance of 178.29 feet to a point; thence South 73 degrees 39 minutes West 30.00 feet to the place of beginning of the described tract; thence North 16 degrees 37 minutes West 20.76 feet; Thence North 23 degrees 36 minutes West 100.00 feet; thence North 17 degrees 13 minutes West 5.04 feet; thence South 73 degrees 39 minutes West 116.66 feet; thence South 16 degrees 6 minutes East 125.00 feet; thence North 73 degrees 39 minutes East 130.00 feet to the place of beginning, containing 0.356 acres more or less, subject to all legal right of ways and easements.

Description of the overall Shopping Center as described in Instrument 98-019824.

Part of the East Half of the Southeast Quarter of Section 10, Township 12 North, Range 4 East of the Second Principal Meridian, Johnson County, Indiana, more particularly described as follows:

Commencing at the Southeast corner of said Half Quarter Section, running thence West upon and along the South line of said Half Quarter Section 17.91 feet to a point; thence deflecting 80 degrees 04 minutes to the right and running North 11 degrees 57 minutes West upon and along the Westerly right-of-way line of U.S. Road No.31 a distance of 275.92 feet to a point; thence continuing North 13 degrees 44 minutes West upon and along the right-of-way line 100.60 feet to a point; thence continuing North 14 degrees 51 minutes West upon and along said right-of-way line 195.2 feet to a point; thence continuing North 16 degrees 37 minutes West upon and along said right-of-way line 178.29 feet to an iron pin found, said point being the place of beginning of this described tract; thence South 73 degrees 39 minutes West 150.00 feet to a cut V set; thence South 16 degrees 37 minutes East 150.00 feet to a cut L set on the North right-of-way line of a 1.00 acre tract (Williams and R&S Development Company to Johnson County, Indiana-recorded in Book 200, page 324); thence South 73 degrees 39 minutes West on and along the North line of said tract 427.48 feet to a capped rebar set and being the most Easterly corner of a 0.049 acre tract (Northwood Plaza Associates to City of Franklin recorded in Book 239, page 887); thence South 76 degrees 51 minutes 59 seconds West on and along the North line of last said tract 258.50 feet to a capped rebar set; thence Southwesterly on an arc of a curve to the left, which has a radius of 1102.00 feet, a distance of 17.51 feet to a capped rebar set, said curve being subtended by a chord having a bearing of South 71 degrees 28 minutes 28 seconds West and a chord distance of 17.51 feet; (the following ten (10) courses and distances in the original descriptions were described as being in Canary Ditch, the creek channel has had minor relocations and some or tile corners at this time, may only be near the center of the ditch); (1) thence North 09 degrees 29 minutes 45 seconds West 207.76 feet to a capped rebar set; (2) thence North 25 degrees 20 minutes 30 seconds West 144.62 feet to a point in said ditch (3)thence North 10 degrees 28 minutes 30 seconds West 186.06 feet to a capped rebar set; (4) thence North 36 degrees 40 minutes 45 seconds West 58.33 feet to a point ill said ditch; (5) thence North 06 degrees 58 minutes 15 seconds East 79.44 feet to a point in said ditch; (6) thence North 43 degrees 11 minutes 00 seconds East 54.11 feet to a capped rebar set; (7) thence North 28 degrees 22 minutes 15 seconds East 142.58 feet to a capped rebar set; (8) thence North 29 degrees 11 minutes 00 seconds East 380.37 feet to a capped rebar set; (9) thence North 16 degrees 22 minutes 45 seconds East 321.49 feet to a point ill said ditch; (10) thence North 31 degrees 42 minutes 30 seconds East 155.70 feet to a capped rebar set on the Westerly right-of-way line of said U.S. Road No.31; thence South 22 degrees 18 minutes East on and along said right-of-way line 372.90 feet to a capped rebar set; thence South 23 degrees 33 minutes East on and along said right-of-way line 106.90 feet to a capped rebar set; thence South 21 degrees 23 minutes East on and along said right-of-way line 500.00 feet to an iron pin found; thence South 17 degrees 13 minutes East on and along said right-of-way line 200.00 feet to a P-K nail found; thence South 23 degrees 26 minutes East on and along said right-of-way line 100.00 feet to an iron pill found; thence South 16 degrees 37 minutes East on and along said right-or-way line 21.21 feet to the place of beginning.

Survey Notes:

-The boundary lines of the leased area and the overall Shopping Center shown per this survey were based on limited information and found monuments and this survey does not represent the true boundaries.

- The under-utilities were located per the found markings per a utility locate ticket #2210172845 and per observed evidence.

-There were no storm sewer structures found on or near the site. It appears that the surface water flows from the East to the West to apparent inlets in the parking lot to the West.

-The entire site is paved with the exception of the stone area where the previous building was removed.

-A part of the proposed site is located in a special flood hazard ZONE "AE"& ZONE "X", per the FEMA Flood Insurance rate map number 18018C0227E and is shown per the Johnson County GIS & the INFIP Report, the accuracy of this flood hazard statement is subject to map scale uncertainty in location or elevation on the referenced flood insurance rate map. The 100 year BFE is 747.5' per the INFIP Report.

- The Horizontal & Vertical control are based on a OUPS solution (point 1-OUPS) using SPC83-Indiana East NAD83_NO_TRANS, Geoid Model g2018u7, scaled to Ground at point 0.0, using a scale factor of 0.99995077.

-Site TBM: Is a Cut box on top of concrete retaining wall, being -51' East of the West end of the wall. Elevation-749.12'

