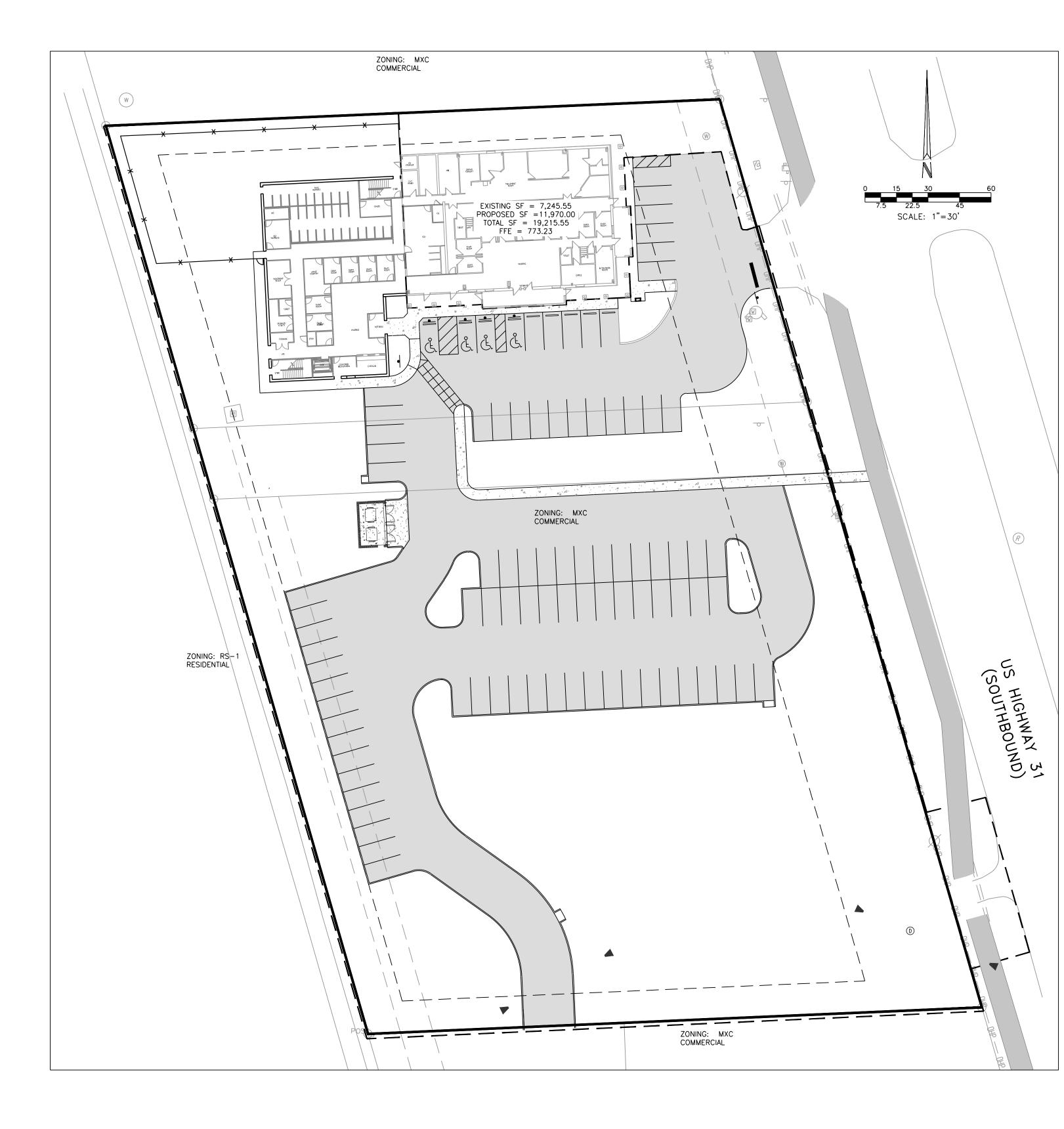




2990 NORTH MORTON STREET FRANKLIN, INDIANA

DEVELOPER:





= SITE

CONSTRUCTION PLANS FOR FRANKLIN ANIMAL CLINIC

PROJECT DATA:

PROJECT ADDRESS

PROJECT AREA BUILDING AREA

2990 N. MORTON STREET FRANKLIN, INDIANA 46131 2.96 AC 0.30± AC

SEE SITE PLAN FOR ZONING AND PARKING INFORMATION

SHEET INDEX:

SHEET	DESCRIPTION
C001	COVER SHEET
C101	EXISTING CONDITIONS AND DEMOLITION PLAN
C201	SITE PLAN
C202	SITE DETAILS
C301	GRADING PLAN
C401	STORMWATER POLLUTION PREVENTION PLAN
C402	STORMWATER POLLUTION PREVENTION DETAILS
C403	STORMWATER POLLUTION PREVENTION NOTES
C501	UTILITY PLAN
C502	UTILITY DETAILS
C701	STORM SEWER PLAN AND PROFILES
C702	STORM SEWER DETAILS
C703	STORM SEWER DETAILS
L101	PLANTING PLAN
L110	PLANTING DETAILS
1	PHOTOMETRIC
2	PHOTOMETRIC
S1	ALTA SURVEY
S2	ALTA SURVEY
S3	ALTA SURVEY

AGENCY & UTILITY INFO:

AGENCY/UTILITY

FRANKLIN DEPARTMENT OF CODE ENFORCEMENT FRANKLIN DEPARTMENT OF PUBLIC WORKS FRANKLIN FIRE DEPARTMENT FRANKLIN PLANNING AND ENGINEERING JOHNSON COUNTY SWCD DUKE ENERGY - BRIAN BANTLEY VECTREN (GAS) INDIANA AMERICAN WATER

PHONE NUMBER 317-736-3631 317-736-3640 317-327-6041 877-736-3631 317-736-9540 317-502-2102 800-227-1376 800-492-8373

CAUTION

LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CRIPE TEAM:

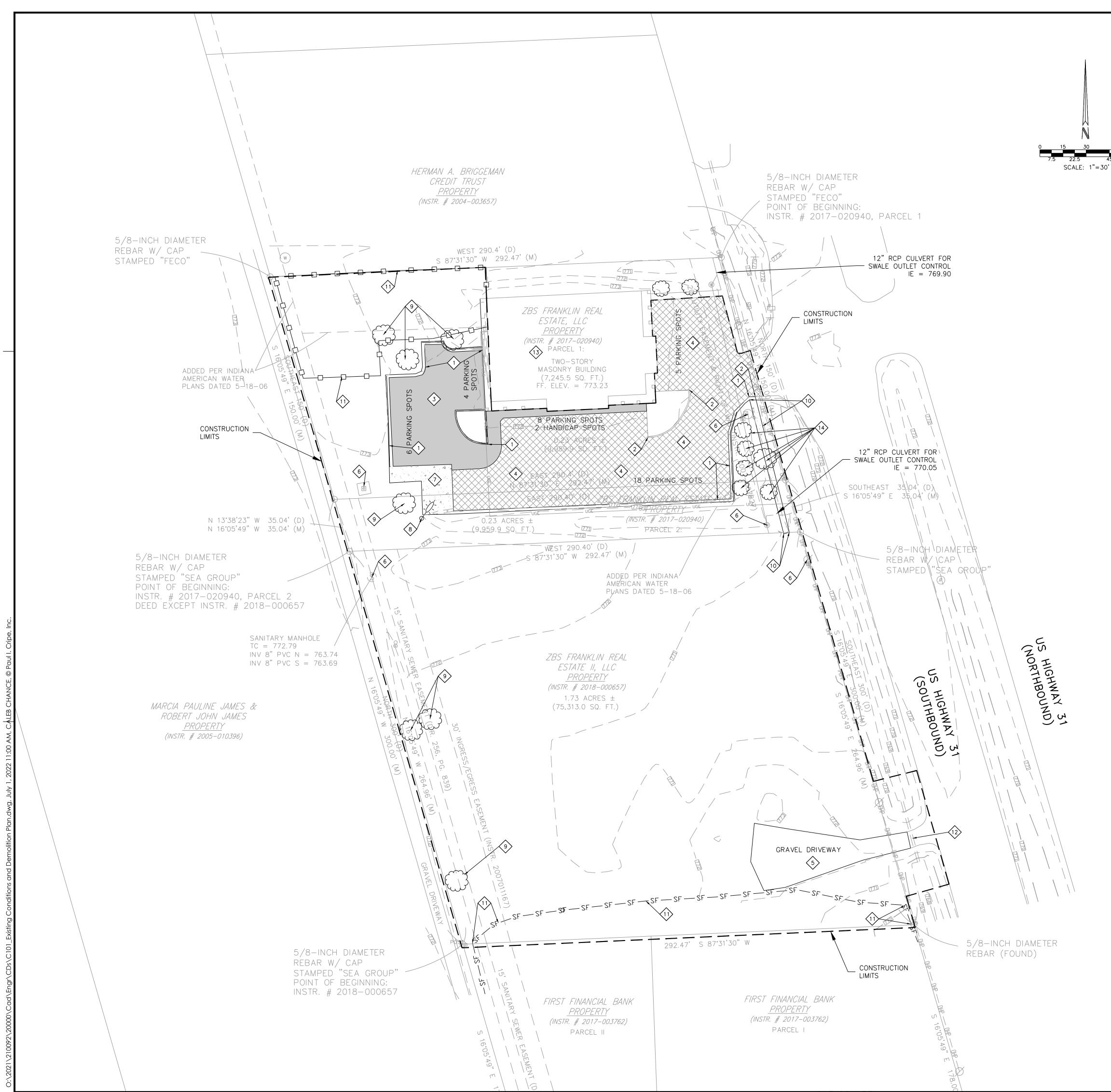
PROJECT MANAGER PROJECT ENGINEER DESIGN SPECIALIST DESIGN ASSOCIATE QUALITY ASSURANCE

STEV PIERRE, PE JOE BYRNE, PE CALEB CHANCE SHANNON SHAW GARY MURRAY, PE, LEED AP

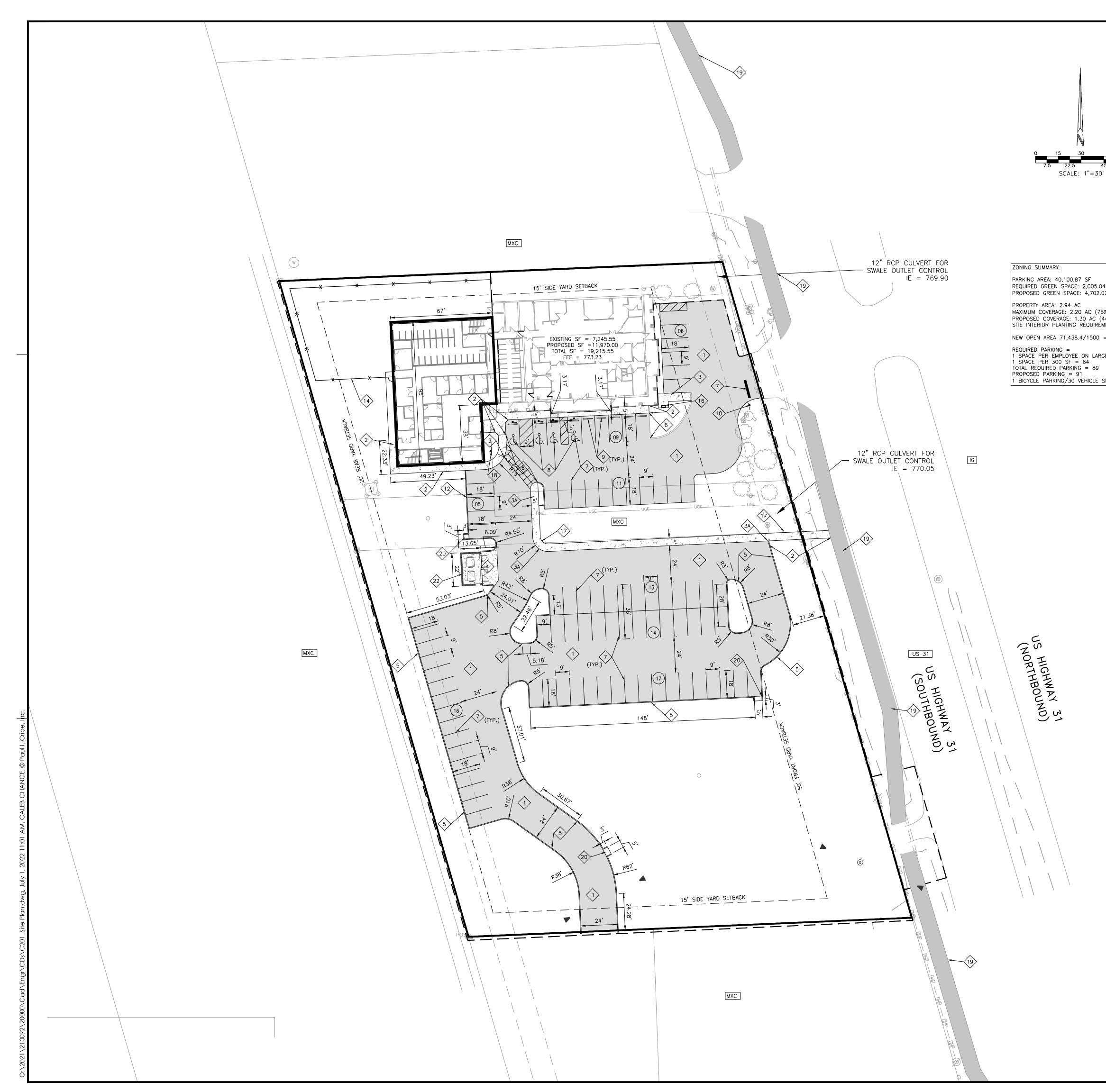
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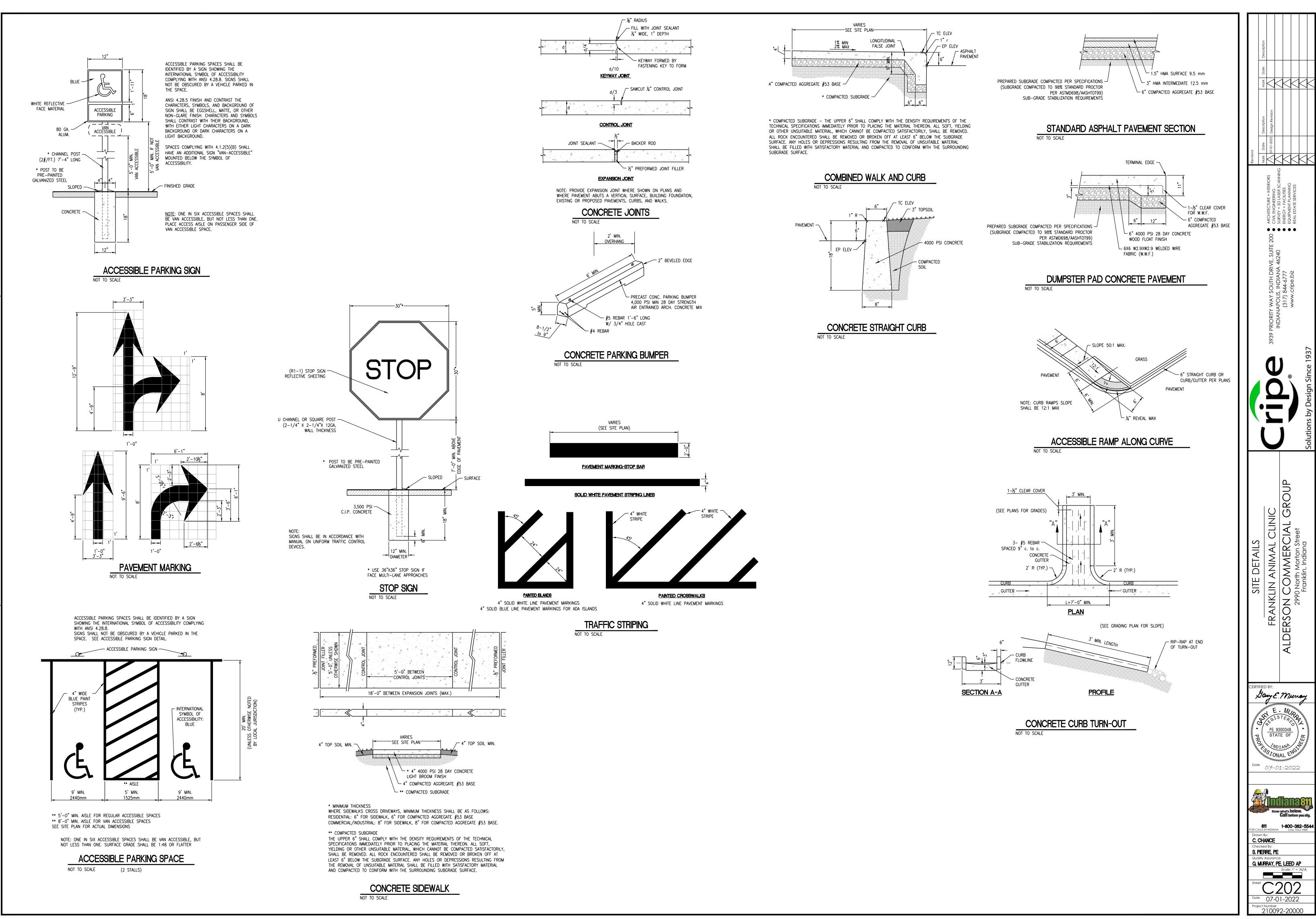
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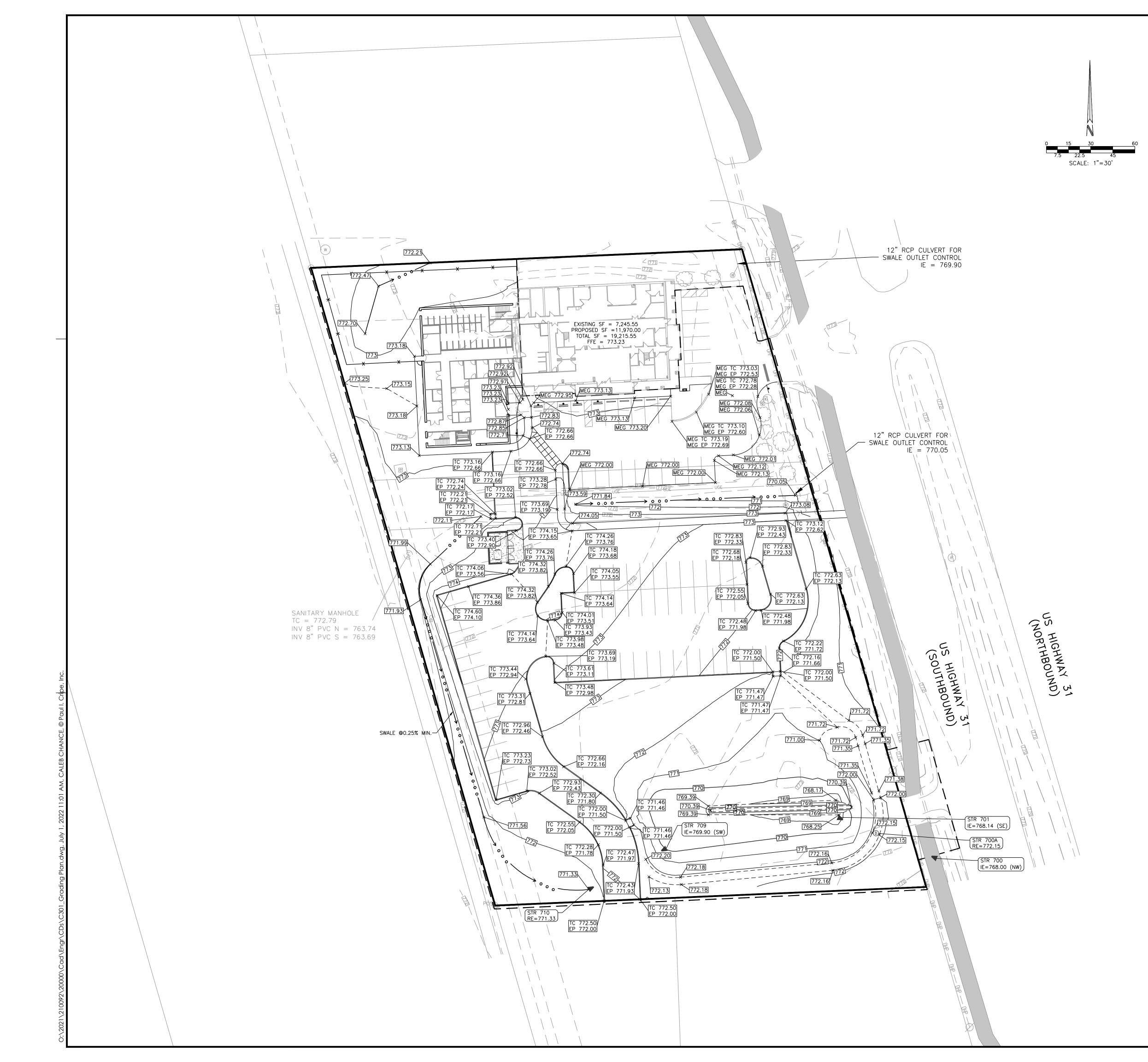