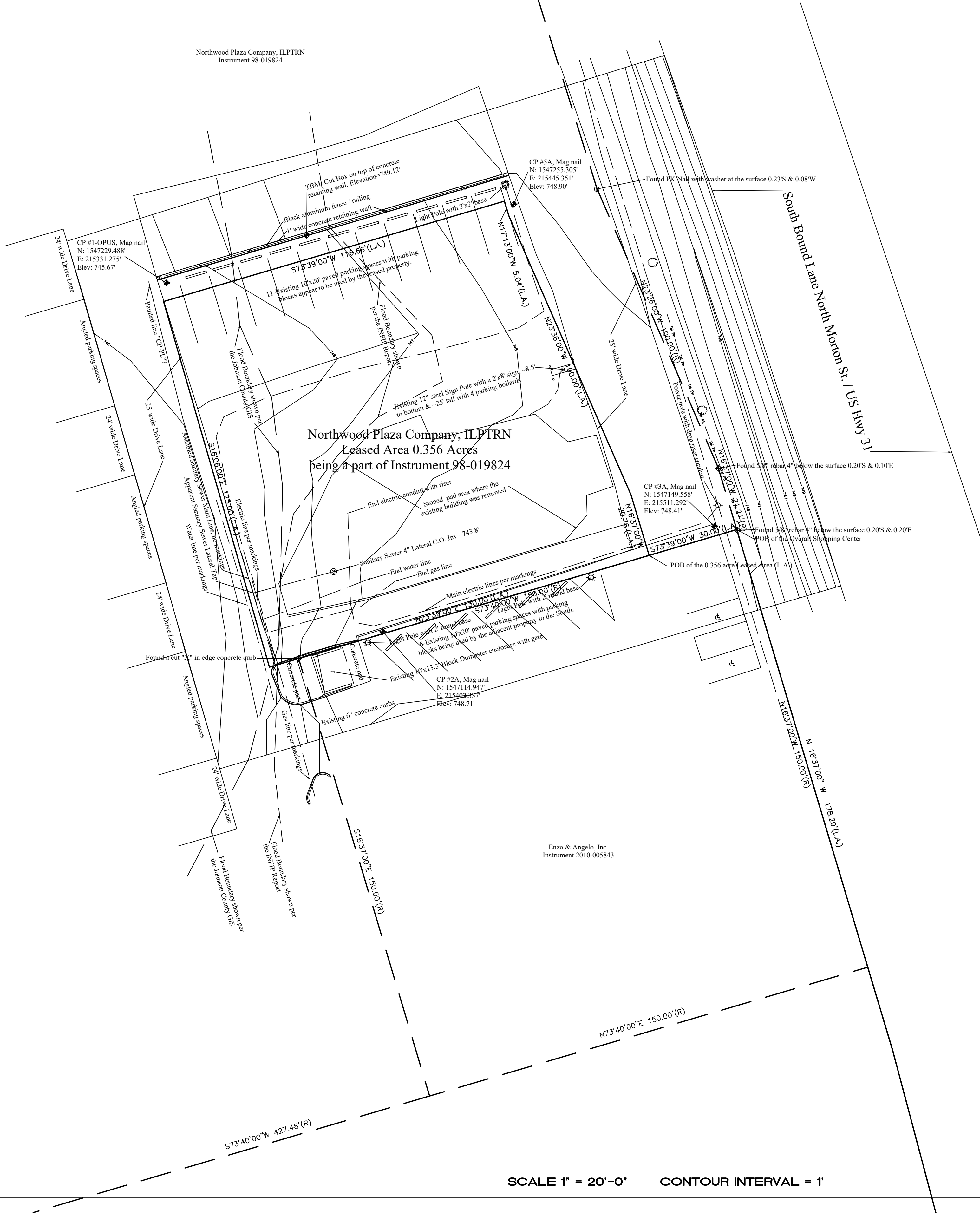
I, Jeffery P. Powell a Registered Land Surveyor in the State of Indiana, hereby certifies that the following is a Topographical Survey of the Proposed Scooter's project, located at 1730 North Morton St.Franklin Indiana, performed by me (Powell Land Surveying LLC) and the field work was preformed on October 25, 2022. The Horizontal & Vertical control are based on a OUPS solution (point 1-OUPS) using SPC83-Indiana East NAD83_NO_TRANS, Geoid Model g2018u7, scaled to Ground at point 0.0, using a scale factor of 0.99995077. The field topo data was collected using robotics.

Jeffery P. Powell, LS
LS # 29800024
Powell Land Surveying LLC
4634 N, 575 E, Shelbyville, Indiana, 46176
Phone# 317-694-6073
Dated, October 30, 2022

Powell Land Surveying LLC
Jeffery P. Powell, PLS
4634 North, 575 East, Shelbyville, IN 46176
Office 765-763-6147, Fax 765-763-0122, Cell 317-694-6073
Email: powellandsurveying@msn.com

SHEET:

C1



SCALE 1" = 20'-0" CONTOUR INTERVAL = 1'

DEMOLITION PLAN

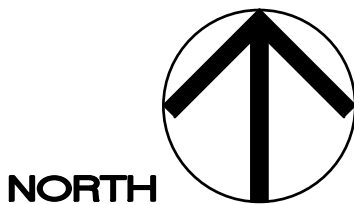
SCALE 1" = 20'-0"



- LEGEND**
- IRON PIN FOUND
 - PK
 - X PK NAIL FOUND
 - ⊠ "X" FOUND IN CONCRETE
 - ⊠ R.O.W. MARKER FOUND
 - ⊠ TREE (DECIDUOUS)
 - ⊠ TREE (CONIFER)
 - FIRE HYDRANT (EXISTING)
 - ⊠ VALVE (GAS OR WATER)
 - W — WATERMAIN (EXISTING)
 - w — WATER SERVICE LINE (EXISTING)
 - ⊠ T — TELEPHONE PEDESTAL (EXISTING)
 - T — UNDERGROUND TELEPHONE (EXISTING)
 - F — FIBER OPTIC CABLE (EXISTING)
 - G — GAS MAIN (EXISTING)
 - g — GAS SERVICE LINE (EXISTING)
 - ⊠ P — POWER POLE w/LIGHT (EXISTING)
 - E — UNDERGROUND ELECTRIC (EXISTING)
 - ⊠ L — LIGHT POLE (EXISTING)
 - ⊠ S — SANITARY SEWER MANHOLE (EXISTING)
 - ⊠ S — SANITARY SEWER (EXISTING)
 - ⊠ S — STORM SEWER MANHOLE (EXISTING)
 - ⊠ S — STORM SEWER INLET (EXISTING)
 - ⊠ S — STORM SEWER (EXISTING)
 - ⊠ S — SIGN (EXISTING)
 - ⊠ S — STREET SIGN (EXISTING)



Dated November 3, 2022
Sheets C2 - C6 were completed by
Milano and Grunloh Engineers, LLC
114 W. Washington Ave
Effingham, IL 62401

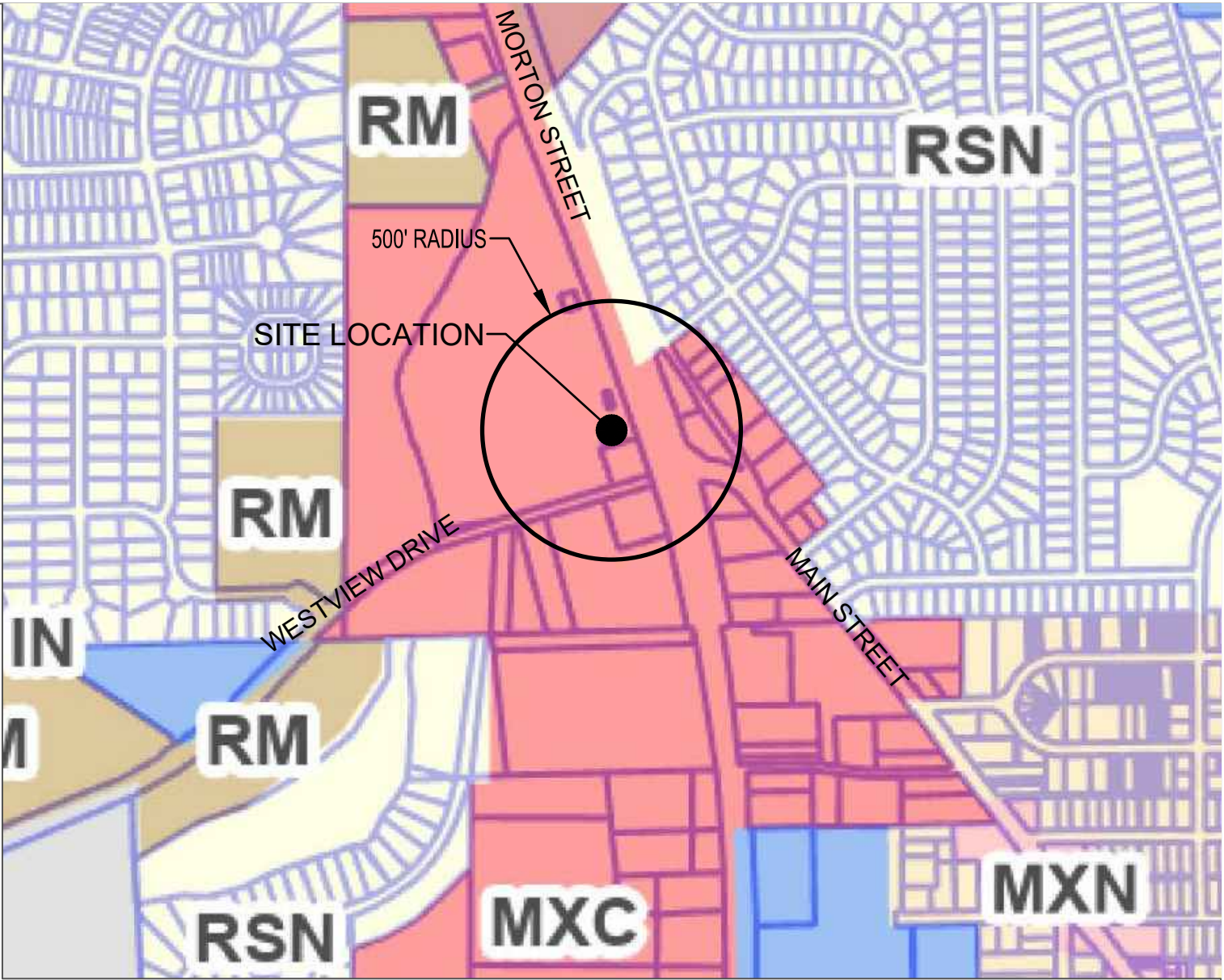


BM #1
CUT BOX ON TOP OF CONCRETE
RETAINING WALL. ELEV.=749.12

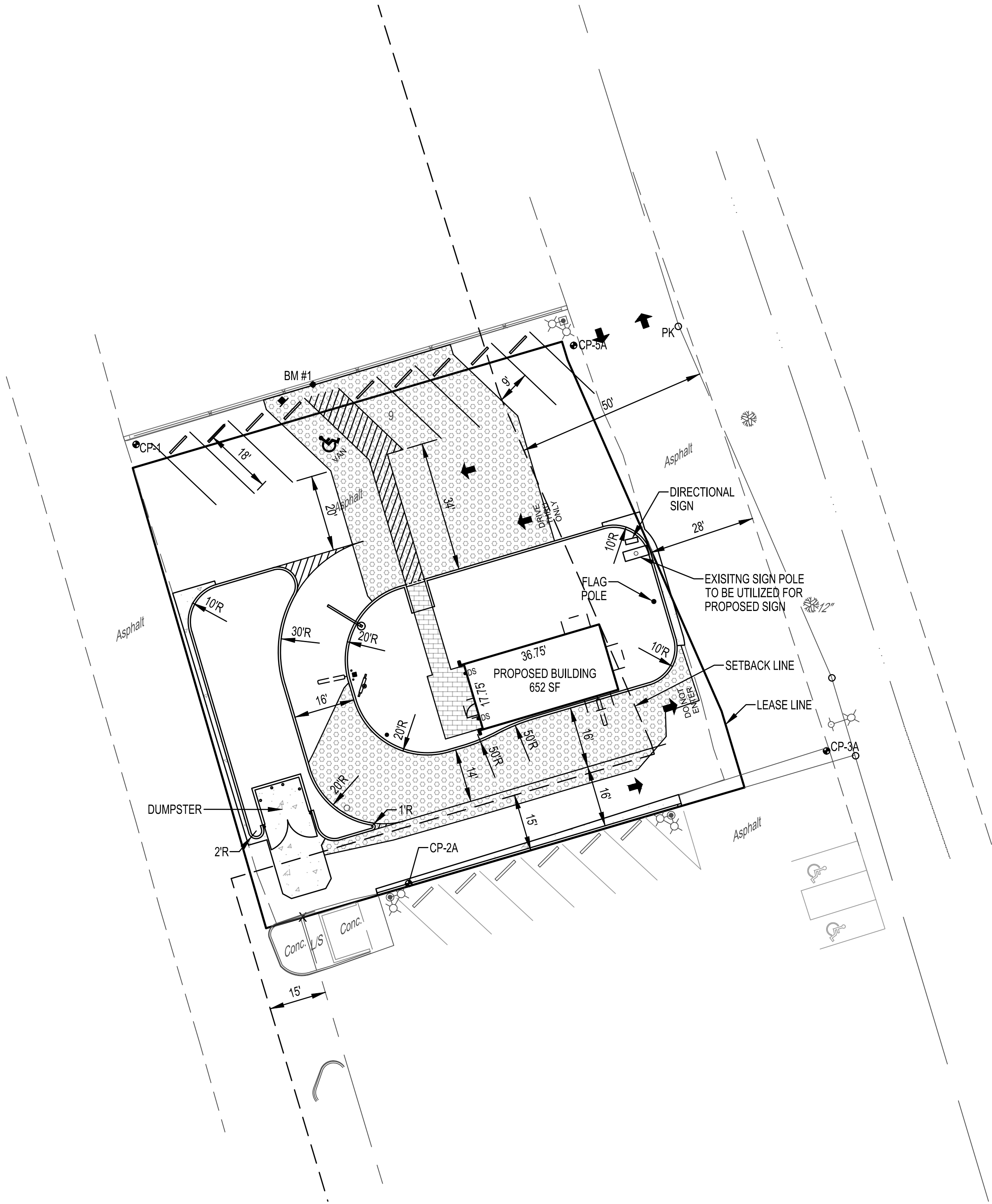
SCOOTER'S COFFEE
1730 NORTH MORTON STREET
FRANKLIN, INDIANA

DEMOLITION PLAN

C2



VICINITY MAP



- LEGEND**
- IRON PIN FOUND
 - PK NAIL FOUND
 - "X" FOUND IN CONCRETE
 - R.O.W. MARKER FOUND
 - TREE (DECIDUOUS)
 - TREE (CONIFER)
 - FIRE HYDRANT (EXISTING)
 - VALVE (GAS OR WATER)
 - TELEPHONE PEDESTAL (EXISTING)
 - POWER POLE w/LIGHT (EXISTING)
 - LIGHT POLE (EXISTING)
 - SANITARY SEWER MANHOLE (EXISTING)
 - STORM SEWER MANHOLE (EXISTING)
 - STORM SEWER INLET (EXISTING)
 - SIGN (EXISTING)
 - STREET SIGN (EXISTING)
 - 5" PCC CONCRETE PAVEMENT (81 SY) & 4" AGGREGATE BASE COURSE, TYPE A (19 TON)
 - 3" HOT-MIX ASPHALT PAVEMENT (99 TON) & 8" AGGREGATE BASE COURSE, TYPE A (253 TON)
 - PCC SIDEWALK, 4" (290 SF)