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	CTV CTV- CABLE TELEVIS	, , ,	
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D.	DEED DIMENSION	GUARD POST	JRE + I NEERIN D LASE ACILIT PLAN
M.	MEASURED DIMENSION	⊗ SPRINKLER HEAD	architecture + interiors civil engineering survey + 3d laser scanning energy + Facilittes equipment planning real estate services
P. R.	PLAT DIMENSION RADIUS	irrigation control box	arch civil surv ener feauir real
L.	ARC LENGTH	SPOT GRADE	$\bullet \bullet \bullet \bullet \bullet \bullet$
H.H. FND.	HANDHOLE FOUND	TOP CURB/GUTTER GRADE	JITE 200 0
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		UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.	Inti I
		TH EVERY UTILITY COMPANY AND OBTAIN THEIR APPROVAL	So So
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6.	SAWCUT CONCRETE AND ASPHALT SURFACES FO	DR REMOVAL AS NOTED.	GRO
7.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENTITIES THAT ARE TO REMAIN.	REPAIRING DAMAGE TO ALL BUILDINGS AND/OR SITE	DEMOLITI - CLINIC CIAL GR
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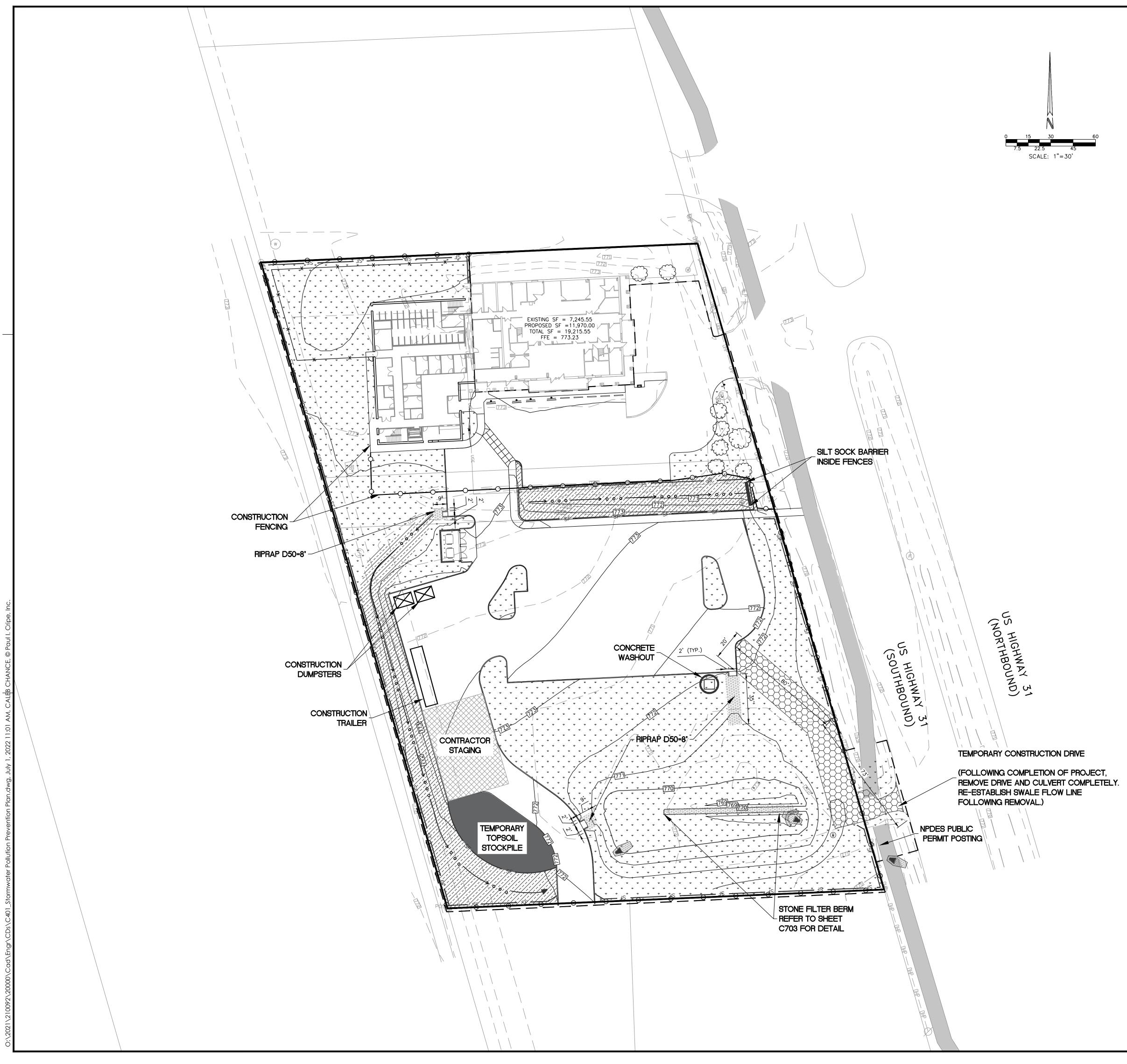


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	 EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. 	Revisions	Mark Da			$\overline{\mathbf{X}}$
D4 SF (5.0%) 0.2 SF $(11.72%)5%)(44.22%)MENTS= 47 TREESRGEST SHIFT = 25SPACES = 3$	 If SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY AND OBTAIN APPROVAL FROM EACH RESPECTIVE UTILITY COMPARY PROR TO PERFORMING ANY WORK ON OR IN THE VICINITY OF EXISTING UTILITIES LINES AND APPURIENNICES. If SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT; FALURET TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK. IT IS RECOMMENDED THAT THE DEVELOPER HAVE A QUALIFIED INSPECTOR ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION. ALL QUANTITIES GIVEN ON THE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (05HA) STANDARDS FOR EXCAVATIONS FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER. IT IS ESSENTIAL THAT THE WORK TO BE COMPLETED IN COMUNCTION WITH THIS PROJECT SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS. THE E CONGRET WILL BE REQUIRED TO CERTIFY TO CERTIAN PORTIONS OF THIS PROJECT UPON COMPLETION. THEREFORE, IT IS NECESSARY TO OBTAIN APPROVAL AND ACCEPTANCE BY THE CITY THAT CONSTRUCTION WAS COMPLETED IN COMPLIANCE WITH THESE PLANS AND SPECIFICATIONS. LOCATIONS & ELEVATIONS OF "FLOODWAY LIMITS" AND "100 YEAR FLOOD LIMITS" ARE SHOWN FOR REFERENCE ONLY. DEVELOPER/BUILDER/INDIVIDUAL LOT OWNER TO REFER TO NATIONAL FLOOD HAZARD INSURANCE MAP (F.E.M.A.) TO DETERMINE FLOOD HAZARD POTENTIAL PRIOR TO PROJECT CONSTRUCTION. ALL RADII AND STREET DIMENSIONS SHALL BE MEASURED TO THE FACE OF CURB AND FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS SHALL BE MEASURED TO THE FACE OF CURB AND FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS STALL BE MEASURED TO THE FACE OF CURB AND FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS SHALL BE			E, SUITE 200 ARCHITECTURE + INTERIORS CIVIL ENGINEERING	(317) 844-6777 40240 • ENERGY + 30 LASER SCANNING (317) 844-6777 • ENERGY + FACILITIES www.cripe.biz • EQUIPMENT PLANNING • REAL ESTATE SERVICES	Solutions by Design Since 1937
	 REFER TO UTILITY PLAN FOR SANITARY AND STORM STRUCTURE LOCATIONS. REFER TO SHEET C202 FOR DETAILS REFERENCED. 					ions
	 9. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.)	Soluti
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	17 HORIZONTAL-SINGLE RAIL TURNED DOWN AT ENDS. PAINTED AND SEALED COLOR BLACK	CE	ertified Jo	my E	.Mune	¥
	<pre>19 FUTURE INDOT MULTI-USE PATH 20 CONCRETE CURB TURN-OUT</pre>	FO	PROTICUTION Date		VAL Elyminin D1-2022 Table Selow. Call before you 1-800-382: CALL TOLL F	
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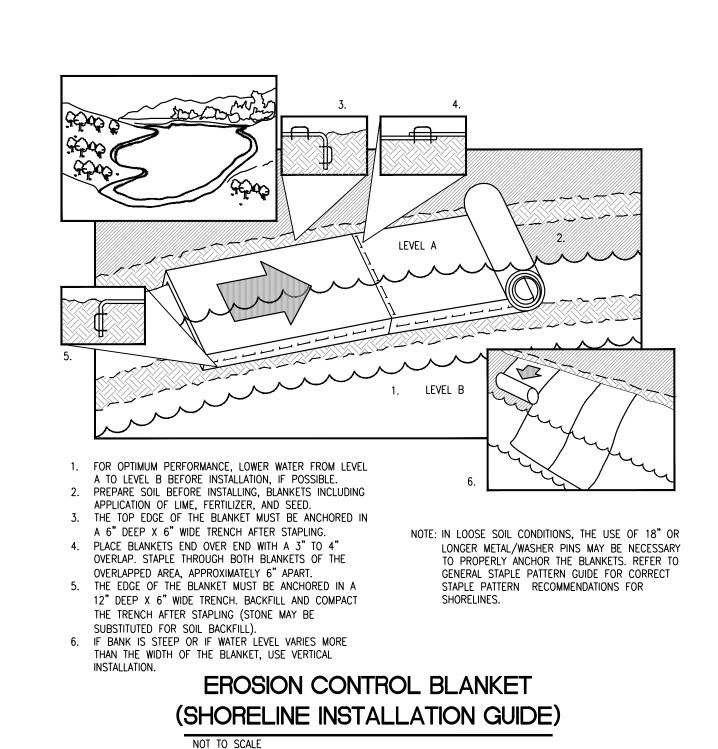




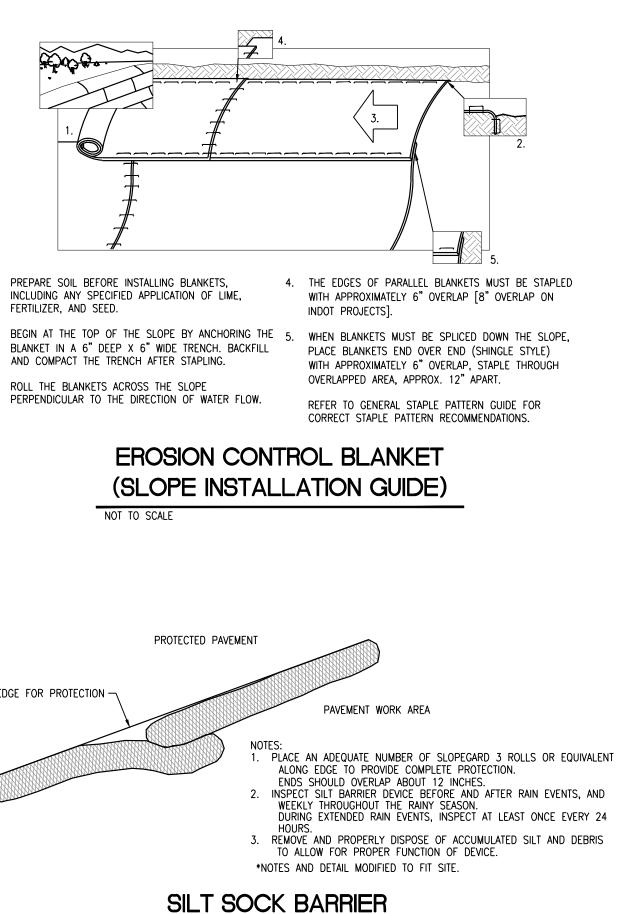
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 UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO DETERMINE AND FIELD VERIFY ALL HORZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. TOPOGRAPHIC AND VLANIMETRIC INFORMATION FROM PHOTOGRAPHIC COMPILATION HAS BEEN PROVIDED BY OTHERS. THE ACCURACY HAS NOT BEEN CONFIRMED BY CRIPE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES. RIN ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION. BUILDING PAD AREAS AND PAVED AREAS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS SHALL BE STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL. ANY EXCESS SOLI MATERIAL SHALL BE EXPORTED FROM THE SITE AFTER CONSTRUCTION IS COMPLETED. TOPSOLI SHALL BE PLACED IN LAWN, LANDSCAPE, MOUNDING AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF MASES AETHHORY. TOPSOLI SHALL BE SPERAD TO A DEPTH OF FOUR TO SIX. (J to 6) NICHES IN AREAS LISTED ABOVE. TOPSOLI SHALL NOT BE UTILIZED AS STRUCTURAL FILL AREAS. UPON COMPLETION OF MASES AETHHORY. TOPSOLI SHALL NOT BE UTILIZED AS STRUCTURAL FILL IN PAVED AREAS. CONTRACTOR SHALL PRESERVE EXISTING TREES WHEREVER POSSIBLE. CLEARING LIMITS SHALL CONSIST OF ALL TREES WITHIN PAVED AREAS, UTILITY INSTALLATION LIMITS, AND CUT/FILL AREAS.4 A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED FOR THIS PROJECT. CONTRACTOR TO PERFORM A SITE WIST PRIOR TO PROJECT BID. THE ENGINEER HAS BASED RECOMMENDATIONS UPON NRCS MAPS AND GENERAL KNOWLEDG OF SOLIS SCONDITIONS IN THE AREA. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED FOR THIS PROJECT. CONTRACTOR TO PERFORM A SITE WIST PRIOR TO THE ATTENTION OF THE ENGINEER OF RECOMMENDATIONS UPON NRCS MAPS AND DEVERAL KNOWLEDG OF SOLIS CONDITIONS IN THE AREA. ANY DISCREPANCIES OR CONFLIC	 3939 PRIORITY WAY SOUTH DRIVE, SUITE 200 3939 PRIORITY WAY SOUTH DRIVE, SUITE 200 archifferture + INTERIORS archifferture
<complex-block></complex-block>	GRADING PLAN GRADING PLAN FRANKLIN ANIMAL CLINIC ALDERSON COMMERCIAL GROUP 2990 North Morton Street Franklin, Indiana Solutions by Design Since
	CERTIFIED BY:

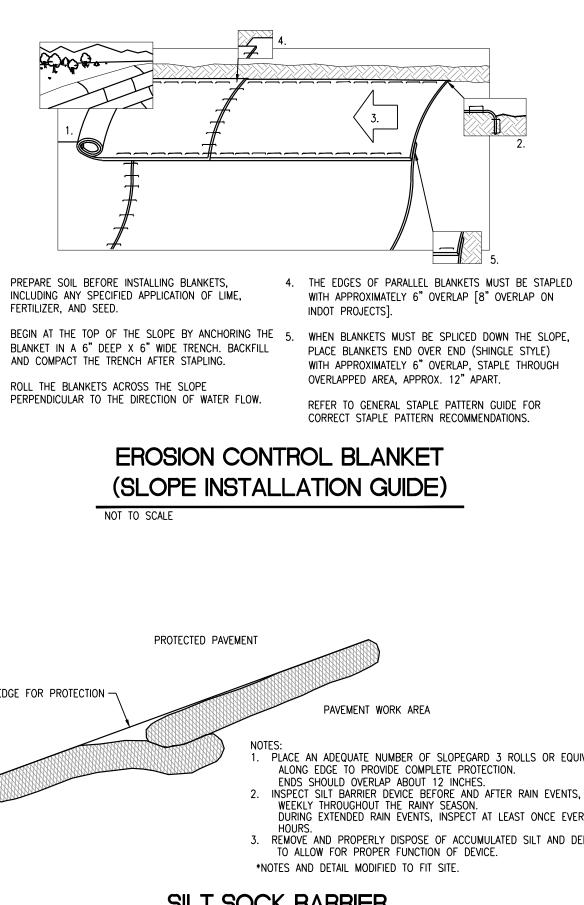


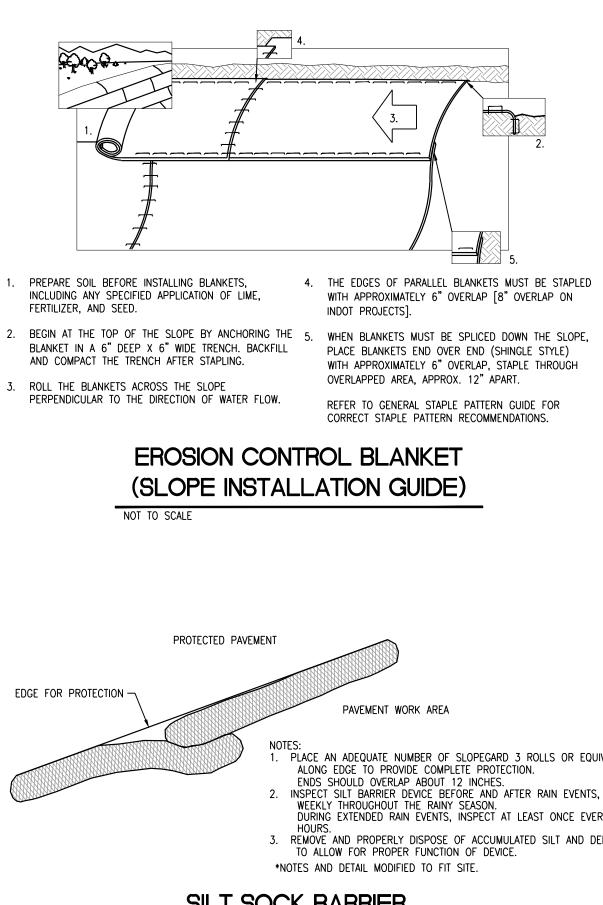
STORMWATER POLLUTION PREVENTION PLAN LEGEND		
	5	
	Description	
PERMANENT SEEDING WITH EROSION CONTROL BLANKET (NAG SC150 OR EQUAL)	Mark Date	
TEMPORARY SEEDING CONTRACTOR STAGING AREA SHALL UTILIZE THE EXISTING ASPHALT AREA. CONTRACTOR SHALL REPAIR ALL DAMAGED ASPHALT	n vísion	
GEOTEXTILE FABRIC YARD DROP INLET PROTECTION	Description . Design Revision	
INSERT (BAG) INLET PROTECTION CONSTRUCTION TRAILER	ons Date 07-01-2022	
INSERT (BAG) CURB INLET PROTECTION WITH CURB FILTER	AG Mark I O7	K
CONCRETE END SECTION RIPRAP (UPPER AND LOWER INV)	HINTERIORS NG SER SCANNING NNING	VICES
GRAVEL DONUT INLET PROTECTION	ARCHITECTURE + INTERIORS CIVIL ENGINEERING SURVEY + 3D LASER SCANNING ENERGY + FACILITIES EQUIPMENT PLANNING	AL ENAIE JER
STORMWATER POLLUTION PREVENTION PLAN NOTES	•••••	₽ ₽
 REFER TO SHEET C403 FOR SOILS MAP AND SOIL CHARACTERISTICS. REFER TO SHEET C402 FOR STORMWATER POLLUTION PREVENTION PLAN DETAILS. REFER TO LANDSCAPE PLANS FOR PLANTING DETAILS. ANY MOUNDING NOTED ON LANDSCAPE PLANS SHALL NOT CHANGE THE DRAINAGE PATTERN NOTED IN THE GRADING PLAN SERIES 300'S. 	DRIVE, SUITE 200 NNA 46240 77	
 SILT FENCE BARRIER TO BE INSTALLED PRIOR TO CONSTRUCTION. EROSION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. REFER TO THE STORMWATER POLLUTION PREVENTIONS NOTES SHEET C403 FOR ALL EROSION CONTROL MEASURES, SCHEDULES, AND SEQUENCES. 	PRIORITY WAY SOUTH DRI INDIANAPOLIS, INDIANA (317) 844-6777 www.cripe.biz	
 CONTRACTOR TO PROVIDE A STABLE TEMPORARY GRAVEL CONSTRUCTION INGRESS/EGRESS CONDITION FROM THE CONSTRUCTION SITE TO KEEP MUD AND SEDIMENT OFF PUBLIC ROADS. EROSION CONTROL MAINTENANCE - SITE TO BE INSPECTED AT LEAST ONCE A WEEK AND MAKE REPAIRS IMMEDIATELY AFTER PERIODS OF 1/2" RAINFALL OR GREATER. 	3939 PRIORITY	
9. STORMWATER DISCHARGE WILL NOT ENTER THE GROUNDWATER FOR THIS PROJECT. 10. THE 100 YEAR FLOODPLAIN FLOODWAYS ARE NOT PRESENT.	36	37
11. CONTRACTOR SHALL PROVIDE THE CITY OF FRANKLIN WITH A NARRATIVE DESCRIBING THE CONSTRUCTION SEQUENCE, INCLUDING START DATES FOR EACH LAND DISTURBING ACTIVITY.	U U	Since 19
 12. THE ACTUAL PERSON RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL SHALL BE DETERMINED DURING THE BIDDING PROCESS. THE AWARD WINNING CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. ONCE DETERMINED, CONTRACTOR SHALL COORDINATE WITH THE CITY. 13. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL 	<u> </u>	Design Sir
BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.		Solutions by l
STORMWATER POLLUTION PREVENTION PLAN SEQUENCE AND IMPLEMENTATION		Sol
 NSTALL CONSTRUCTION FENCING AND GATES IF REQUIRED. INSTALL SILT FENCING. DUST SHALL BE KEPT TO A MINIMUM BY UTILIZING SPRINKLING WATER OR OTHER APPROVED METHODS. 	PLAN	
3. IDENTIFY CONSTRUCTION STAGING AREA, CONCRETE WASHOUT AREAS, MATERIAL STORAGE AND TOPSOIL STOCKPILE AREAS. EACH AREA SHALL BE PROPERLY PROTECTED AND DELINEATED PRIOR TO	KOL ION	
CONSTRUCTION.4. THE IDEM NOI, IF REQUIRED, AND CONTACT INFORMATION FOR THE PERSON WITH ONSITE RESPONSIBILITIES MUST BE POSTED ONSITE.	EVENTI CLINIC	
5. IDEM AND THE LOCAL CITY AGENCY MUST BE NOTIFIED WITHIN 48 HOURS OF COMMENCING CONSTRUCTION.		Street na
 CONTACT INDIANA UNDERGROUND PLANNED PROTECTION SYSTEMS, INC. ("INDIANA 811") FOR UNDERGROUND UTILITY LOCATIONS. (1–800–382–5544). 	JTION P ANIMAL	orton S ndiane
7. BEFORE OPENING UP THE SITE, FIRST EVALUATE, MARK AND PROTECT IMPORTANT TREES AND ASSOCIATED ROOT ZONES, UNIQUE AREAS TO BE PRESERVED (I.E. WETLANDS), STREAMS, LAKES OR EXISTING VEGETATION SUITABLE FOR USE AS FILTER STRIPS (ESPECIALLY IN PERIMETER AREAS).	POLLUTION P IKLIN ANIMAI	2990 North Morton St Franklin, Indiana
8. FIRST, STRIP AND STOCKPILE TOPSOIL ON-SITE.		90 No Frar
 BEGIN MASS EARTHWORK FOR PROPOSED IMPROVEMENTS. REPAIR ANY SILT FENCING IF DAMAGED. IF SILT IS 1/3 HEIGHT OF FABRIC, REMOVE SILT AND REPLACE TO OPENING COMPLEXION. 		29
TO ORIGINAL CONDITION. 11. IMMEDIATELY AFTER GRADING, APPLY SURFACE STABILIZATION PRACTICES ON ALL GRADED AREAS, USING PERMANENT MEASURES IN ACCORDANCE WITH THE EROSION CONTROL PLAN. HOWEVER, IF WEATHER DELAYS PERMANENT STABILIZATION, TEMPORARY SEEDING AND/OR MULCHING MAY BE NECESSARY AS A PROVISIONAL MEASURE. ALSO STABILIZE (USING TEMPORARY SEEDING/MULCHING OR OTHER SUITABLE MEANS) ANY DISTURBED AREA WHERE ACTIVE CONSTRUCTION WILL NOT TAKE PLACE FOR 15 WORKING	STORMWATER FRAN ALDERSO	
DAYS. 12. AFTER CONSTRUCTION AND FINAL GRADING, PERMANENTLY STABILIZE ALL DISTURBED AREAS. ALSO REMOVE TEMPORARY RUNOFF CONTROL STRUCTURES, ANY UNSTABLE SEDIMENT AROUND THEM, AND STABILIZE THOSE AREAS WITH PERMANENT SEEDING AND EROSION CONTROL BLANKET IF NECESSARY. 13. MAINTAIN ALL EROSION AND SEDIMENT CONTROL PRACTICES UNTIL ALL DISTURBED AREAS ARE		
PERMANENTLY STABILIZED.	CERTIFIED BY:	nay
	PE 9300348 STATE OF	
	Date	ER CONTRACTOR
	Date 07-01-203	22
		ore you dig.
	Drawn By: C. CHANCE Checked By:	-382-5544 L TOLL FREE
	S. PIERRE, PE Quality Assurance: G. MURRAY, PE, LEED Scale: 1'	
	Sheet C40 Date 07-01-202 Project Number	
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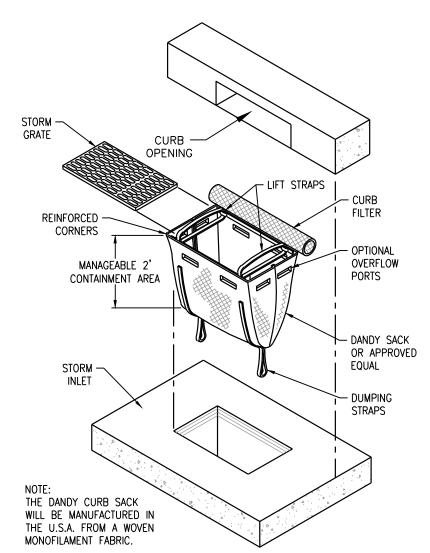












INSTALLATION

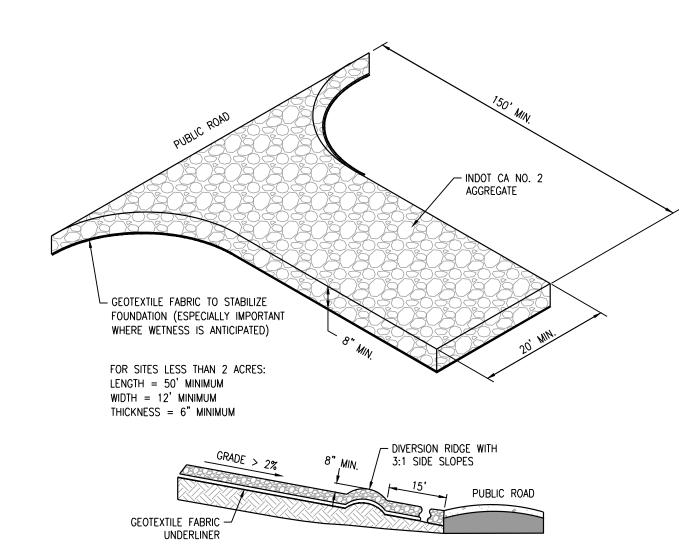
- 1. REMOVE THE GRATE FROM THE CATCH BASIN.
- 2. IF USING OPTION OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. 3. STAND THE GRATE ON END, MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY SACK SO THAT THE GRATE
- IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. 4. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.
- 5. MAKE SURE THE CYLINDRICAL PORTION IS UP AGAINST THE CURB OPENING TO PREVENT SILT AND DEBRIS FROM ENTERING THE INLET.
- MAINTENANCE
- INSPECT DAILY. • REMOVE ALL ACCUMULATED SEDIMENT AFTER EACH STORM EVENT. DISPOSE OF SEDIMENT IN AN AREA WHERE IT WILL NOT REENTER THE PAVED AREA OR STORM DRAINS. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET BY USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION. CONTACT:
- 708-867-8446 • WHEN CONTRIBUTING DRAINAGE AREA HAD BEEN STABILIZED, REMOVE INLET PROTECTION.

INSERT (BAG) CURB INLET PROTECTION WITH CURB FILTER

NOT TO SCALE

INSTALLATION

NOT TO SCALE



DIVERSION RIDGE CROSS-SECTION

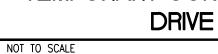
INSTALLATION

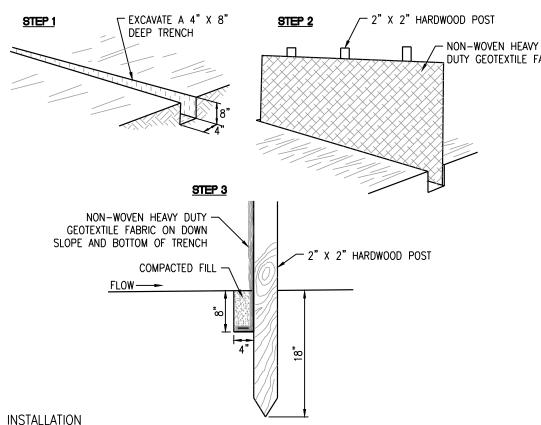
- REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE FOUNDATION AND CROWN FOR POSITIVE DRAINAGE. IF THE SLOPE OF THE CONSTRUCTION ENTRANCE IS TOWARD A PUBLIC ROAD AND EXCEEDS TWO PERCENT, CONSTRUCT AN EIGHT INCH HIGH DIVERSION RIDGE WITH A RATIO OF 3-TO-1 SIDE SLOPES ACROSS THE FOUNDATION AREA ABOUT 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE ROAD.
- INSTALL A CULVERT PIPE UNDER THE PAD IF NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE. 4. IF WET CONDITIONS ARE ANTICIPATED, PLACE GEOTEXTILE FABRIC ON THE GRADED FOUNDATION TO IMPROVE
- 5. PLACE AGGREGATE (INDOT CA NO. 2) TO THE DIMENSIONS AND GRADE SHOWN IN THE CONSTRUCTION PLANS, LEAVING THE SURFACE SMOOTH AND SLOPED FOR DRAINAGE. 6. TOP-DRESS THE FIRST 50 FEET ADJACENT TO THE PUBLIC ROADWAY WITH TWO TO THREE INCHES OF WASHED
- AGGREGATE (INDOT CA NO. 53) [OPTIONAL, USED PRIMARILY WHERE THE PURPOSED OF THE PAD IS KEEP SOIL FROM ADHERING TO VEHICLE TIRES] 7. WHERE POSSIBLE, DIVERT ALL STORM WATER RUNOFF AND DRAINAGE FROM THE INGRESS,/EGRESS PAD TO A SEDIMENT TRAP OR BASIN.
- <u>MAINTENANCE</u>

• INSPECT DAILY.

- RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. • TOP DRESS WITH CLEAN AGGREGATE AS NEEDED.
- IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS. • FLUSHING SHOULD ONLY BE USED IF THE WATER CAN BE CONVEYED INTO A SEDIMENT TRAP OR BASIN.

TEMPORARY CONSTRUCTION





INSTALLATION

- 1. LAY OUT THE LOCATION OF THE FENCE SO THAT IT IS PARALLEL TO THE CONTOUR OF THE SLOPE AND AT LEAST 10 FEET BEYOND THE TOE OF THE SLOPE TO PROVIDE A SEDIMENT STORAGE AREA. TURN THE ENDS OF THE FENCE UP SLOPE SUCH THAT THE POINT OF CONTACT BETWEEN THE GROUND AND THE BOTTOM OF THE
- FENCE END TERMINATES AT A HIGHER ELEVATION THAN THE TOP OF THE FENCE AT ITS LOWEST POINT. 2. EXCAVATE AN EIGHT-INCH DEEP BY FOUR-INCH WIDE TRENCH ALONG THE ENTIRE LENGTH OF THE FENCE LINE. INSTALLATION BY PLOWING IS ALSO ACCEPTABLE.
- 3. INSTALL THE SILT FENCE WITH THE FILTER FABRIC LOCATED ON THE UP-SLOPE SIDE OF THE EXCAVATED TRENCH AND THE SUPPORT POSTS ON THE DOWN-SLOPE SIDE OF THE TRENCH.
- 4. DRIVE THE SUPPORT POSTS AT LEAST 18 INCHES INTO THE GROUND, TIGHTLY STRETCHING THE FABRIC BETWEEN THE POSTS AS EACH IS DRIVEN INTO THE SOIL. A MINIMUM OF 12 INCHES OF THE FILTER FABRIC
- SHOULD EXTEND INTO THE TRENCH. 5. LAY THE LOWER FOUR INCHES OF FILTER FABRIC ON THE BOTTOM OF THE TRENCH AND EXTEND IT TOWARD THE UP-SLOPE SIDE OF THE TRENCH.
- 6. BACKFILL THE TRENCH WITH SOIL MATERIAL AND COMPACT IT IN PLACE. NOTE: IF THE SILT FENCE IS BEING CONSTRUCTED ON-SITE, ATTACH THE FILTER FABRIC TO THE SUPPORT POSTS AND ATTACH WOODEN LATHE TO SECURE THE FABRIC TO THE POSTS. ALLOW FOR AT LEAST 12 INCHES OF FABRIC BELOW GROUND LEVEL. COMPLETE THE SILT FENCE INSTALLATION, FOLLOWING STEPS 1 THROUGH 6 ABOVE.

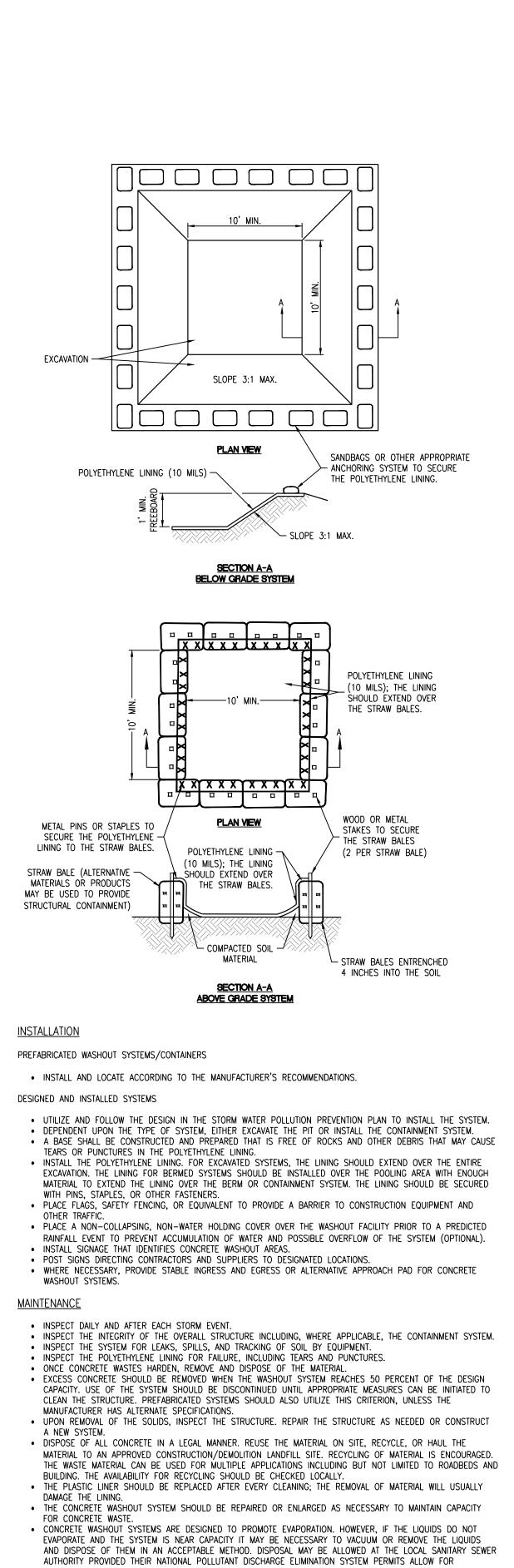
MAINTENANCE

- INSPECT WITHIN 24 HOURS OF A RAIN EVENT AND AT LEAST ONCE EVERY SEVEN CALENDAR DAYS. • IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE
- AFFECTED PORTION IMMEDIATELY. NOTE; ALL REPAIRS SHOULD MEET SPECIFICATIONS AS OUTLINED WITHIN THIS MFASURF · REMOVE DEPOSITED SEDIMENT WHEN IT IS CAUSING THE FILTER FABRIC TO BULGE OR WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT. WHEN CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, GRADE THE SITE TO BLEND WITH THE SURROUNDING

SILT FENCE BARRIER INSTALLATION

NOT TO SCALE

AREA, AND STABILIZE.



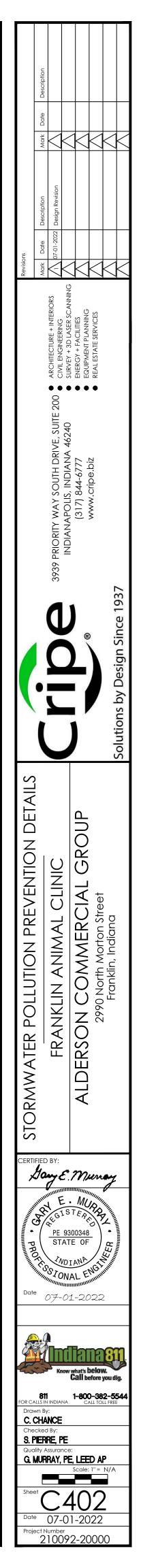
ACCEPTANCE OF THIS MATERIAL. ANOTHER OPTION WOULD BE TO UTILIZE A SECONDARY CONTAINMENT SYSTEM OR BASIN FOR FURTHER DEWATERING. PREFABRICATED UNITS ARE OFTEN PUMPED AND THE COMPANY SUPPLYING THE UNIT PROVIDES THIS SERVICE. INSPECT CONSTRUCTION ACTIVITIES ON A REGULAR BASIS TO ENSURE SUPPLIERS, CONTRACTORS, AND OTHERS

- ARE UTILIZING DESIGNATED WASHOUT AREAS. IF CONCRETE WASTE IS BEING DISPOSED OF IMPROPERLY, IDENTIFY THE VIOLATORS AND TAKE APPROPRIATE ACTION. • WHEN CONCRETE WASHOUT SYSTEMS ARE NO LONGER REQUIRED, THE CONCRETE WASHOUT SYSTEMS SHALL BE
- CLOSED. DISPOSE OF ALL HARDENED CONCRETE AND OTHER MATERIALS USED TO CONSTRUCT THE SYSTEM. • HOLES, DEPRESSIONS AND OTHER LAND DISTURBANCES ASSOCIATED WITH THE SYSTEM SHOULD BE BACKFILLED, GRADED, AND STABILIZED.