NOTES:
1. All radii to be 5' to face of curb unless noted otherwise.

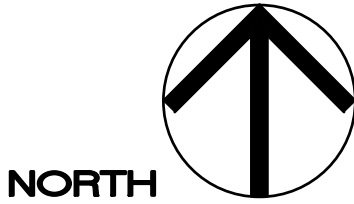
SET BACKS
Required for MXC Mixed-use, Community Center
Front Yard = 50'
Side Yard = 15'
Rear yard = 20'

SITE DATA
ZONING = MXC (MIXED-USE COMMUNITY CENTER)
SITE AREA = 0.356 AC.±
USE: DRIVE-THRU BEVERAGE
NUMBER OF EMPLOYEES PER SHIFT = 4 PLUS 2 SHIFT CHANGE
GREEN AREA = 24%
BUILDING AREA = 652 SF
TOTAL BUILDING AREA = 652 SF

SPACES REQUIRED = 1 SPACE PER EMPLOYEE WORKING ON THE LARGEST SHIFT PLUS SHIFT CHANGE
VEHICULAR PARKING SPACES PROVIDED = 8 (9'x18')
ACCESSIBLE PARKING SPACES PROVIDED = 1 (17'x18')
TOTAL PARKING SPACES PROVIDED = 9

STORM WATER DISCHARGE ANALYSIS
AREA = 0.356 Acres

SEE DETENTION CALCULATIONS:
DATED: November 3, 2022



BM #1
CUT BOX ON TOP OF CONCRETE RETAINING WALL. ELEV.=749.12

SITE PLAN SCALE 1" = 20'-0"

GRUNLOH BUILDING, INC.
S/202112/26/8616/DWG/SITE.DWG
11/3/2022 10:06
F.B. 818

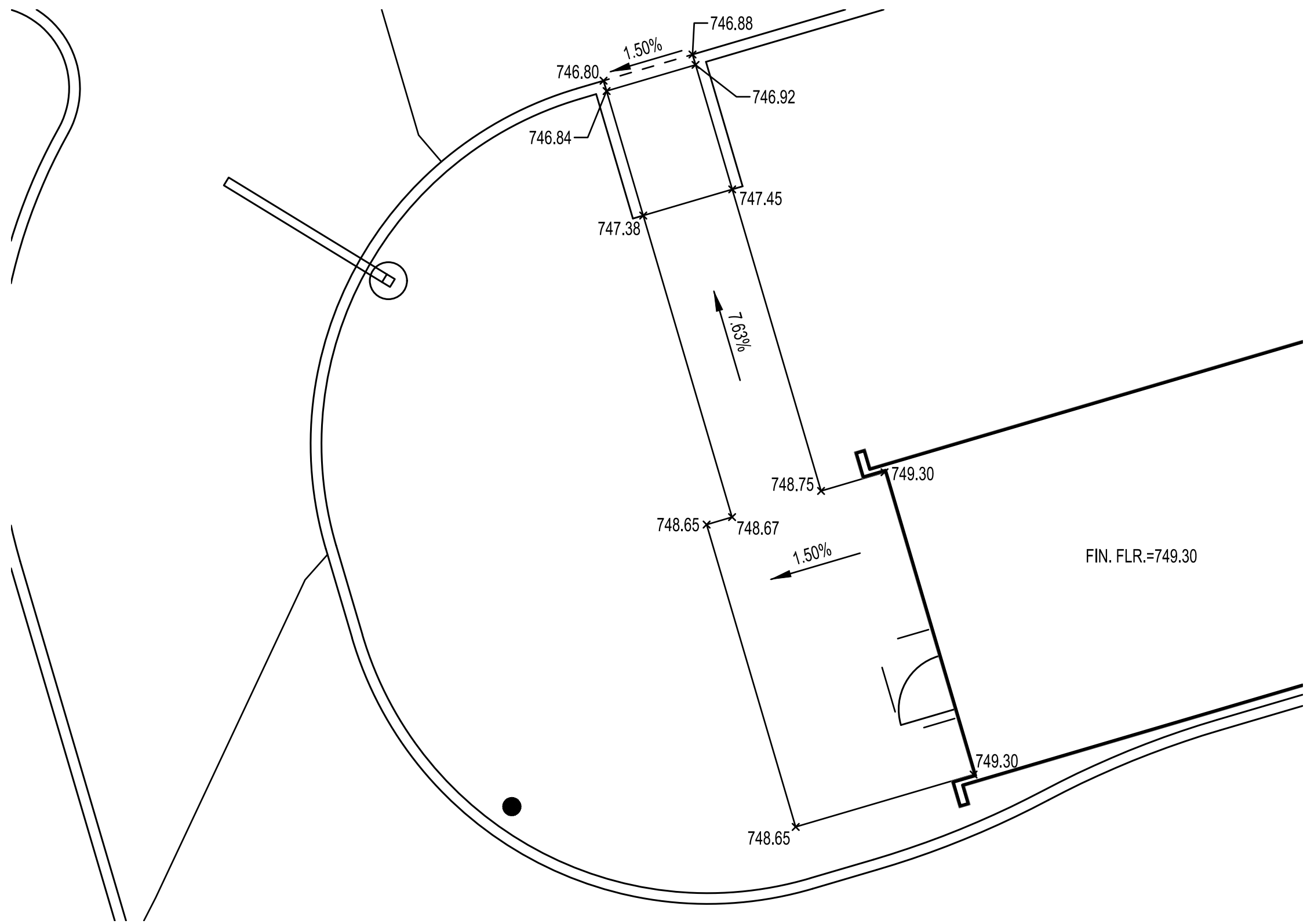
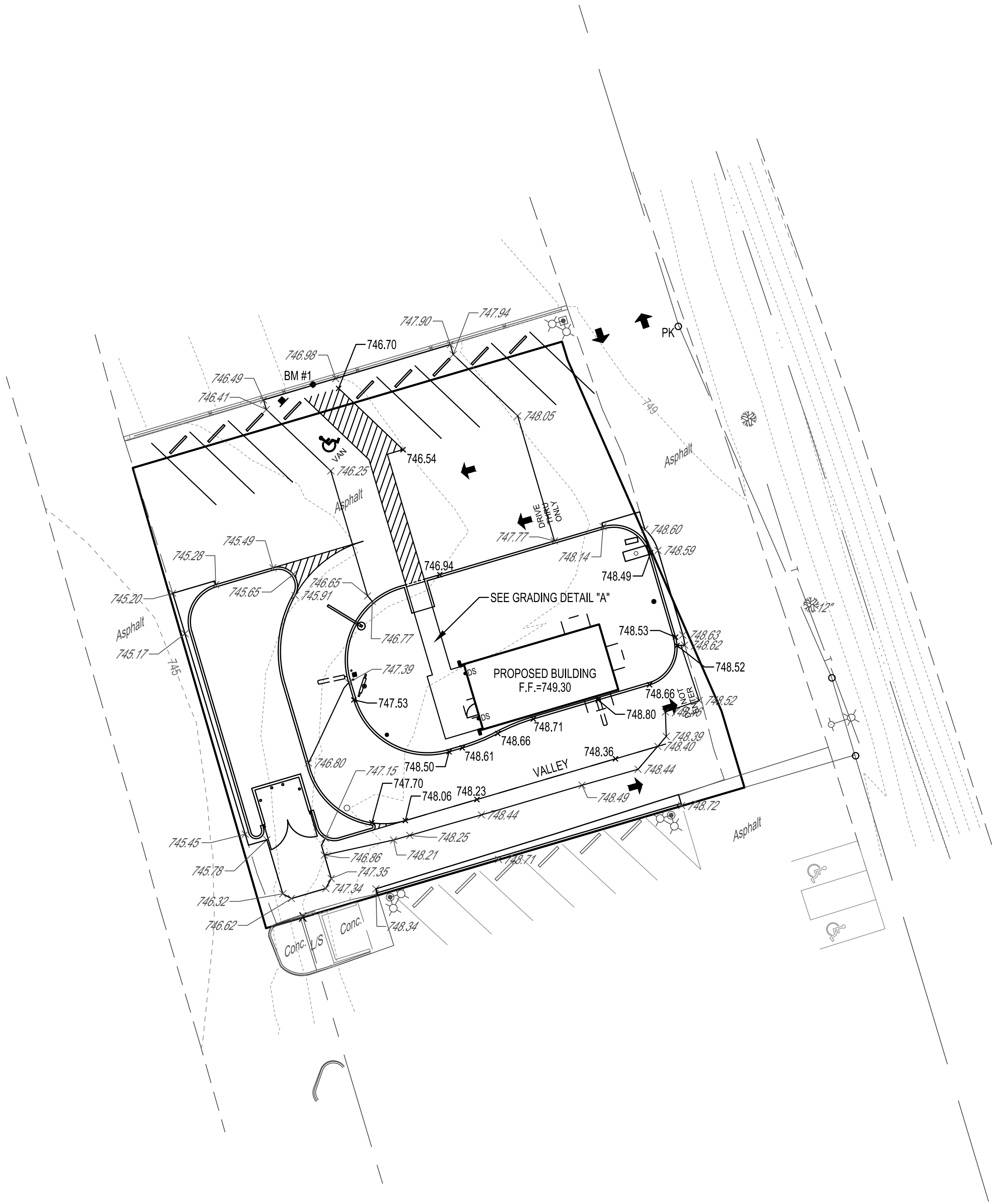
MILANO & GRUNLOH ENGINEERS, LLC
1000 N. LAKE STREET, SUITE 100
EFFECTINGHAM, IL 62401
Phone: (217) 347-7282 | (800) 677-2714
Email: mge@milanoengineers.com
Web: www.milanoengineers.com
Design Firm #164-003163

SCOOTER'S COFFEE
1730 NORTH MORTON STREET
FRANKLIN, INDIANA

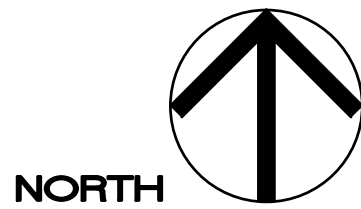
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11/03/22	CRG	LRB	212670616	
SITE PLAN				
SHEET: C3				

GRADING PLAN

SCALE 1" = 20'-0" CONTOUR INTERVAL = 1'



- LEGEND**
- IRON PIN FOUND
 - PK PK NAIL FOUND
 - ✕ "X" FOUND IN CONCRETE
 - ⊠ R.O.W. MARKER FOUND
 - ☼ TREE (DECIDUOUS)
 - ☼ TREE (CONIFER)
 - ⊕ FIRE HYDRANT (EXISTING)
 - ⊕ VALVE (GAS OR WATER)
 - ⊕ TELEPHONE PEDESTAL (EXISTING)
 - ⊕ POWER POLE W/LIGHT (EXISTING)
 - ⊕ LIGHT POLE (EXISTING)
 - ⊕ SANITARY SEWER MANHOLE (EXISTING)
 - ⊕ STORM SEWER MANHOLE (EXISTING)
 - ⊕ STORM SEWER INLET (EXISTING)
 - ⊕ SIGN (EXISTING)
 - ⊕ STREET SIGN (EXISTING)
 - ✕ 100.00 ELEVATION (EXISTING)
 - ✕ 100.00 ELEVATION (PROPOSED)
 - ✕ 100.00(SW) ELEVATION (PROPOSED SIDEWALK)
 - 100.00 MAJOR CONTOUR (EXISTING)
 - 100.00 MINOR CONTOUR (EXISTING)
 - 100.00 MAJOR CONTOUR (PROPOSED)
 - 100.00 MINOR CONTOUR (PROPOSED)