CONCRETE WASHOUT

NOT TO SCALE

DUTY GEOTEXTILE FABRIC





SOILS MAP

Person Responsible for Installation and Maintenance of Erosion and Sediment Control Practices: JAMIE HALL

ALDERSON COMMERCIAL 425 W. SOUTH STREET, SUITE 100 INDIANAPOLIS, INDIANA 46225 (317)-889-3800

ASSESSMENT OF CONSTRUCTION PLAN

A1 Plan Index Showing Locations Of Required Items:

Plat not completed. See existing conditions plan

A3 Narrative Describing Project Nature And Purpose:

achieved through storm pipes and dry detention basin.

A6 Location Of All Lots And Proposed Site Improvements:

A8 Notation Of Any State Or Federal Water Quality Permits:

State water quality permits include IDEM Rule 5 and subject to IDEM

A9 Specific Points Where Stormwater Discharge Will Leave The Site:

The on-site stormwater drainage system will leave the site via US31

See sheet C501 for the extents of the Stormwater Management Plan

A10 Location And Name Of All Wetlands, Lakes And Water Courses

The stormwater runoff outlets to the detention basin discharging to

US 31 roadside ditch that ultimately discharges to Youngs Creek.

A12 Identification Of Potential Discharge To Groundwater:

xisting 2 Yr. = 1.43 cfs 2 Yr. Post = 1.19 cfs

Existing 10 Yr. = 3.02 cfs 10 Yr. Post = 1.37 cfs

Existing 100 Yr. = 5.92 cfs 100 Yr. Post = 3.97 cfs

Existing 10 Yr. = 0.95 cfs 10 Yr. Post = 0.95 cfs

Existing 100 Yr. = 1.45 cfs 100 Yr. Post = 1.45 cfs

A16 Adjacent Land Use, Including Upstream Watershed:

South, East - MXC, IG (Commercial, Warehouse)

A18 Identification Of Existing Vegetative Cover:

and how the limitations will be overcome.

A19 Soils Map Including Descriptions And Limitations:

See this sheet for soils descriptions and limitations

A20 Location, Size And Dimensions Of Proposed Stormwater

A21 Plan For Any Off-site Construction Activities Associated With

A22 Locations Of Proposed Soil Stockpiles, Borrow And/Or

No soil stockpile, borrow or disposal areas are proposed for this

A23 Existing Site Topography At An Interval Appropriate To Show

A24 Proposed Final Topography At An Interval Appropriate To

Contractor will be responsible for disposal of exported soil material.

North, West – MXC, RS-1 (Commercial, Residential)

A13 100 Year Floodplains, Floodways, And Floodway Fringes:

A14 Pre-construction And Post Construction Estimate Of Additional

A15 Pre-construction And Post Construction Estimate Of Existing

A17 Locations And Approximate Boundaries Of All Disturbed Areas:

The closest water course to the site is the Youngs Creek with

roadside ditch that discharges to the Youngs Creek a tributary to

A4 Vicinity Map Showing Project Location:

A5 Legal Description Of The Project Site:

See legal description on C200

A7 Hydrologic Unit Code-14 Digit:

Longitude 86°4'29"W

Latitude 86° 31' 0.94" N

A2 18x24 Plat Showing Site, Buildings, Parking Lots, Streets:

The proposed project consists of a building addition, paved parking

lot, and associated utilities. Stormwater quantity and quality will be

ELEMENTS (SECTION A)

See Cover Sheet.

See Cover Sheet.

See Sheet C201.

components.

On And Adjacent To The Site:

outlets to the White River.

See Sheet C301 for FIRM map.

Detention Peak Discharge:

Detention Peak Discharge:

See sheets C401.

See sheets C101

See sheets C501.

Systems:

This Project:

Disposal Areas:

See sheets C301

<u>Detailed Drainage Patterns:</u>

Show Detailed Drainage Patterns:

Att Identification Of All Receiving Waters:

Soil Description

UbaA - Urban land-Brookston complex on 0 to 2 percent slopes Major factors affecting urban uses include UcfA - Urban land-Crosby silt loam complex, fine loamy subsoil on 0 to 2 percent slopes. Major factors affecting urban uses include YbvA - Brookston silty clay loam-Urban land complex on 0 to 2 percent slopes. Major factors affecting

Major factors affecting

CONSTRUCTION/STORMWATER POLLUTION PREVENTION PLAN

ASSESSMENT OF STORMWATER POLLUTION PREVENTION PLAN-CONSTRUCTION COMPONENT (SECTION B)

BI Description Of Potential Pollutant Sources Associated With Construction Activities:

The primary pollutant associated with construction activities is sediment. Additional pollutants may be generated by construction vehicle operation and maintenance (e.g. fueling, changing hydraulic fluids and oils); concrete washout; improper storage of construction materials; improper disposal of construction trash and debris; improper application or over application of fertilizers and pesticides; and improper storage, application, and disposal of soluble materials or other materials that may be mobilized by storm water runoff. Equipment and fuel will be stored in a central location and the contractor shall institute methods and procedures to prevent discharge of pollutants.

B2 Sequence Describing Stormwater Quality Measure Implementation Relative To Land Disturbing See erosion and sediment control sequences and implementation on sheet C401.

B3 Stable Construction Entrance Locations And Specifications: See sheet C401 for location. See sheet C402 for detail.

B4 Sediment Control Measures For Sheet Flow Areas:

Preliminary grading and stabilization must be completed to ensure adequate drainage to the temporary or permanent runoff conveyance facilities. Silt fencing must also be implemented prior to any construction activity to ensure silt collection. Stabilize disturbed areas directly after earth disturbing activities, temporary seed areas scheduled to be idle for up to one year. Permanently seed all areas that are at final grade, phase projects where each subsequent phase will not begin for 8 months or more, and areas to be idle for more than one year. Erosion control measures to be installed in Sheet Flow Area. see sheet C40X for details as well as installation and maintenance procedures. See this sheet for seeding guidelines.

B5 Sediment Control Measures For Concentrated Flow Areas

Adequate erosion control measures must be installed within these areas prior to opening for runoff acceptance. If it is a steep slope, an erosion control blanket should be installed prior to opening. Stabilize disturbed areas directly after earth disturbing activities. Temporary seed areas scheduled to be idle for up to 15 days. Permanently seed all areas that are at final grade, phase projects where each subsequent phase will not begin for 8 months or more, and areas to be idle for more than one year. see sheet C401 for erosion control measures to be installed in concentrated flow areas. See sheet C402 for details as well as installation and maintenance procedure.

<u>B6 Sediment Control Measures For Storm Sewer Inlets Protection:</u> See sheet C401 for location & type, and C402 for details.

B7 Runoff Control Measures: See sheet C401.

B8 Stormwater Outlet Protection Specifications

See sheet C401 for location & type, and C402 for details.

B9 Grade Stabilization Structure Locations And Specifications:

BIO Location, Dimensions, Specifications And Construction Details For Each Stormwater Quality <u>Measure:</u>

See sheet C401 and associated erosion control details on sheet C402. Bil Temporary Surface Stabilization Methods Appropriate For Each Season:

See "GENERAL SEEDING & SURFACE STABILIZING PROCEDURES" on this sheet.

B12 Permanent Surface Stabilization Specifications: See "GENERAL SEEDING & SURFACE STABILIZING PROCEDURES" on this sheet.

B13 Material Handling And Spill Prevention:

Expected construction materials on site may include vehicle lubricants, oils, vehicular fuels, concrete wash-out, acids, curing compounds, paints, mulch, pesticides, herbicides, fertilizer, and trash. Any toxic waste materials are to be disposed of according to local and state laws.

Small spills and leaks of these materials onto non-paved areas will be shoveled into containers or dumpsters for proper disposal.

Fueling trucks will be equipped with spill prevention kits for smaller fuel spills. All vehicular maintenance shall be performed in the same designated area throughout the construction time frame. If possible, vehicular maintenance shall be done off-site at facilities that are designed to handle any material spillage. This shall include fueling of vehicles whenever possible. The City of Franklin Fire Department (317) 736-3650 or 911, Indiana Department of Environmental Management, Office of Emergency Response (800) 233–7745, shall be notified immediately for larger spills or leaks. The National Response Center (800) 424-8802 shall be notified and provided with the following information: Time of Spill, Location of Spill, Material, Source of Spill, Approximate Volume and Length of Spillage, Weather Conditions at Time of Spill, Personal Present at Time of Spill, and All Action Taken for Post Spill Cleanup

Contractor shall contact a waste recovery agency immediately for removal of contaminates and coordination of monitoring the site during cleanup until all of the hazardous material has been removed. Contractor shall cooperate with idem during and after the spill to insure all required cleanup and filing reports are properly submitted.

The Developer shall be continually informed of any contamination concerns occurring on the site. The construction manager shall keep on site a list of qualified contractors for spill remediation. All site personnel, including maintenance employees, shall be made aware of proper spill prevention and remediation techniques. All materials used to absorb spills shall be properly disposed of in an approved manor with local and state laws. Do not flush spill materials with water unless directed to do so by a governing agency. It is important that all manufacturer's instructions be followed when using or applying all fertilizers, herbicides, and pesticides.

B14 Monitoring And Maintenance Guidelines For Each Proposed Storm Water Quality Measure: See sheet C402 for details containing maintenance requirements for each storm water quality measure. Upon substantial completion, the contractor shall remove any and all debris from any existing or newly installed BMPs on site.

BI5 Erosion And Sediment Control Specifications For Individual Building Lots: See sheet C401.

TOXIC WASTE MATERIALS

INSURE THAT TOXIC LIQUID WASTES SUCH AS USED OILS, SOLVENTS, AND PAINTS AND CHEMICALS SUCH AS ACIDS, PESTICIDES, ADDITIVES, AND CURING COMPOUNDS ARE NOT DISPOSED OF IN DUMPSTERS DESIGNATED FOR CONSTRUCTION DEBRIS BUT ARE PROPERLY DISPOSED OF ACCORDING TO LOCAL AND STATE LAWS.

C1 Description Of Pollutants And Their Sources Associated With The Proposed Land Use: Potential post-construction pollutant sources include assorted fuels, oils and liquids associated with vehicular traffic used in field maintenance. There are no new downstream water quality effects due to channeling discharges to a single point. This can result in bank erosion, down cutting of the channel bottom

The post-construction stormwater quality measure implementation shall begin after substantial completion of the construction activities for the proposed project. This is the appropriate time to install the proposed stormwater BMP. Any newly installed or existing BMPs on site shall be clear of any and all debris.

will provide 80% TSS removal from the proposed site.

C4 Location, Dimensions, Specifications, and Construction Details of Each Stormwater Quality Measure: The stormwater quality measures for post construction activities are indicated on this sheet. Location and details can be found on sheets C501 & C502.

C5 Description of Maintenance Guidelines For Post Construction Stormwater Quality Measures: Please refer to The Operation & Maintenance Manual for information regarding the post-construction

water quality measures. Grass areas will be maintained on a regular mowing cycle. Trash and debris will be removed from seeded and gravel areas.

vacuum truck. For free-floating oil and floatable debris, use a high velocity vacuum truck to clean the pollutants. After recording the measurements on the Inspection Data Sheet (attached in Appendix B), the vacuum hose is lowered through the access opening and the floating debris. The oil may be best removed by using an absorbent pad. Usually, confined space entry can be avoided by inspecting from the manhole entrance and cleaning the system by using a vacuum hose.

- (1-800-382-5544).

- stabilized

YcIA - Crosby silt loam, fine loamy subsoil-Urban land complex on 0 to 2 percent slopes.

ASSESSMENT OF STORMWATER POLLUTION PREVENTION POST-CONSTRUCTION COMPONENT (SECTION C)

C2 Sequence Describing Stormwater Quality Measure Implementation:

The location of these structures can be found on sheet C501. Details can be found on sheet C502. Following construction, all erosion control measures shall be inspected and maintained until all permanent measures and vegetation has been established and construction is complete.

After installation of the post-construction BMP structures are in place, individual erosion control measures may be removed, including following permanent inlet protection seeding and after sufficient vegetation has been established in an area to prevent silt and soil erosion into the storm sewer

Inspection and maintenance of all BMP structures are the responsibility of the owner.

C3 Description Of Proposed Post Construction Stormwater Quality Measures: Post construction stormwater quality measures to aid in reducing the amount of pollutants include the construction of a hydrodynamic separator at the storm sewer outlet discharge point. The above BMPs

The Hydrodynamic Separator Water Quality BMP structures will be inspected and maintained as follows: Sediment is to be removed when inspection reveals a top of sediment depth within 6 in, of the

dry-weather water surface elevation in the structure. Sediment depths can be easily determined by measuring the distance from the top of the manhole to the dry water surface elevation and then measuring the distance from the top of the manhole to the top of the sediment pile. This can be done with a steel tape or stadia rod. The system should be pumped clean using a high velocity

EROSION AND SEDIMENT CONTROL SEQUENCE AND IMPLEMENTATION

Post the NOI and contact information for the person with onsite responsibilities.

Install temporary construction entrance off US 31. See sheet C401.

Install silt fencing along property lines and along construction limits as shown on sheet C401 (See detail on sheet C402). Dust shall be kept to a minimum by utilizing sprinkling, calcium chloride, vegetative cover, spray on adhesive or other approved methods.

Identify construction staging, concrete washout areas, material storage and areas. Each area shall be properly protected and delineated prior to construction.

IDEM and the City of Franklin must be notified within 48 hours of commencing construction. Contact Indiana Underground Planned Protection Systems, Inc. for underground Utility locations.

Before opening up the site, first evaluate, mark and protect important trees and associated root zones, unique areas to be preserved (i.e. wetlands), or existing vegetation suitable for use as filter strips (especially in perimeter areas).

Begin mass earthwork for preliminary grading. See "General Seeding and Surface Stabilization Procedures" for temporary seeding guidelines on this sheet.

Repair any silt fencing if damaged. If silt fence is 1/3 height of fabric, remove silt and replace to original condition. See detail on Sheet C40X.

Immediately after grading, apply surface stabilization practices on all graded areas, using permanent measures in accordance with the erosion control plan. However, if weather delays permanent stabilization, temporary seeding and/or mulching may be necessary as a provisional measure. Also stabilize (using temporary seeding/mulching or other suitable means) any disturbed area where active construction will not take place for 15 working days.

Install Post Construction BMP measures. Includes final grading and stabilization. If any of these areas were used as temporary sediment control devices during construction, remove and restabilize for post construction use.

After construction and final grading, landscape and permanently stabilize all disturbed areas, including borrow and disposal areas. Also remove temporary runoff control structures and any unstable sediment around them, and stabilize those areas with permanent seeding and erosion control blanket if necessary

Maintain all erosion and sediment control practices until all disturbed areas are permanently

(1) TEMPORARY SEEDING

Table 1. Temporary Seeding Specificationa

Seed Species 1	Rate per Acre	Planting Depth	Optimum Dates 2
Wheat or Rye	150 lbs.	1 to $1-1/2$ inches	Sept. 15 - Oct. 30
Spring Oats	100 lbs.	1 inch	March 1 — April 15
Annual Ryegrass	40 lbs.	1-1/4 inch	March 1 — May 1 Aug. 1 — Sept. 1

Perennial species may be used as a temporary cover, especially if the area to be seeded will remain idle for more than one year (See Permanent Seeding)

Seeding done outside the optimum seeding dates increases the chances of seeding failure. Dates may be extended or shortened based on the location of the project site within the state.

Mulch alone is an acceptable temporary cover and may be used in lieu of temporary seeding, provided that it is appropriately anchored. A high potential for fertilizer, seed, and mulch to wash exists on steep banks, cuts, and in channels and areas of concentrated flow.

Application Seedbed Preparation

Test soil to determine pH and nutrient levels.

Apply soil amendments as recommended by the soil test. If testing is not done, apply 400 to 600 pounds per acre of 12-12-12 analysis fertilizer, or equivalent. Work the soil amendments into the upper two to four inches of the soil with a disk or rake operated across the slope.

Select a seed species or an appropriate seed mixture and application rate from Table 1. Apply seed uniformly with a drill or cultipacker seeder or by broadcasting. Plant or cover seed to the depth shown in Table 1.

- 1. If drilling or broadcasting the seed, ensure good seed-to-soil contact by firming the seedbed with a roller or cultipacker after completing seeding operations. Daily seeding when the soil is moist is
- usually most effective 2. If seeding is done with a hydroseeder, fertilizer and mulch can be applied with the seed in a
- slurry mixture. 3. Apply mulch (See Mulching and Compost Mulching Requirements Below) and anchor it in place.

Maintenance

Inspect within 24 hours of each rain event and at least once every seven calendar days. Check for erosion or movement of mulch and repair immediately. Monitor for erosion damage and adequate cover (80 percent density); reseed, fertilize, and apply mulch where necessary. If nitrogen deficiency is apparent, top-dress fall seeded wheat or rye seeding with 50 pounds per acre of nitrogen in February or March.

(2) PERMANENT SEEDING

Site Preparation

- 1.Grade the site to achieve positive drainage.
- 2. Add topsoil or compost mulch to achieve needed depth for establishment of vegetation. (Compost material may be added to improve soil moisture holding capacity, soil friability, and nutrient availability.)
- Seedbed Preparation 1.Test soil to determine pH and nutrient levels.
- 2. Apply soil amendments as recommended by the soil test and work into the upper two to four inches of soil. If testing is not done, apply 400 to 600 pounds per acre of 12-12-12 analysis fertilizer, or equivalent. 3. Till the soil to obtain a uniform seedbed. Use a disk or rake, operated across the slope, to work
- the soil amendments into the upper two to four inches of the soil. Seeding Optimum seeding dates are March 1 to May 10 and August 10 to September 30. Permanent seeding
- done between May 10 and August 10 may need to be irrigated. Seeding outside or beyond optimum seeding dates is still possible with the understanding that reseeding or overseeding may be required if adequate surface cover is not achieved. Reseeding or overseeding can be easily accomplished if the soil surface remains well protected with mulch 1. Use a seeding mixture and rate from Table 1 Permanent Seeding Recommendations. Select seed
- mixture based on site conditions, soil pH, intended land use, and expected level of maintenance. 2. Apply seed uniformly with a drill or cultipacker seeder or by broadcasting. Plant or cover the seed to a depth of one-fourth to one-half inch. If drilling or broadcasting the seed, ensure good seed-to-soil contact by firming the seedbed with a roller or cultipacker after completing seeding operations. (If seeding is done with a hydroseeder fertilizer and mulch can be applied with the seed in a slurry mixture.

3. Mulch all seeded areas and use appropriate methods to anchor the mulch in place. Consider using erosion control blankets on sloping areas and conveyance channels. Maintenance

- Inspect within 24 hours of each rain event and at least once every seven calendar days until the vegetation is successfully established • Characteristics of a successful stand include vigorous dark green or bluishgreen seedlings with a
- uniform vegetative cover density of 90 percent or more. Check for erosion or movement of mulch.
- Repair damaged, bare, gullied, or sparsely vegetated areas and then fertilize, reseed, and apply and anchor mulch. • If plant cover is sparse or patchy, evaluate the plant materials chosen, soil fertility, moisture
- condition, and mulch application; repair affected areas either by overseeding or preparing a new seedbed and reseeding. Apply and anchor mulch on the newly seeded areas.
- If vegetation fails to grow, consider soil testing to determine soil pH or nutrient deficiency problems. (Contact your soil and water conservation district or cooperative extension office for assistance.) • If additional fertilization is needed to get a satisfactory stand, do so according to soil test recommendations • Add fertilizer the following growing season. Fertilize according to soil test recommendations.
- Fertilize turf areas annually. Apply fertilizer in a split application. For cool-season grasses, apply one-half of the fertilizer in late spring and one-half in early fall. For warm-season grasses, apply one-third in early spring, one-third in late spring, and the remaining one-third in middle summer.