BM #1
CUT BOX ON TOP OF CONCRETE
RETAINING WALL. ELEV.=749.12

SCOOTER'S COFFEE
1730 NORTH MORTON STREET
FRANKLIN, INDIANA

GRADING PLAN

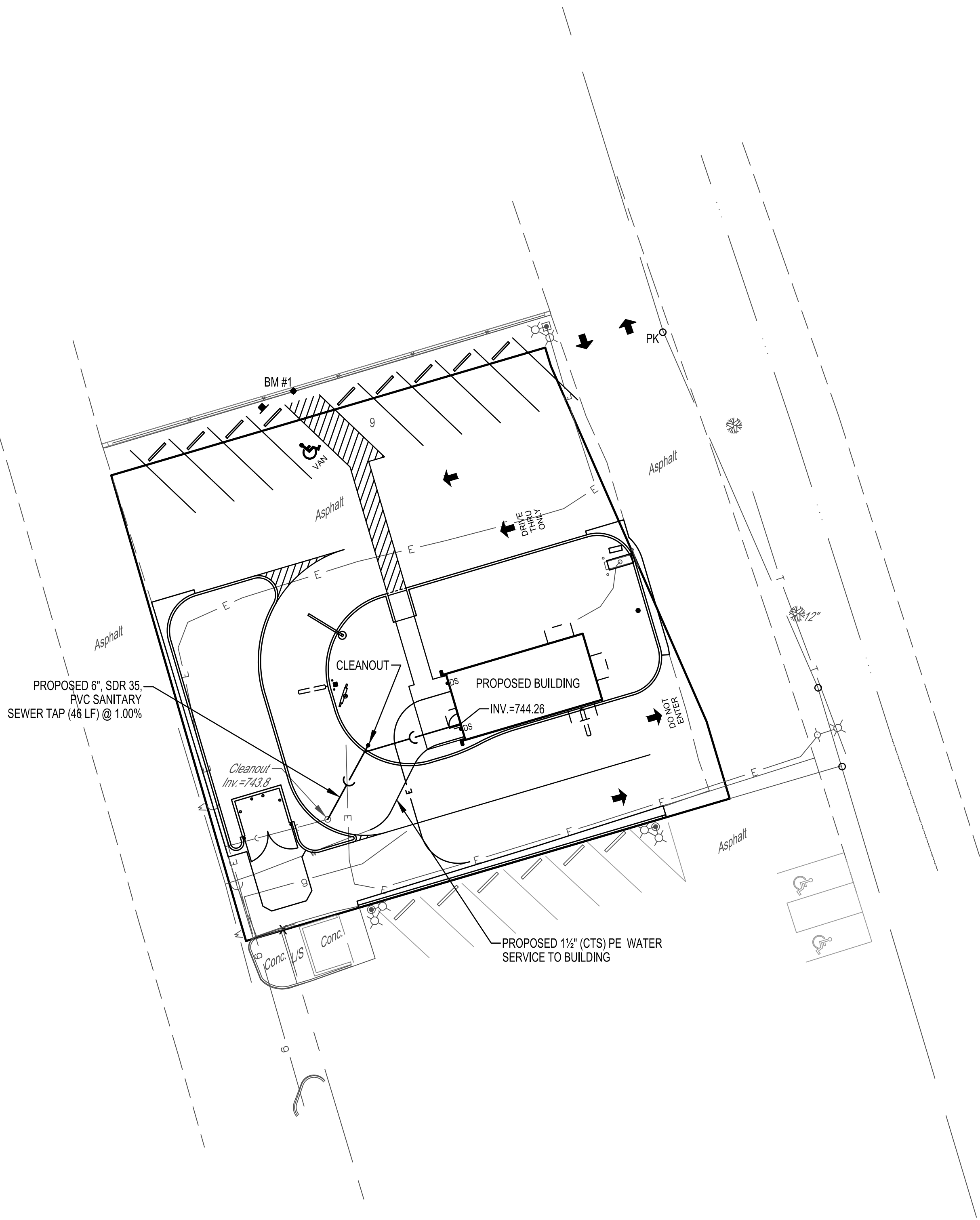
C4

DATE:	DRAWN:	CHECKED:	JOB NO.	REVISION
11/03/22	CRG	LRB	212670g16	
SHEET:				



MILANO & GRUNLOH ENGINEERS, LLC
1730 NORTH MORTON STREET, SUITE 100
EFFINGHAM, IL 62401
Phone: (217) 347-7282 | (800) 677-2714
Email: mge@grunloh.com
Web: www.grunloh.com
Design Firm #164553163

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F.B. 818



- LEGEND**
- IRON PIN FOUND
 - PK PK NAIL FOUND
 - ✕ "X" FOUND IN CONCRETE
 - ⊠ R.O.W. MARKER FOUND
 - ☼ TREE (DECIDUOUS)
 - ☼ TREE (CONIFER)
 - ⊙ FIRE HYDRANT (EXISTING)
 - ⊙ VALVE (GAS OR WATER)
 - W WATERMAIN (EXISTING)
 - w WATER SERVICE LINE (EXISTING)
 - W WATER SERVICE LINE (PROPOSED)
 - ⊠ T TELEPHONE PEDESTAL (EXISTING)
 - T UNDERGROUND TELEPHONE (EXISTING)
 - F FIBER OPTIC CABLE (EXISTING)
 - G GAS MAIN (EXISTING)
 - g GAS SERVICE LINE (EXISTING)
 - ⊙ P POWER POLE w/LIGHT (EXISTING)
 - E UNDERGROUND ELECTRIC (EXISTING)
 - E UNDERGROUND ELECTRIC (PROPOSED)
 - ⊙ L LIGHT POLE (EXISTING)
 - ⊙ S SANITARY SEWER MANHOLE (EXISTING)
 - S SANITARY SEWER (EXISTING)
 - S SANITARY SEWER TAP (PROPOSED)
 - ⊙ M STORM SEWER MANHOLE (EXISTING)
 - M STORM SEWER INLET (EXISTING)
 - M STORM SEWER (EXISTING)
 - ⊙ SIGN (EXISTING)
 - ⊙ STREET SIGN (EXISTING)

NOTES:
1. Roof downspouts to sheet drain across site.

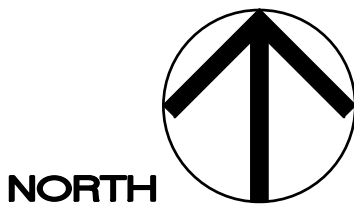


UTILITY NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND, THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT. CONTRACTOR MUST CONTACT INDIANA 811 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.

CONTRACTOR SHALL REPAIR ANY DAMAGED UTILITY LINES CAUSED BY HIS/HER ACTIVITIES. ALL WORK REQUIRED TO PERMANENTLY REPAIR THE UTILITY TO THE ENGINEER'S SATISFACTION SHALL BE AT THE CONTRACTORS EXPENSE.

CONTRACTOR SHALL POTHOLE ALL LOCATIONS WHERE PROPOSED UTILITIES, OR DRAINAGE IMPROVEMENTS (DITCHES, SWALES, OUTFLOW STRUCTURES) THAT WILL CROSS EXISTING UTILITIES TO VERIFY THERE WILL NOT BE A CONFLICT. IF A CONFLICT IS FOUND THE CONTRACTOR SHALL CONTACT THE ENGINEER.



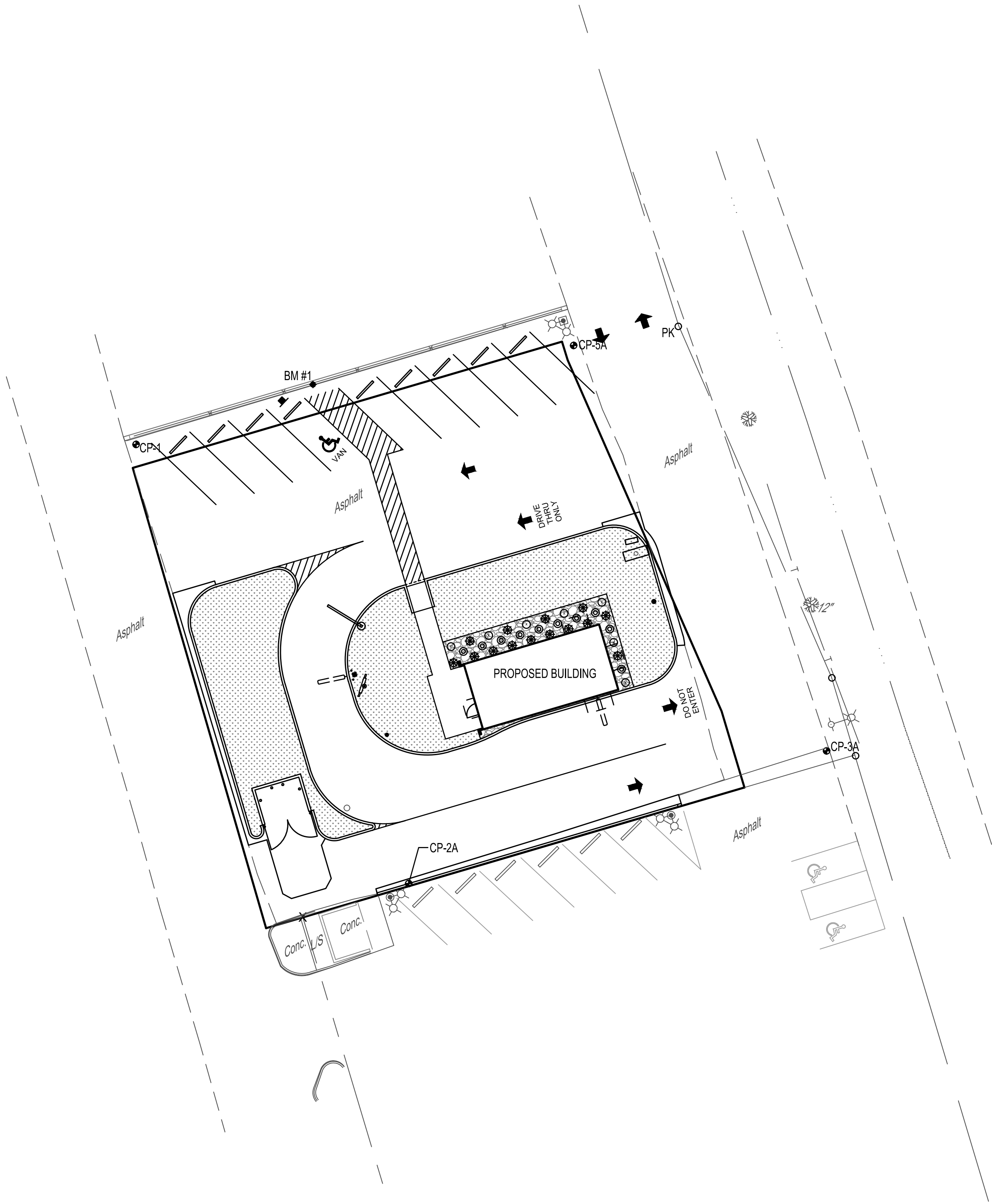
BM #1
CUT BOX ON TOP OF CONCRETE
RETAINING WALL. ELEV.=749.12

UTILITY PLAN

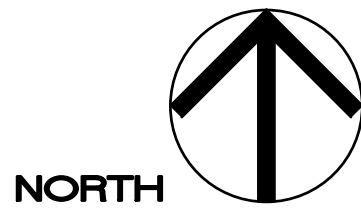
SCALE 1" = 20'-0"

LANDSCAPE PLAN

SCALE 1" = 20'-0"



- LEGEND**
- IRON PIN FOUND
 - R.O.W. MARKER FOUND
 - FIRE HYDRANT
 - WATER METER
 - VALVE (GAS OR WATER)
 - WATER VALVE MANHOLE (EXISTING)
 - TELEPHONE PEDESTAL (EXISTING)
 - POWER POLE
 - POWER POLE w/LIGHT
 - GUY ANCHOR
 - YARD LIGHT (EXISTING)
 - ELECTRIC PEDESTAL
 - SANITARY SEWER MANHOLE (EXISTING)
 - STORM SEWER MANHOLE (EXISTING)
 - STORM SEWER INLET (EXISTING)
- SHRUBS**
- CHINA GIRL HOLLY (Ilex 'Mesog' China Girl); SIZE: 5 Gal.; 24" Height; QTY. 10
 - WINTER GEM BOXWOOD (Buxus microphylla 'Winter Green'); SIZE: 5 Gal.; 18" Height; QTY. 7
- ACCENTS**
- KARL FOERSTER GRASS (Calamagrostis x acutiflora 'Karl Foerster'); SIZE: 5 Gal.; QTY. 14