Table 1 Permanent Seeding Recommendations

Typical Lawn Seed: Provide fresh, clean, new crop seed complying with tolerance for purity and germination established by Official Seed Analysts of North America. Provide seed mixture composed of grass species, proportions and minimum percentages of 95% purity, 95% germination, and maximum percentage of 0.5% weed seed per the chart below.

Seed Mixtures	Rate per Acre Pure Live Seed	Optimum Soil pH
 Perennial ryegrass 4-way blend of Black Beauty Accent, APM and Goalkeeper 	80 lbs. ,	5.5 to 7.5
2. Tall fescue (turf type)2 —Mustang II	150 lbs.	5.6 to 7.5
TOTAL	230 lbs.	

Table 2 Temporary Nurse Crop:

1. A wheat/oat companion or nurse crop may be used with any of the above permanent seeding mixture, if seeding will be done after August 15at the following rates:

Seed Mixtures	Rate per Acre Pure Live Seed	Optimum Soil pH
1. Avena sative (seed oats)	800 Oz.	
2. Lolium multiflorum (Annual Rye Grass)	160 Oz.	
TOTAL	960 Oz.	

GENERAL SEEDING and SURFACE STABILIZATION PROCEDURES

(3) NATIVE SEEDING

Native Seed Application:

Qualifications: The submitting bidders shall be, and have been actively and directly engaged in native seed installation for a period of two (2) years or more. Provide proof of five (5) or more successful native seed installations to the onsite engineer before ordering materials or beginning work. Qualified bidders shall possess specialized equipment for working in and around water, including a small boat, hip waders, and floatation life preservers to be worn while working in water.

Community Establishment: Installation of native areas shall be performed in mid to late spring, specifically between April 1 and July 1st. This work shall consist of furnishing, transporting, and installing all seeds, plants, and erosion control products required for establishment of native plant community.

Materials: All native seed must be of wild ecotype. No hybrids or cultivars may be included.

Seedbed Preparation: Existing vegetation should be removed or killed with a glyphosate herbicide such as Rodeo 2 weeks before seeding operations will commence. Lightly till ground to receive native seed mixture. Place a portion of the seed in a clean, dry 5-gallon bucket. Mix 2 parts coarse sand with 1 part seed. Thoroughly mix seed and sand. Hand broadcast seed/sand mixture across the specified tilled area. Apply the second half over the same area utilizing the same procedure. This method prevents using all of the seed before the entire area is covered. Lightly firm seedbed with a roller where soil moisture permits. Do not roll areas where soil is moist enough to stick to the roller. Care must be taken to ensure seed is not covered more than 1/4 inch.

Do NOT fertilize native seed applications.

Turf Reinforcement Mat (TRM): Install TRM after seed installation is complete. Install North American Green SC25050 as indicated on plans or approved equal with methods approved by the manufacturer, over all native seed mixtures

Acceptance: The contractor shall be responsible for satisfactory growth of the native seed community. Acceptance of the work will be determined using a random search of native seed community at the beginning of the second growing season. For acceptance at the beginning of the second growing season the wetland planting shall exhibit a minimum of 70 percent coverage, and 50 percent of the vegetation should be the planted native species of the permanent matrix.

NATIVE SEED MIX

Botanical Name Comn Andropogon gerardii | Big Blue Bouteloua curtipendula | Side-Oa Carex brevior Plains (Elymus canadensis Canada Elymus virginicus Virginia Panicum virgatum Switchgras Schizachyrium scoparium | Little Blue Sorghastrum nutans Indian

Use only in areas indicated on plans. Temporary cover matrix shall only be used if seeded after August 15.

Installatio available or June 1 to September 1 if irrigated.

Site Preparatio

1. Apply topsoil if existing soil conditions are unsuitable for establishing vegetation. 2. Grade the site to achieve positive drainage and create a smooth, firm soil surface. a favorable rooting depth of six to eight inches.

Sod Bed Preparation

- 1. Test soil to determine pH and nutrient levels.
- or at the rate recommended by the sod supplier.
- 3. Apply fertilizer as recommended by the soil test. If testing was not done, apply 400 to 600 pounds per acre of 12-12-12 analysis fertilizer, or equivalent.
- across the slone
- 5. Rake or harrow the area to achieve a smooth final grade and then roll or cultipack the soil

Laying the Sod

Slope Application

Channel Application

Maintenance

well rooted.

- 1. Install sod within thirty—six hours of its cutting. 2. Store the sod in a shaded location during installation.
- lightly irrigate the soil surface prior to laying the sod.)
- 4. Lay sod strips in a brick-like pattern.

keep moist until the grass takes root.

for washout during establishment.

• Keep sod moist until fully rooted.

• Time mowing to avoid ruts in turf

(4) MULCHING Specifications

*MIX SHALL CONTAIN A MINIMUM OF 90% PURE LIVE SEED WITH NO MORE THAN 1% WEED SEED.

non Nam	ne	*Oz./Acre
estem		32
ots Grama		16
Oval Sedge		2
Wild Rye		48
Wild Rye		32
SS		14
estem		32
Grass		32
	Total	208

Sod should not be installed during hot weather, on dry soil, frozen soil, compacted clay, loose sand or aravely substrate soils, agaregate, or pesticide treated soil. The ideal time to lay sod is May 1 to ne 1 or September 1 to September 30, although it can be installed as early as March 15 il

3. Where applicable, use a chisel plow, disk, harrow, or rake to break up compacted soils and create

2. If soil pH is too acidic for the grass sod to be installed, apply lime according to soil test results

4. Work the soil amendments into the upper two to four inches of soil with a disk or rake operated

surface to create a firm surface on which to lay the sod.

3. Immediately before laying the sod, rake the soil surface to break any crust. (If the weather is hot

5. Butt all joints tightly against each other (do not stretch or overlap them), using a knife or mason's trowel to trim and fit sod into irregularly shaped areas. 6. Roll the sod lightly after installation to ensure firm contact between the sod and soil. 7. Irrigate newly sodded areas until the underlying soil is wet to a depth of four inches, and then

. Install the sod strips with the longest dimension perpendicular to the slope. 2. Where slopes exceed a ratio of 3:1, staple or stake each strip at the corners and in the middle.

(Sodding provides quicker protection than seeding and may reduce the risk of early washout.)

1. Excavate the channel, allowing for the full thickness of the sod. 2. Lay the sod strips with the longest dimension perpendicular to channel flow.

3. Stople or stake each strip of sod at the corners and in the middle. 4. Staple jute or biodegradable polypropylene netting over the sodded area to minimize the potential

• Inspect within 24 hours of each rain event and at least once every seven calendar days until sod is

• After sod is well-rooted (two to three weeks), maintain a plant height of two to three inches.

• Fertilize turf areas annually. Apply fertilizer in a split application. For cool season grasses, apply

one-half of the fertilizer in late spring and one-half in early fall. For warm-season grasses, apply one-third in early spring, one-third in late spring and one-third in mid-summer.

Material 1	Rate per Acre	Comments
Straw or Hay	2 tons	Shall be dry, free of undesirable seeds. Spread by hand or machine.
		Must be crimped or anchored (See Table 2).
Wood fiber or cellulose1	1 ton	Apply with a hydraulic mulch machine and use with tacking agent.

The mulch should have a uniform density of at least 80 percent over the soil surface.

Table 2. Mulch Anchoring Methods

Anchoring Method	How to Apply
Mulch anchoring tool or farm disk (dull, serrated, and blades set straight)	Crimp or punch the straw or hay two to four inches into the soil. Operate machinery on the contour of the slope.
Cleating with dozer tracks	Operate dozer up and down slope to prevent formation of rills by dozer cleats
Wood hydromulch fibers	Apply according to manufacturer's recommendations.
Synthetic tackifiers, binders, or soil stabilizers	Apply according to manufacturer's recommendations.
Netting (synthetic or biodegradable material)	Install netting immediately after applying mulch. Anchor netting with staples. Edges of netting strips should overlap with each up-slope strip overlapping four to six inches over the adjacent down-slope strip. Best suited to slope applications. In most instances, installation details are site specific, so manufacturer's recommendations should be followed.

1 All forms of mulch must be anchored to prevent displacement by wind and/or water.

1. Apply mulch at the recommended rate shown in Table 1.

- 2. Spread the mulch material uniformly by hand, hayfork, mulch blower, or hydraulic mulch machine. After spreading, no more than 25 percent of the ground should be
- 3. Anchor straw or hay mulch immediately after application. The mulch can be anchored using one of the methods listed below:
- a. Crimp with a mulch anchoring tool, a weighted farm disk with dull serrated blades set straight, or track cleats of a bulldozer,
- b. Apply hydraulic mulch with short cellulose fibers, c. Apply a liquid tackifier, or
- d. Cover with netting secured by staples.
- Maintenance • Inspect within 24 hours of each rain event and at least once every seven calendar days. • Check for erosion or movement of mulch; repair damaged areas, reseed, apply new mulch and anchor the mulch in place.
- Continue inspections until vegetation is firmly established.
- If erosion is severe or recurring, use erosion control blankets or other more substantial stabilization methods to protect the area. (6) Compost Mulching

Compost Specifications

- Feedstocks may include but are not limited to well-composted vegetable matter, leaves, yard trimmings, food scraps, composted manures, paper fiber, wood bark, Class A biosolids (as defined in Title 40 of the Code of Federal Regulations at 40 CFR Part 503), or any combination thereof. • Compost shall be produced using an aerobic composting process meeting 40 CFR Part 503
- regulations, including time and temperature data indicating effective weed seed, pathogen, and insect larvae kill. · Compost shall be well decomposed, stable, and weed free.
- Refuse free (less than one percent by weight). • Free of any contaminants and materials toxic to plant growth.
- Inert materials not to exceed one percent by dry weight pH of 5.5 to 8.0.
- Carbon-nitrogen ratio not to exceed 100. • Moisture content not to exceed 45 percent by dry weight.
- Variable particle size with maximum dimensions of three inches in length, one-half inch in width and one-half inch in depth.

Table 1. Compost Particle Size

	Percent Passing	Sieve Size	
2-Inch Sieve	1-Inch Sieve	3/4-Inch Sieve	>1/4-Inch Sieve
100%	99%	90%	25%

Bonding Agents (optional)

Taclcifiers, flocculants, or microbial additives may be used to remove sediment and/or additional pollutants from storm water runoff. (All additives combined with compost materials should be tested for physical results at a certified erosion and sediment control laboratory and biologically tested for elevated beneficial microorganisms at a United States Compost Council, Seal of Testing Assurance, approved testing laboratory.)

Soil Material (optional)

Five percent to ten percent sandy loam (as classified by the U.S. Department of Agriculture soil classification system). Cover Density

Ninety percent or greater over the soil surface.

Anchoring Method

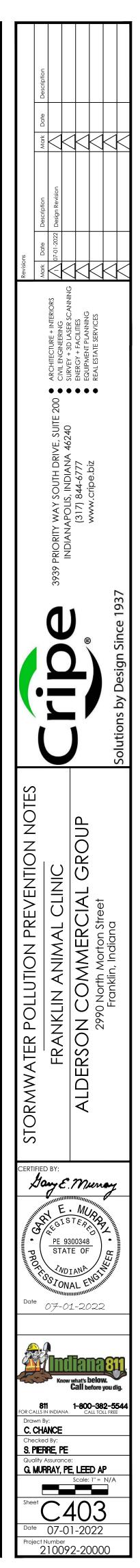
 Moisten compost/mulch blanket for a minimum of 60 days. • Erosion control netting (optional).

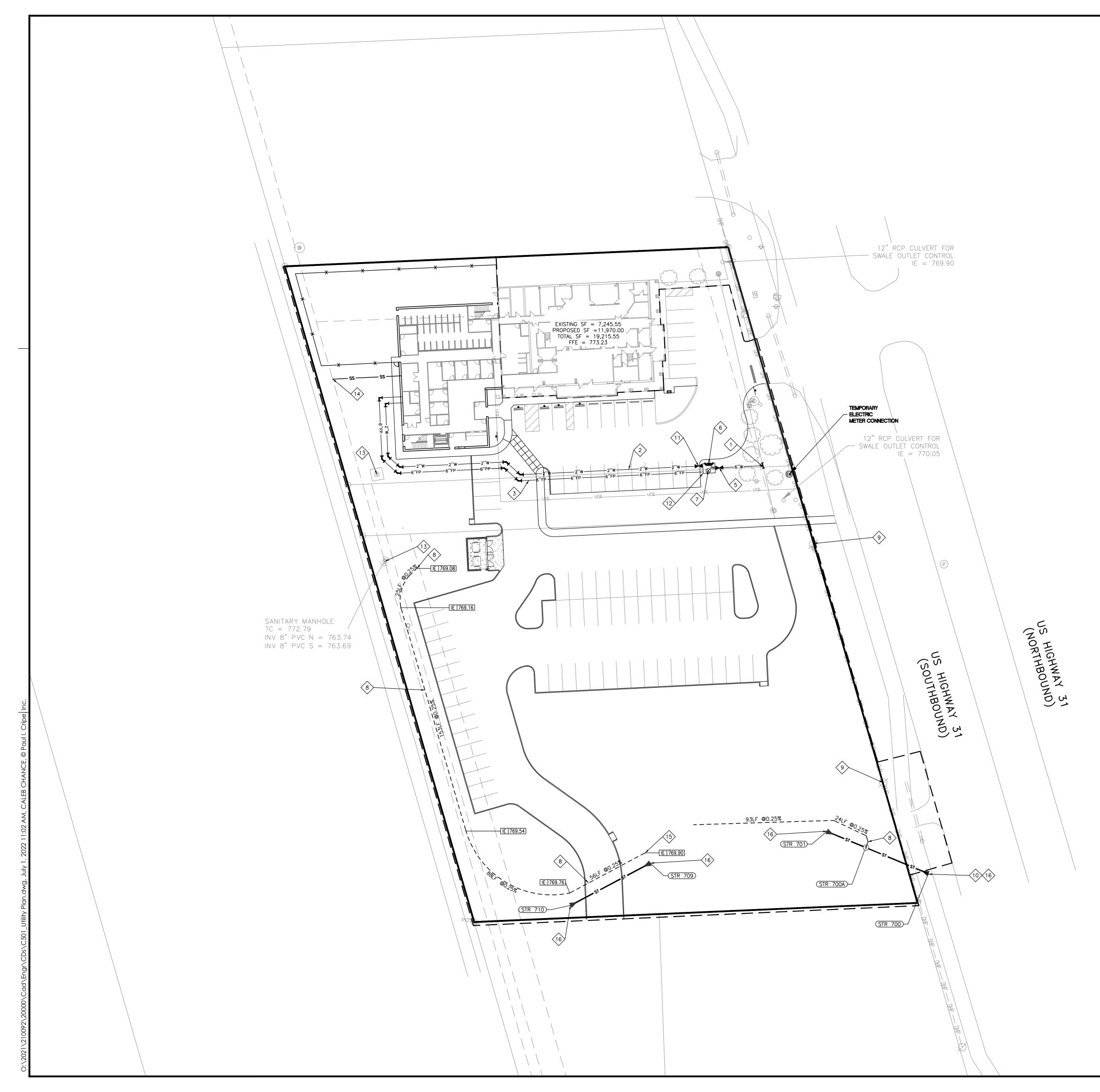
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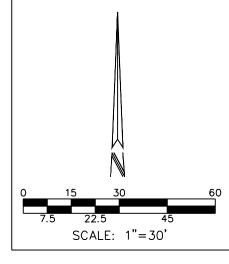
Table 2. Co	mpost Blanket	Thickness		
			Т	h:

Slope	2	Thickness of Compost Blanket	Thickness of Compost Blanket with Erosion Control Netting
< 25%	< 4:1	1 to 2 inches	Not Applicable
25% to 50%	4:1 to 2:1	1 to 2 inches	2 inches
> 50%	> 2:1	2 to 3 inches	3 inches
Application			

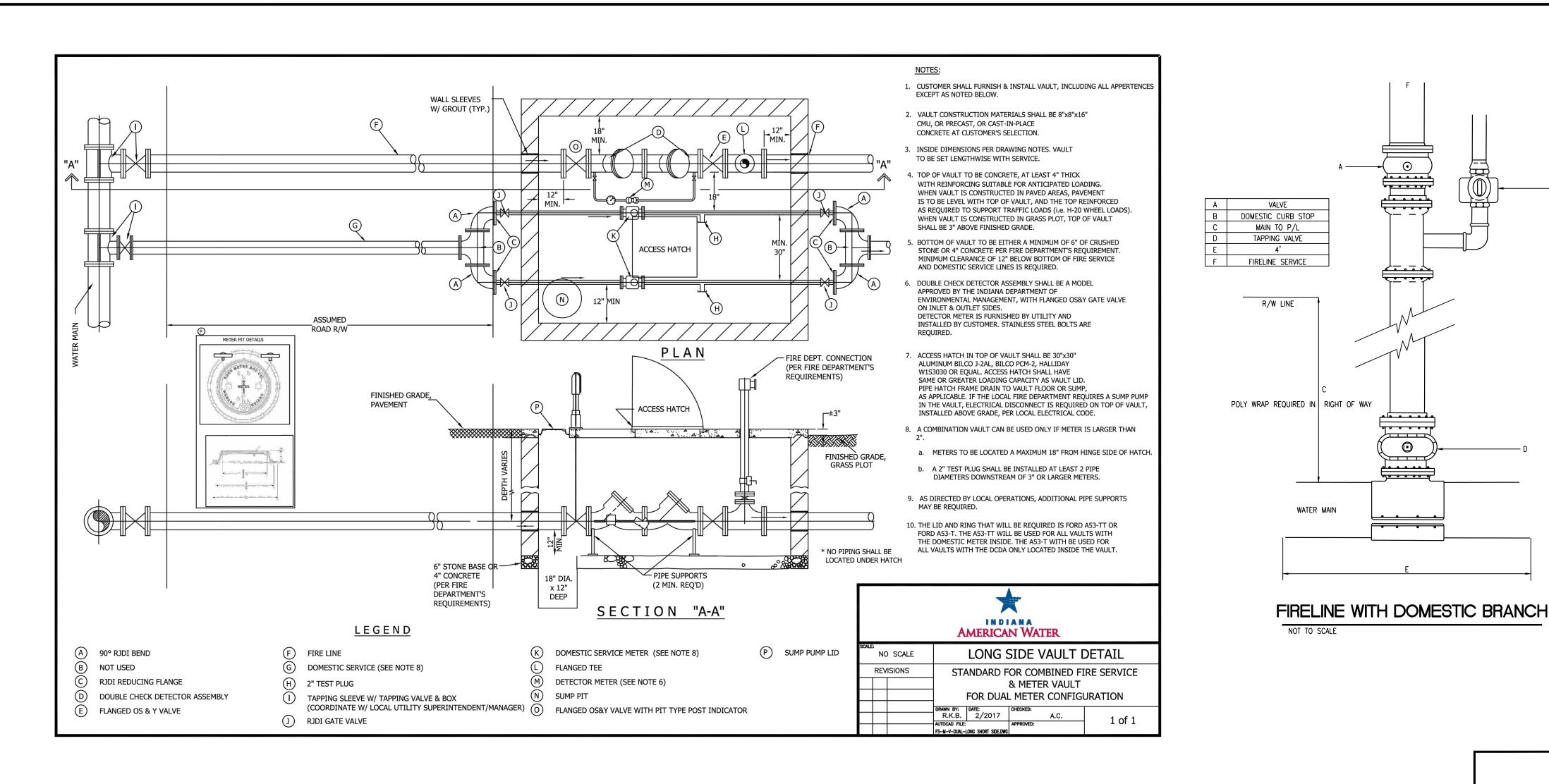
- 1. Remove existing vegetation, large soil clods, rocks, stumps, large roots, and debris in areas where compost mulch is to be applied and dispose of in designated areas. 2. Scarify sloping areas.
- 3. Aerate areas to be covered with compost/mulch blanket. (Proper aeration will require a minimum of two passes oriented in opposite directions.) 4. Broadcast a minimum of one pound of nitrogen (N), one-half pound of phosphorous
- (P205), and one-half pound of potash (K20) per 1,000 square feet or 300 to 400 pounds per acre of 12-12-12 analysis fertilizer, or equivalent, per acre. 5. Apply compost mulch blanket with a pneumatic blower or per manufacturer's directions.
- a. Apply within three days of completing aeration operations. b. Overlap top of slope shoulder by five to ten feet.
- c. Seed may be applied at time of installation. (Seed must be evenly blended into the compost if applied with a pneumatic blower or applied with a calibrated seeder attachment prior to installation of the compost blanket.)
- 6. Water compost mulch blanket for a period of 60 days following application. (On steeper slopes, it may be necessary to install erosion control netting over the compost blanket.) a. Mist blanket for first seven days and then every three days throughout the remainder of the 60-day period. b. Maintain a constant moisture content of 40 percent to 60 percent.
- Maintenance
- Inspect within 24 hours of a rain event and at least once every seven calendar days. • Repair eroded areas.
- Reseed, if applicable.
- Monitor vegetation and apply appropriate soil amendments (if needed) per a soil test.

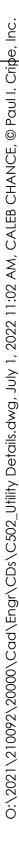


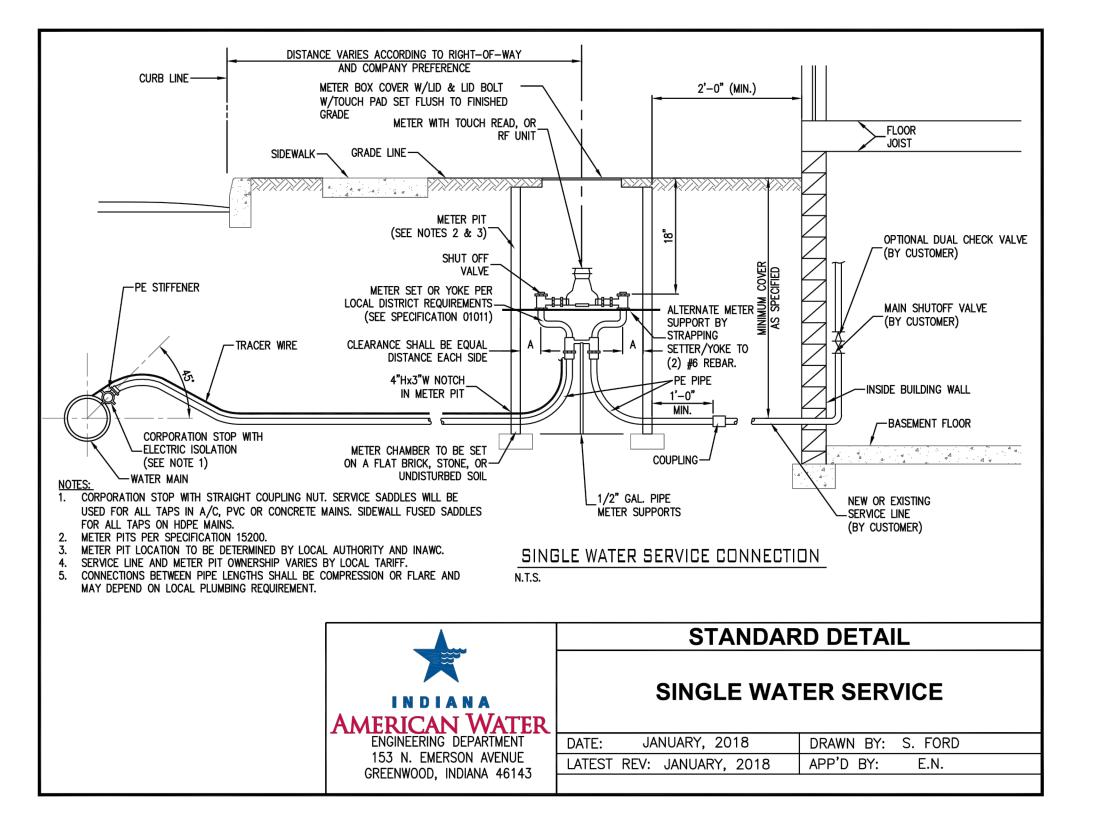


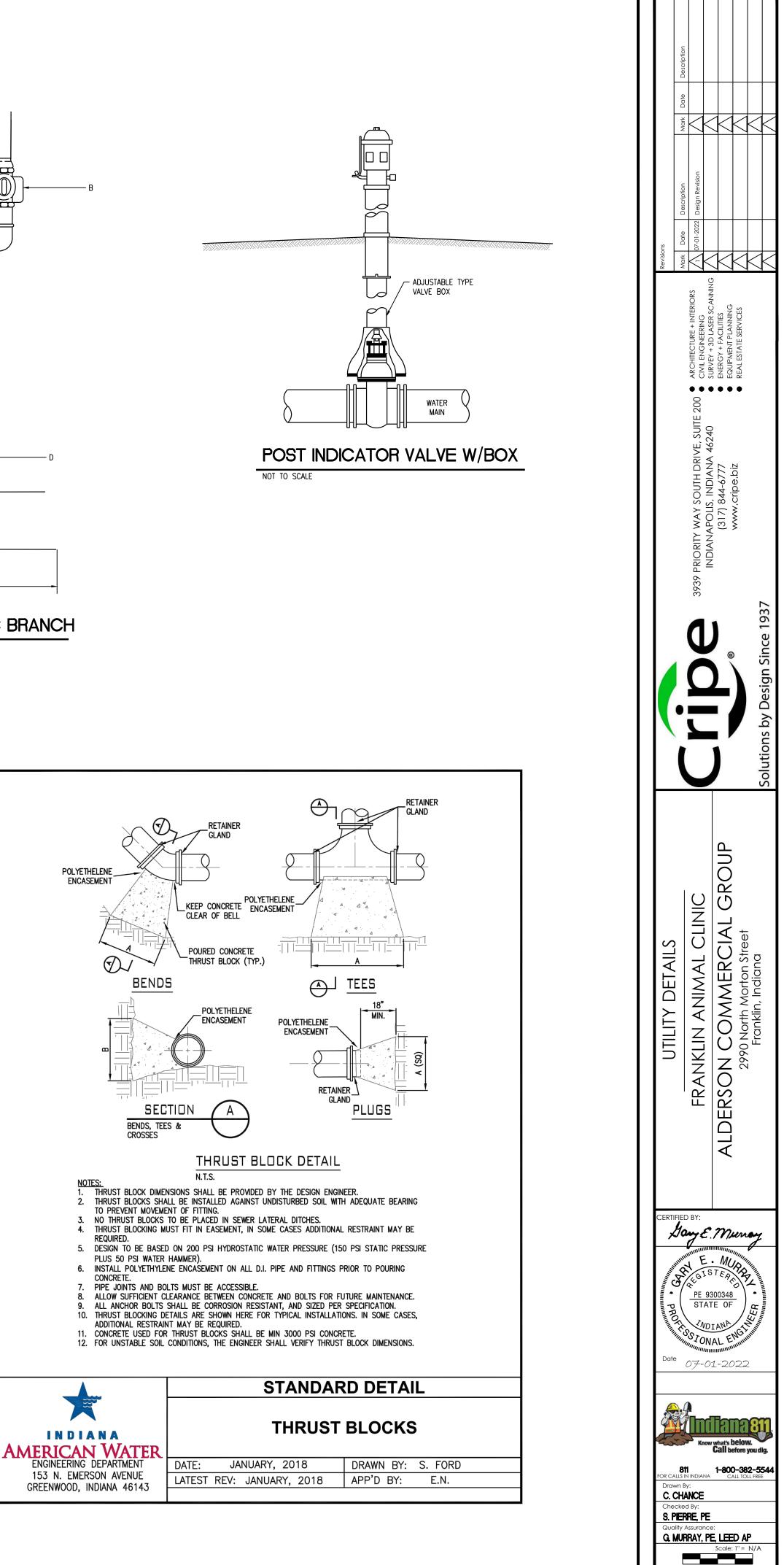


		UTILITY PLAN LEGEI	ND					
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		• WATER LINE, METER, VALVE • SANITARY SEWER, MANHOLE	ŀ ₩	"TEE" FITTING TAPPING SLEEVE & VALVE	ł	Date		
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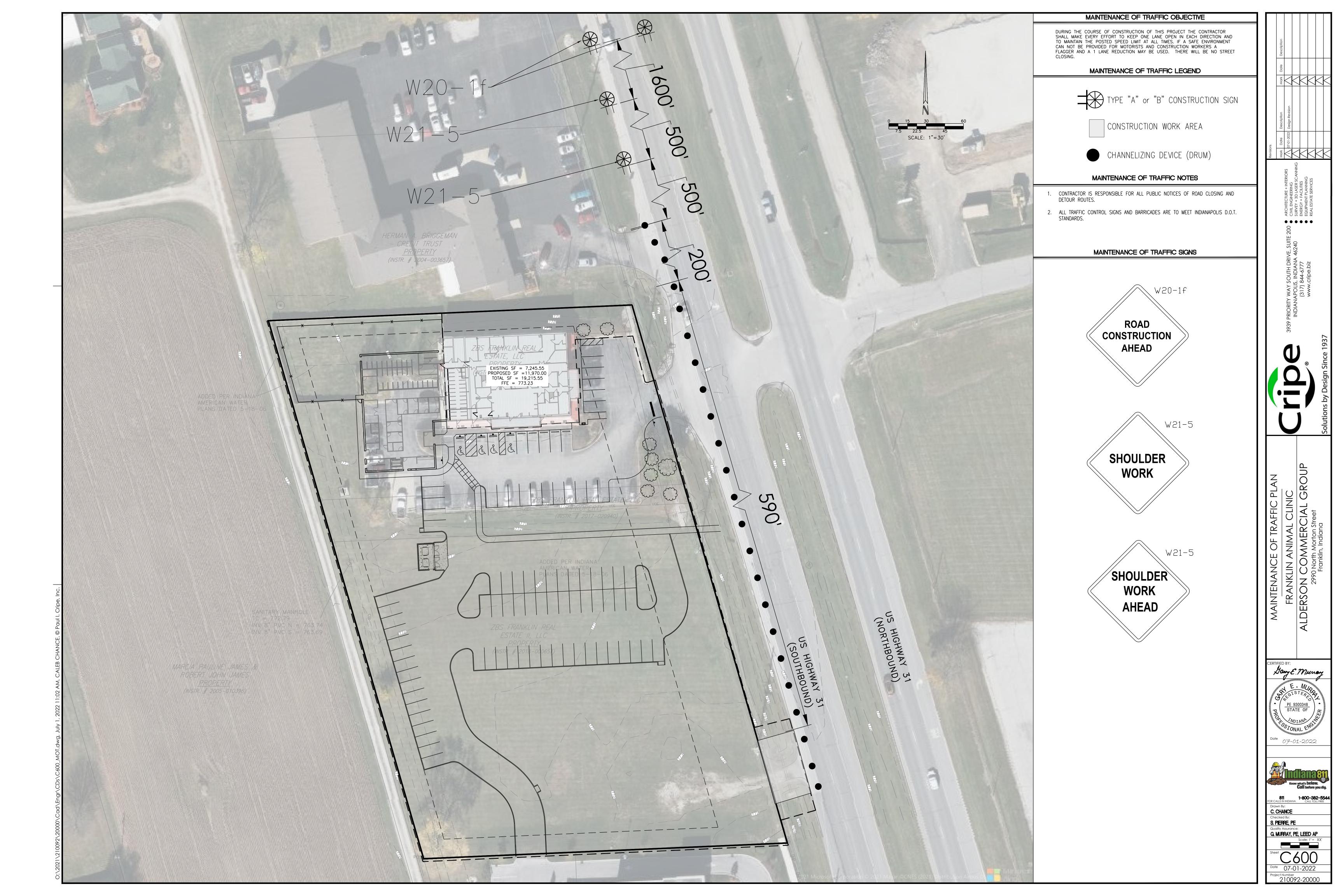


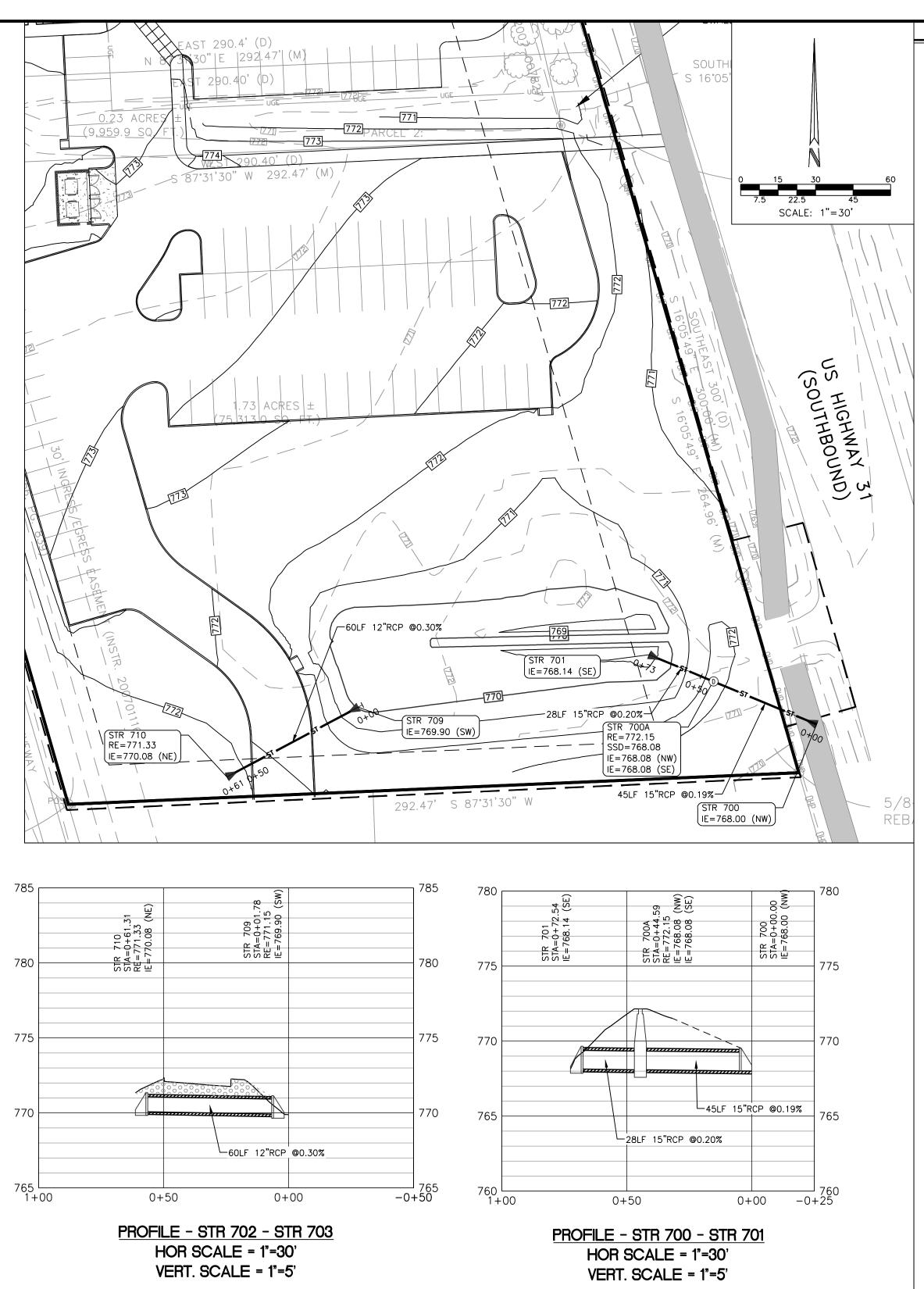


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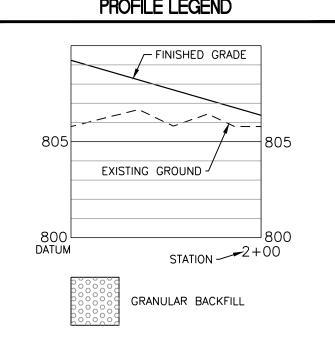
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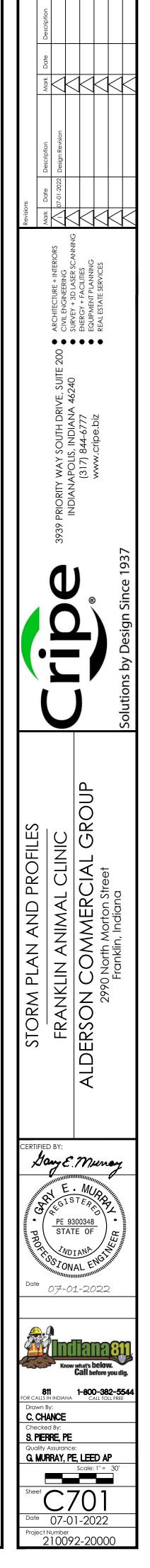


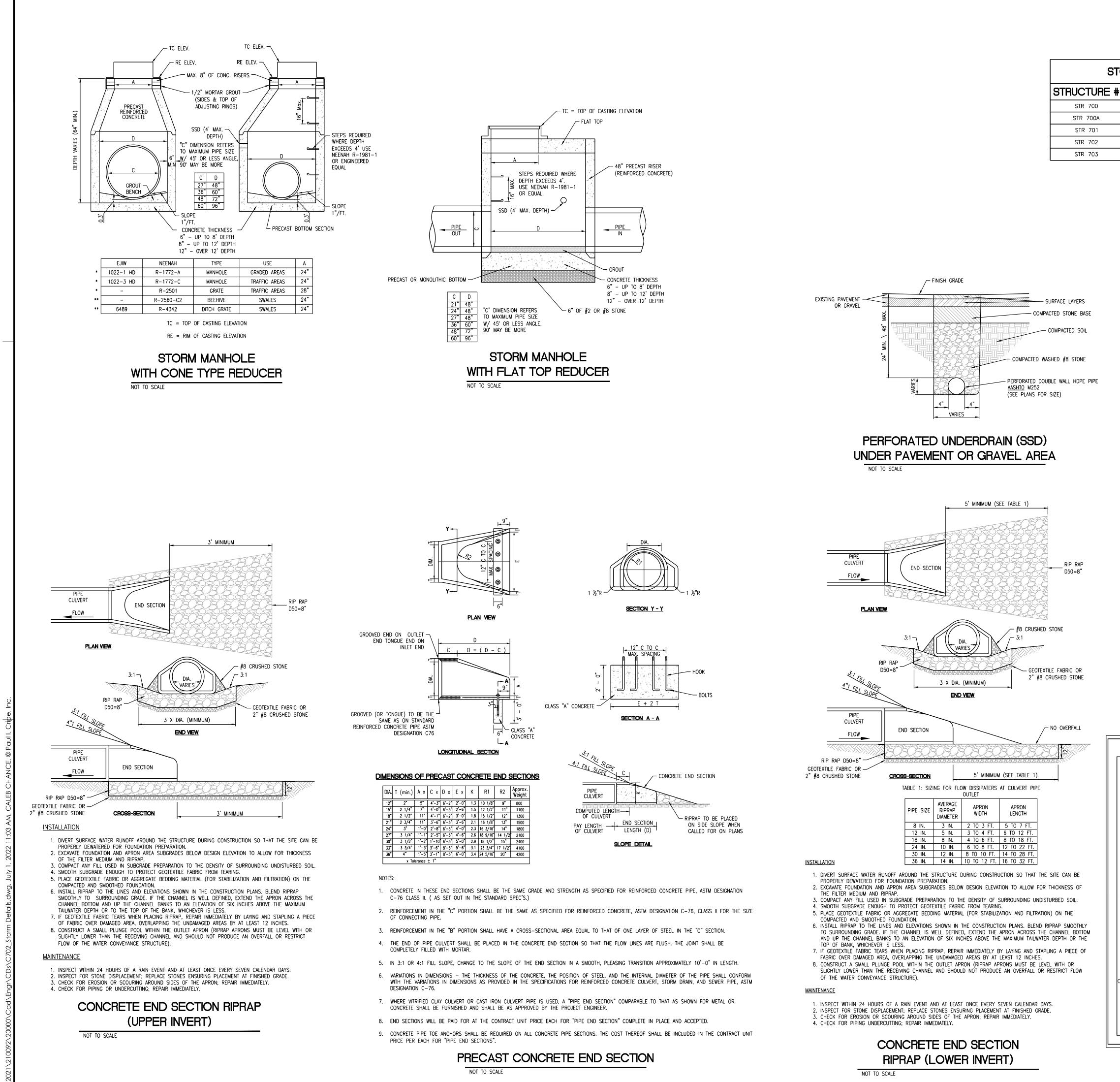
STORM SEWER PLAN AND PROFILE GENERAL NOTES

- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- 2. IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- 3. ALL STRUCTURES SHALL HAVE CASTINGS, JOINTS, LIFT RINGS, STEPS AND PIPE CONNECTIONS WELL GROUTED, TROWELED SMOOTH AND BRUSH FINISHED.
- 4. ALL STRUCTURES (IE: MANHOLES, INLETS) SHALL HAVE POURED FLOW LINES AND BENCH WALLS. THE FLOW LINES AND BENCH WALLS SHALL BE TROWELED SMOOTH AND BRUSH FINISHED.
- . FIELD ADJUSTMENTS OF TOP OF CURB (TC) OF STRUCTURES MAY BE REQUIRED TO MEET FIELD CONDITIONS. ADJUSTMENTS EXCEEDING FIVE TENTHS (0.5) OF A FOOT MUST BE APPROVED BY THE ENGINEER TO DETERMINE THE INTEGRITY OF THE STRUCTURE, AT NO COST TO THE OWNER.
- STORM STRUCTURES WITH INLET CASTINGS SHALL BE SET TO MAINTAIN A POSITIVE DRAINAGE FLOW INTO THE STRUCTURE.
- STORM PIPE INVERTS AT OUTLET STRUCTURES (IE: END SECTIONS), AND PIPE LENGTHS MAY REQUIRE FIELD ADJUSTMENTS TO MEET ACTUAL FIELD CONDITIONS.
- 8. FULL DEPTH GRANULAR BACKFILL SHALL BE REQUIRED UNDER AND WITHIN (5) FEET OF ALL PAVED AREAS, INCLUDING CURBS, EDGE OF PAVEMENT, AND SIDEWALKS. 9. PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE
- END SECTIONS. 10. RIM ELEVATIONS (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER A STRUCTURE.
- 11. INVERT ELEVATION OF SUB-SURFACE DRAIN (SSD) AT STRUCTURE TO BE THREE (3) FEET BELOW RIM ELEVATION.
- 12. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- 13. NO BLASTING SHALL BE PERFORMED ON THIS SITE.
- 14. NO SEISMIC VIBRATING OPERATIONS WILL OCCUR ON THIS SITE.
- 15. STRUCTURES DEEPER THAN 4' MUST BE ACCESSIBLE WITH STEPS.
- 16. DEBRIS GUARD TO BE INSTALLED ON ALL OPEN ENDED INLETS.
- 17. ALL STORM SEWER, INCLUDING SSD, SHALL BE CLEANED AND TELEVISED AFTER ALL UNDERGROUND UTILITIES ARE INSTALLED.



PROFILE LEGEND



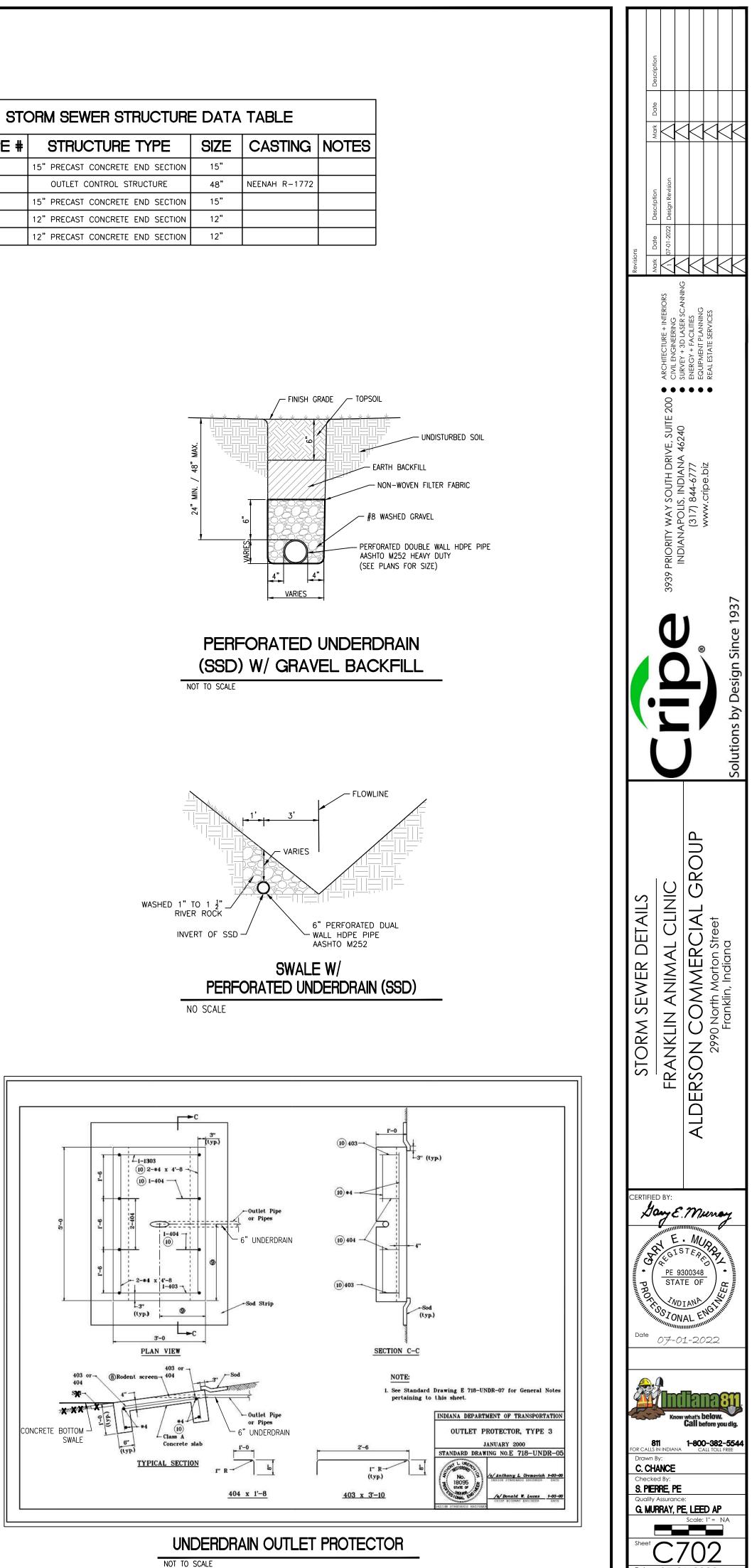


- NO OVERFALL

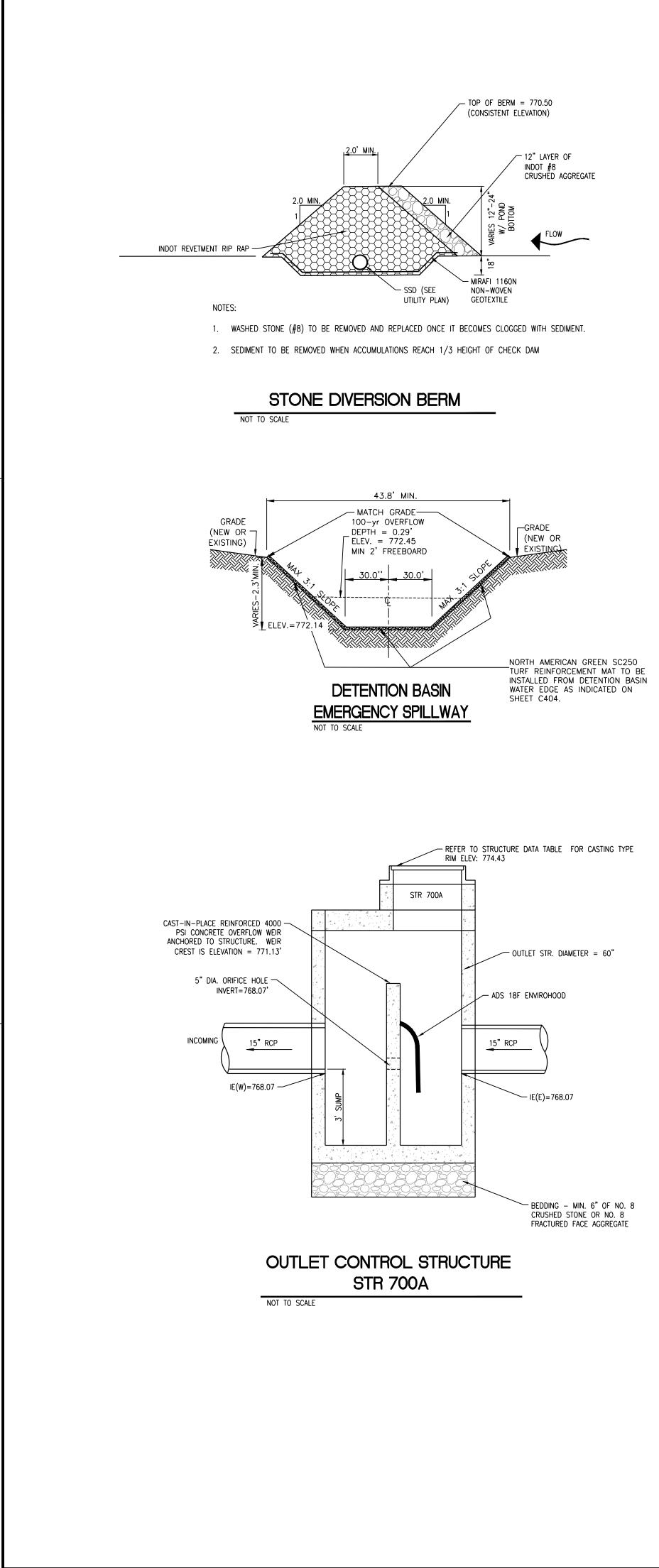
Ş	<u>3-SEC</u>	<u>CTION</u>		_	5 MINIMUN	N (SEE TABLE	1)
Γ.	ABLE	1: SIZ	ING FOR		DISSIPATERS JTLET	AT CULVERT F	PE
		0.75	AVERAG	GE	APRON	APRON	

PIPE SIZE	average Riprap Diameter	APRON WIDTH	APRON LENGTH
8 IN.	3 IN.	2 TO 3 FT.	5 TO 7 FT
12 IN.	5 IN.	3 TO 4 FT.	6 TO 12 F
18 IN.	8 IN.	4 TO 6 FT.	8 TO 18 F
24 IN.	10 IN.	6 TO 8 FT.	12 TO 22 F
30 IN.	12 IN.	8 TO 10 FT.	14 TO 28 F
36 IN	14 IN	10 TO 12 FT	16 TO 32 F

- 3. COMPACT ANY FILL USED IN SUBGRADE PREPARATION TO THE DENSITY OF SURROUNDING UNDISTURBED SOIL.
- 6. INSTALL RIPRAP TO THE LINES AND ELEVATIONS SHOWN IN THE CONSTRUCTION PLANS. BLEND RIPRAP SMOOTHLY TO SURROUNDING GRADE. IF THE CHANNEL IS WELL DEFINED, EXTEND THE APRON ACROSS THE CHANNEL BOTTOM
- AND UP THE CHANNEL BANKS TO AN ELEVATION OF SIX INCHES ABOVE THE MAXIMUM TAILWATER DEPTH OR THE 7. IF GEOTEXTILE FABRIC TEARS WHEN PLACING RIPRAP, REPAIR IMMEDIATELY BY LAYING AND STAPLING A PIECE OF

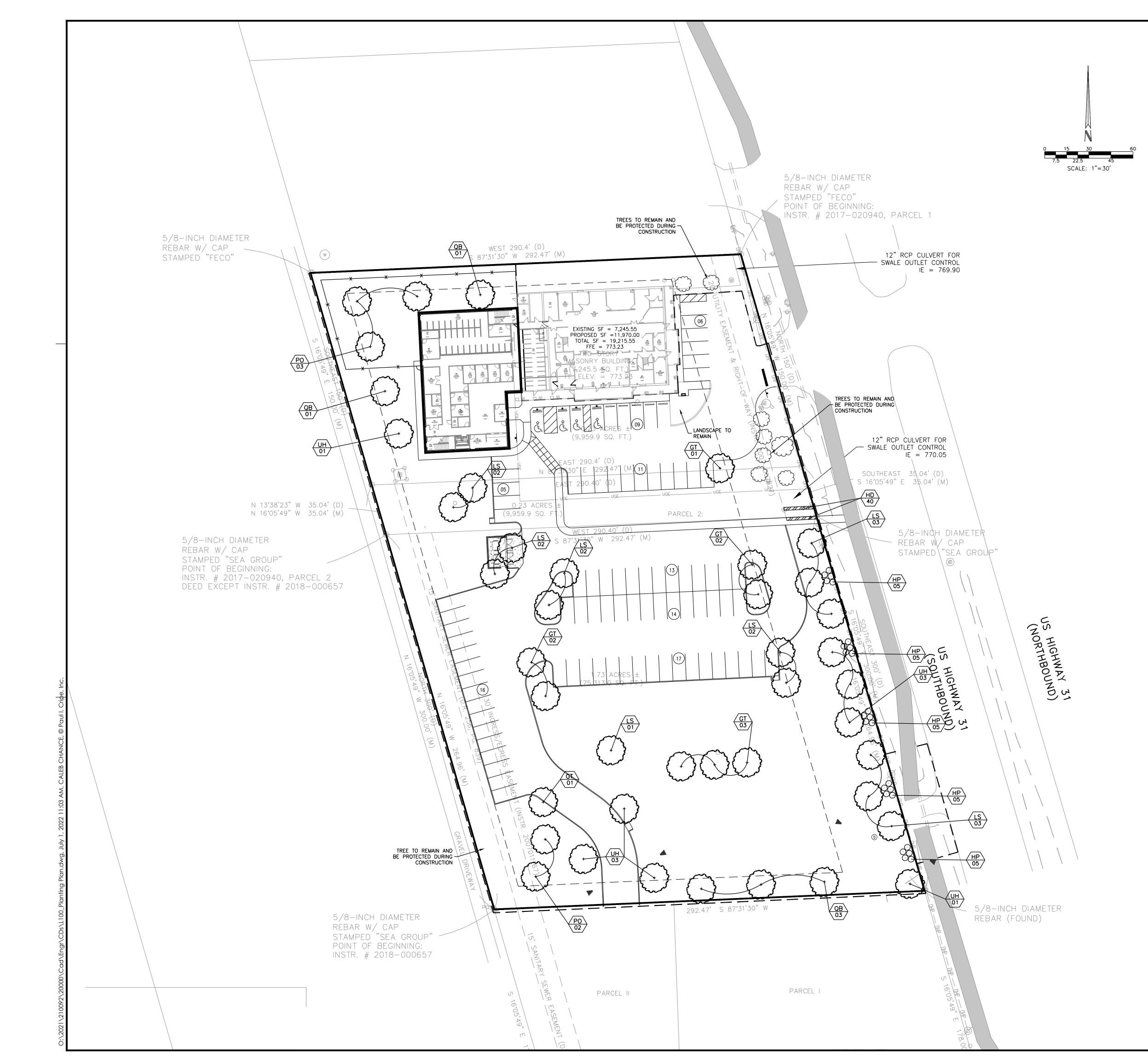


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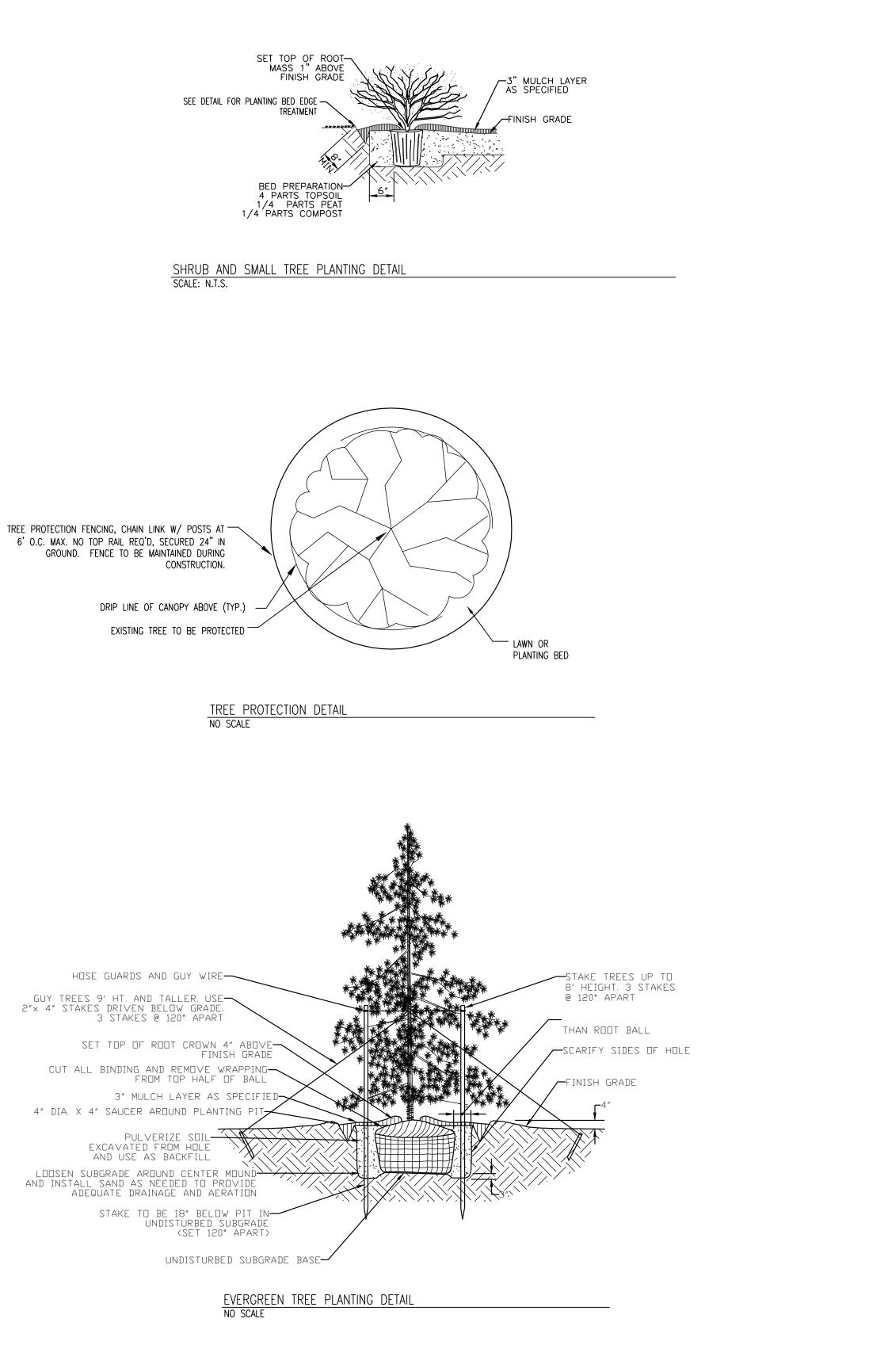