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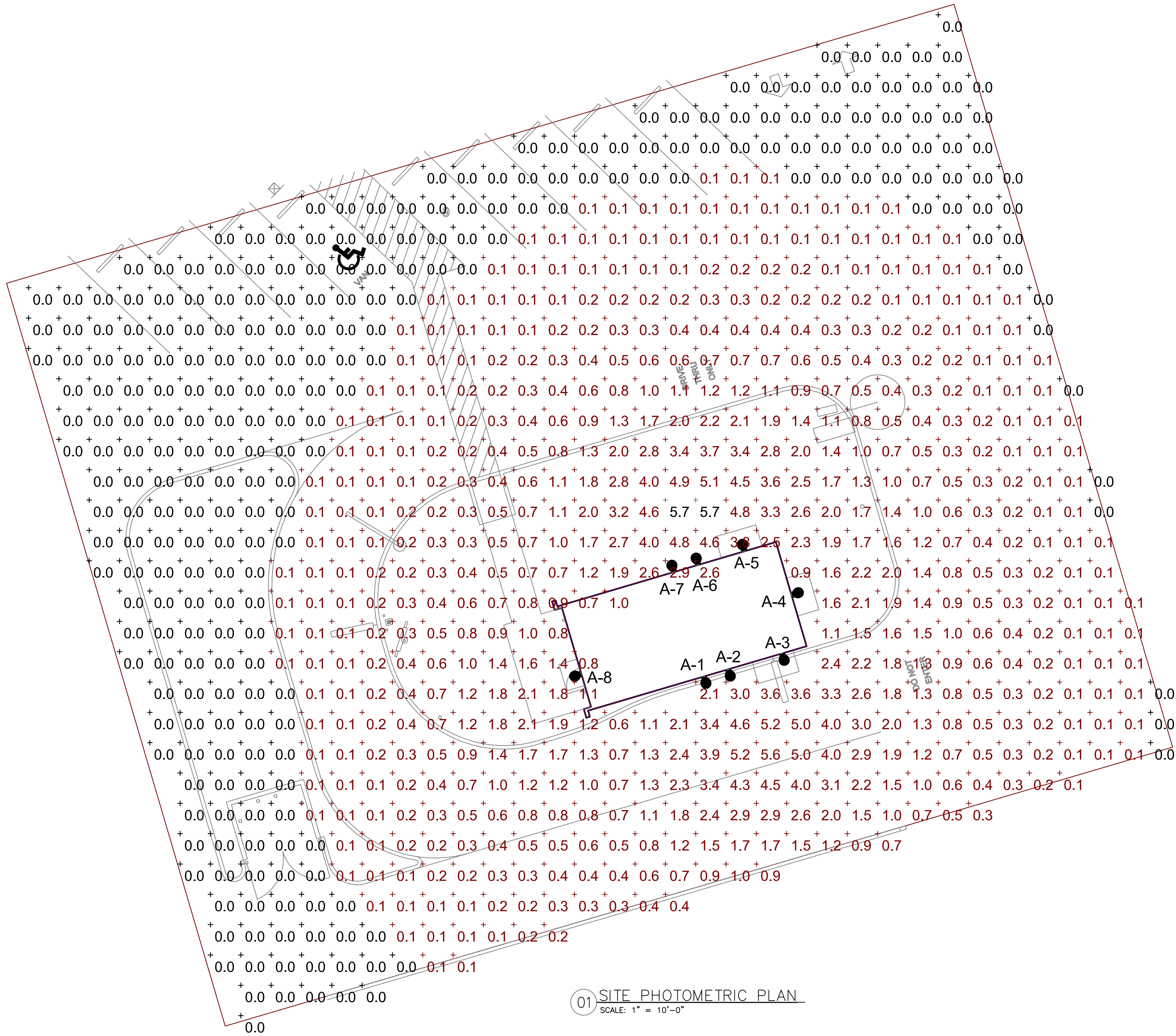
SCOOTER'S COFFEE
1730 NORTH MORTON STREET
FRANKLIN, INDIANA

LANDSCAPE PLAN

C6

DATE:	DRAWN:	CHECKED:	JOB NO.	REVISION
11/03/22	CRG	LRB	212670g16	

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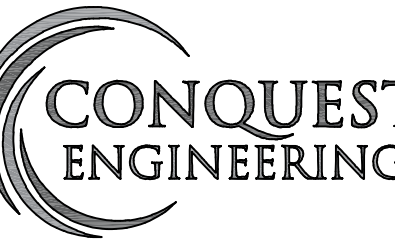
Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	8	BEST LIGHTING	BEST LIGHTING LED WPCA 12W-3K	LED WITH P2 - PERFORMANCE PACKAGE, 3000K	1	2393	0.75	12

Luminaire Locations									
		Location						Aim	
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y
1	A	18022.10	128886.50	16.00	16'	162.15	0.00	18022.10	128886.50
2	A	18026.10	128887.70	16.00	16'	161.27	0.00	18026.10	128887.70
3	A	18035.00	128890.30	16.00	16'	161.86	0.00	18035.00	128890.30
4	A	18036.73	128900.30	16.00	16'	70.26	0.00	18036.73	128900.30
5	A	18028.66	128907.60	16.00	16'	343.41	0.00	18028.66	128907.60
6	A	18021.05	128905.40	16.00	16'	343.39	0.00	18021.05	128905.40
7	A	18017.05	128904.20	16.00	16'	343.10	0.00	18017.05	128904.20
8	A	18001.63	128887.10	16.00	16'	249.75	0.00	18001.63	128887.10

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.6 fc	5.7 fc	0.0 fc	N/A	N/A



14901 QUORUM DRIVE
SUITE 300
DALLAS, TX 75254



Conquest Engineering, LLC
14901 Quorum Dr, Ste 300
Dallas, Texas 75254
gclausen@conquestddg.com



PROJECT ADDRESS:
1730 N Morton
Franklin, IN

REVISIONS:

TITLE:

EXTERIOR
PHOTOMETRIC
SITE PLAN

DATE:
11/03/2022
PROJECT NO.
221332

☒ PERMIT/BID SUBMITTAL
☐ CONSTRUCTION ISSUE

SHEET NO.

E0.02