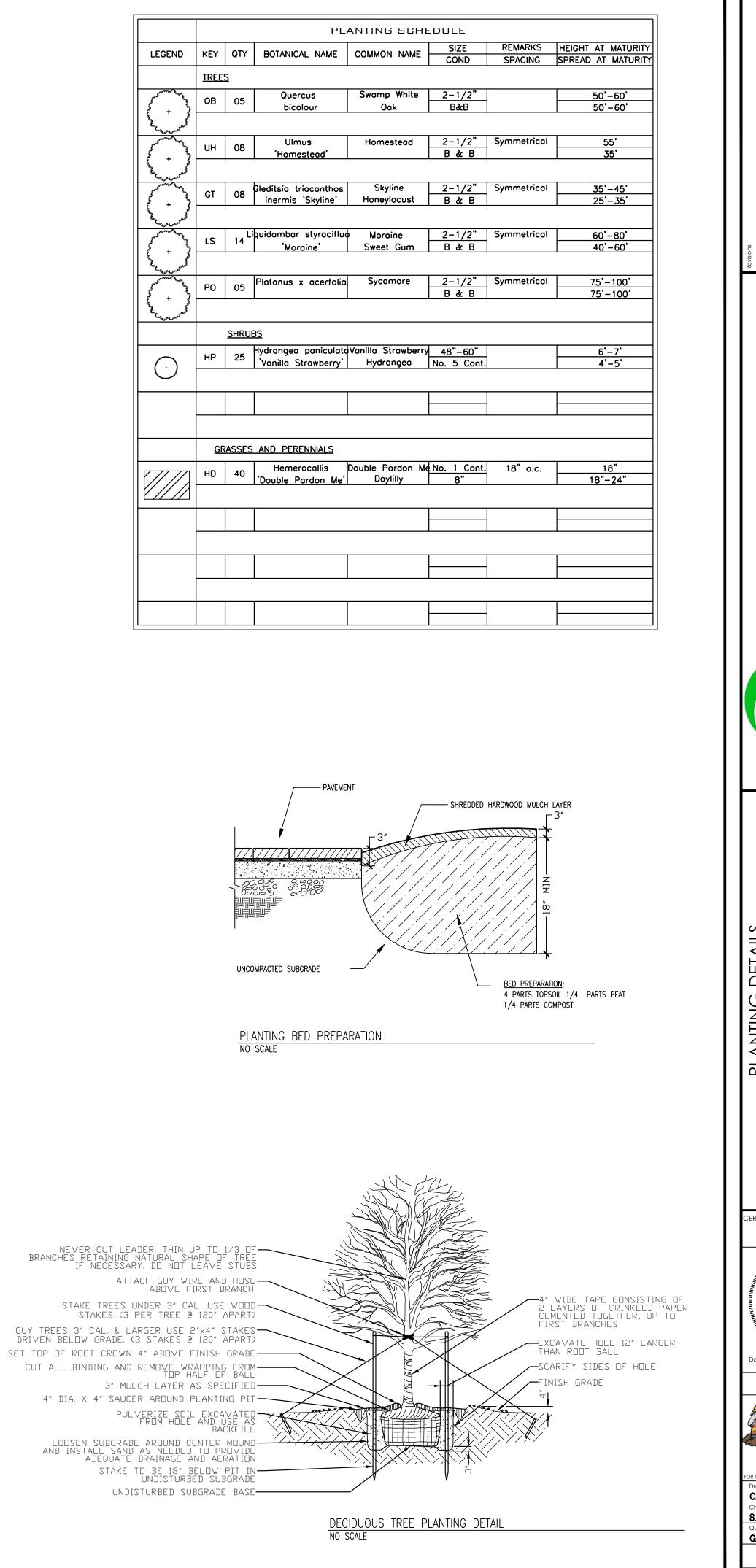
210092\20000\Cad\Engr\CDs\C702_Storm Details.dwg, July 1, 2022 11:03 AM, CALEB CHANCE, © Paul I. Criþe

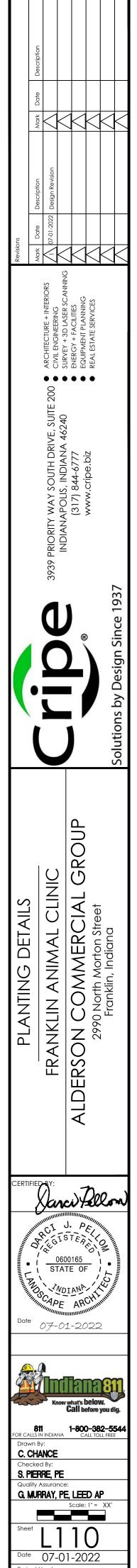
Revisions Mark Date Decription Mark Date Decription			
	3939 PRIORITY WAY SOUTH DRIVE, SUITE 200 ARCHITECTURE + INTERIORS INDIANAPOLIS INDIANA 46240 CUILENGINEERING		
(•) () () () () () () () () () () () () ()	Solutions by Design Since 1937
STORM SEWER DETAILS	FRANKLIN ANIMAL CLINIC	ALDERSON COMMERCIAL GROUP	Franklin, Indiana
1 1 1	E SSION	MUP TERES 300348 TE OF AL ENGINE	THE NEER
FOR CALLS Drawn C. CH Checke S. PIE Quality	in Indiana By: ANCE ed By: RRE, PE Assurance	The second secon	you dig. 1 2–5544 LL FREE



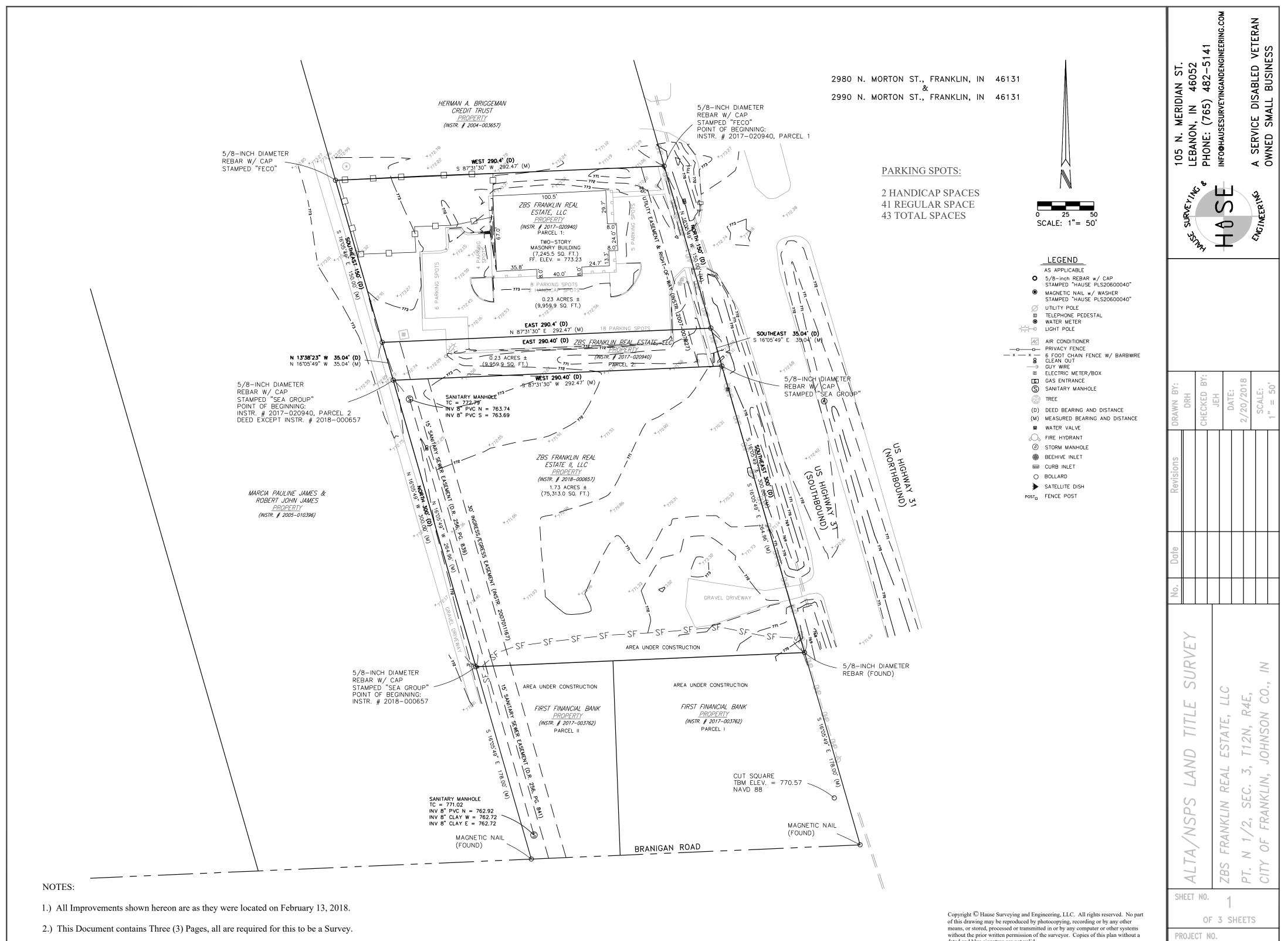
SITE PLAN LEGEND	_					
PROPERTY LINE PROPERTY LINE EASEMENT LINE RIGHT-OF-WAY CONSTRUCTION LIMITS X X		Mark Date Description				
BUILDING LIMITS		×				
SITE WORK GENERAL NOTES AND SPECIFICATIONS		Description	Design Revision			
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, STATE AND ANY OTHER REGULATORY AGENCIES PRIOR TO STARTING CONSTRUCTION. 		Date Des	-2022			
2. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.	Revisions	Mark Do	10-20		$\overline{\mathbf{k}}$	\mathbf{k}
 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY AND OBTAIN APPROVAL FROM EACH RESPECTIVE UTILITY COMPANY PRIOR TO PERFORMING ANY WORK ON OR IN THE VICINITY OF EXISTING UTILITIES LINES AND APPURTENANCES. 			ORS .		•	
4. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT; FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK. IT IS RECOMMENDED THAT THE DEVELOPER HAVE A QUALIFIED INSPECTOR ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.			ECTURE + INTERIORS IGINEERING + 3D I A SEP SCANN	ENTRY FACILITIES	AIE SERVICES	
5. ALL QUANTITIES GIVEN ON THE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR.			ARCHITECTURE CIVIL ENGINEER	ENERGY	keal esi	
6. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.			200		•	
 EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER. 			VE, SUITE 200 46240	2		
8. IT IS ESSENTIAL THAT THE WORK TO BE COMPLETED IN CONJUNCTION WITH THIS PROJECT SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS. THE ENGINEER WILL BE REQUIRED TO CERTIFY TO CERTAIN PORTIONS OF THIS PROJECT UPON COMPLETION. THEREFORE, IT IS NECESSARY TO OBTAIN APPROVAL AND ACCEPTANCE BY THE CITY THAT CONSTRUCTION WAS COMPLETED IN COMPLIANCE WITH THESE PLANS AND SPECIFICATIONS.			PRIORITY WAY SOUTH DRIVE, INDIANAPOLIS INDIANA 46	(317) 844-6777 www.cribe.biz	- - -	
9. LOCATIONS & ELEVATIONS OF "FLOODWAY LIMITS" AND "100 YEAR FLOOD LIMITS" ARE SHOWN FOR REFERENCE ONLY. DEVELOPER/BUILDER/INDIVIDUAL LOT OWNER TO REFER TO NATIONAL FLOOD HAZARD INSURANCE MAP (F.E.M.A.) TO DETERMINE FLOOD HAZARD POTENTIAL PRIOR TO PROJECT CONSTRUCTION.			RITY WAY SCIANAPOLIS	(317) 84 (317) 84 (317) 84		
1. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES	41		9 PRIO)		
SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. 2. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT			3939			37
"AMERICAN ASSOCIATION OF NURSERY STOCK 1996, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.		ĺ	1)		e 193
3. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.			X	œ		i Since
 ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN 1"-2" ABOVE GRADE OR AS IN THE CONTAINER. ROOT FLARE SHOULD BE VISIBLE AT PLANTING COMPLETION. ALL PLANTS SHALL BE PALLED AND WRAPPED OR CONTAINER CROWN AS SPECIFIED. 				ב		Design
5. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. ALL TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDELING OF TREE.						olutions by D
6. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.						Soluti
7. THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.						0,
 THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE 						
CALENDAR YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE AND MAINTAIN PLANT MATERIAL FOR 3 MONTHS AFTER PROVISIONAL ACCEPTANCE.				DUP		
10. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL TAKE PRECEDENCE.			()	GR(
11. CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.				<pre></pre>	+	
 STAKES AND GUY WIRES SHALL BE REMOVED AFTER ONE YEAR. ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEFAULT OF UNSATIFACTORY BY LANDSCAPE ABOUTECT WILL DEF 	<		C	S S	Stree	כ
MATERIAL DEEMED DEAD OR UNSATIFACTORY BY LANDSCAPE ARCHITECT WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO THE OWNER. 14. ALL EXISTING LANDSCAPING SHALL BE PRESERVED: NO SOIL STOCKPILING OR STRIPPING,			ANIMA	AER	orton	וחוחו
NO EQUIPMENT OR MATERIAL STORAGE SHALL BE ALLOWED. AN ORANGE CONSTRUCTION FENCE SHALL BE CONSTRUCTED TO A DISTANCE OF NO LESS THAN 10 FEET OUTSIDE THE DRIP LINE OF THE EXISTING TREES. CONTACT LANDSCAPE ARCHITECT FOR ADDITIONAL INFORMATION.			•	COMMER	2990 North Morton Stree	רומרוגוות, וחמומחמ
15. IRRIGATION, IF REQUIRED, OF SITE LANDSCAPING TO BE COMPLETED DESIGN BUILD PER DIRECTION FROM OWNER. UNDERGROUND IRRIGATION SYSTEMS SHALL BE INSTALLED AND PROPERLY MAINTAINED AND OPERATED TO WATER PLANT MATERIAL IN ALL REQUIRED PLANTING AREAS.		L	FRANKLIN	\overline{O}	2990	-
16. ALL PLANTS BEDS SHALL RECEIVE AT MINIMUM OF 3" TOPSOIL AND 3" MINIMUM OF AA HARDWOOD BULK MULCH WITH NO DYES. MULCH MAY EXTEND ONE FOOT BEYOND PLANTS TO FORM THE EDGE OF THE PLANTING BEDS.				ALDERS		
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dated and blue signature are not valid.

CERTIFICATE OF SURVEY

I, the undersigned, hereby certify that this survey and the associated surveyor's report were executed under my supervision and to the best of my knowledge, information, and belief were performed in accordance with the current Indiana Minimum Survey Standards, 865 IAC 1-12, for the type of survey as indicated herein, on the following described real estate:

RECORD LAND DESCRIPTION: (INSTRUMENT NUMBER 2017-020940)

PARCEL 1: A part of the East Half fo the Northwest Quarter and a part of the West Half of the Northeast Quarter of Section 3, Township 12 North, Range 4 East, described as follows:

Beginning at a point 906.18 feet North and 1288.9 feet East of the Southwest corner of the East Half of the Northwest Quarter of said Section, Township and Range aforesaid, at a point on the West Right-of-way of U.S. Highway 31; thence Southeast upon and along the West line of said Right-of-way 300 feet to the Commencement; thence West 290.4 feet; thence Southeast parallel to the West line of said Right-of-way 150 feet; thence East 290.4 feet to a point of said West line of said Right-of-way; thence North upon and along said West Right-of-way line 150 feet to the Point of Commencement.

PARCEL 2: Part of the West Half of the Northeast Quarter and part of the East Half of the Northwest Quarter of Section 3, Township 12 North, Range 4 East:

Commencing at a point located 1258.35 feet East of the Southwest Quarter of the East Half of the Northwest Quarter on the South line thereof; thence North 13 degrees 38 minutes 23 seconds West a distance of 442.96 feet on and along a line parallel with the West Property line of U.S. Highway 31 to the Point of Beginning; thence continuing North 13 degrees 38 minutes 23 seconds West parallel with said West Right-of-way of said highway a distance of 35.04 feet; thence East a distance of 290.40 feet to said West Right-of-way line of said highway; thence Southeast upon and along said Right-of-way line of said highway a distance of 35.04 feet; thence West a distance of 290.40 feet to the Place of Beginning, containing 0.2273 acres, more or less.

RECORD LAND DESCRIPTION: (INSTRUMENT NUMBER 2018-000657)

Part of the West Half of the Northeast Quarter and part of the East Half of the Northwest Quarter of Section 3, Township 12 North, Range 4 East:

Beginning at a point located 1258.35 feet East of the Southwest corner of the East Half of the Northwest Quarter on the South line thereof; thence Northwest at approximately 15 1/2 degrees parallel with the West Property line of U.S. Highway No. 31 a distance of 178 feet to the Place of Commencement; thence continuing North parallel with said West property line of said highway 300 feet; thence East 290.4 feet to said West property line of said highway; thence Southeast upon and along said property line of said highway 300 feet; thence West 290.40 feet to the Place of Commencement.

EXCEPTING THEREFROM THE FOLLOWING:

Part of the West Half of the Northeast Quarter and part of the East Half of the Northwest Quarter of Section 3, Township 12 North, Range 4 East:

Commencing at a point located 1258.35 feet East of the Southwest Quarter of the East Half of the Northwest Quarter on the South line thereof; thence North 13 degrees 38 minutes 23 seconds West a distance of 442.96 feet on and along a line parallel with the West Property line of U.S. Highway 31 to the Point of Beginning; thence continuing North 13 degrees 38 minutes 23 seconds West parallel with said West Right-of-way of said highway a distance of 35.04 feet; thence East a distance of 290.40 feet to said West Right-of-way line of said highway; thence Southeast upon and along said Right-of-way line of said highway a distance of 35.04 feet; thence West a distance of 290.40 feet to the Place of Beginning, containing 0.2273 acres, more or less.

I further certify that points were found or set at the locations on the subject real estate, as shown, and that this survey correctly shows the location of all visible easements of which the undersigned has been advised, and all visible encroachments, if any, across the established survey lines.

2016 ALTA/NSPS LAND TITLE SURVEY CERTIFICATION

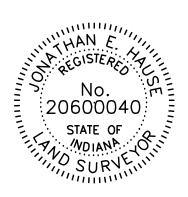
To ZBS Franklin Real Estate, LLC; ZBS Franklin Real Estate II, LLC; and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7a, 7b1, 8, 9, 11, 13, 16, 17, 18, 19 and 20 of Table A thereof.

The field work was completed on February 13, 2018

Date of Plat or Map, February 20, 2018

Jonathan E. Hause, P.L.S. Professional Land Surveyor Indiana No. LS20600040



This Document was prepared by Jonathan E. Hause, P.S. 20600040 on February 20, 2018.

I affirm, under penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law.

The purpose of this survey was to retrace and monument the ZBS Franklin Real Estate, LLC Parcel described in Instrument Number 2017-020940 and the ZBS Franklin Real Estate II, LLC Parcel described in Instrument Number 2018-000657, both as recorded in the Office of the Recorder of Johnson County, Indiana per instructions from the client.

There are no inconsistencies in lines of occupation.

- in I.A.C. 865.

SURVEYOR'S REPORT

In accordance with Title 865, Article 1, Rule 12, of the Indiana Administrative Code (formerly Title 864, Article 1.1, Chapter 13), establishing minimum standards for the practice of land surveying in Indiana, currently in effect, the following observations and opinions are submitted regarding the various uncertainties in the location of the lines and corners established on this survey as a result of:

a) Variances in the reference monuments;

b) Discrepancies in record descriptions and plats;

c) Inconsistencies in lines of occupation;

d) Random Errors in Measurement (Relative Positional Accuracy):

The survey was controlled by the following monuments:

1.) The monuments called for as found or set on a Survey by Mr. Brian C. Rismiller, P.S. 202000083, dated November 9, 2016. Uncertainty in these monuments - 0.50 feet.

2.) The monuments called for as found or set on a Survey by Mr. James A. Faetanini, P.S. 21400003, dated October 31, 2017. Uncertainty in these monuments - 0.50 feet.

3.) A 5/8-inch diameter rebar with plastic cap stamped "FECO" was found marking the Northeast corner of said ZBS Franklin Real Estate, LLC Parcel. This monument appears to have been set by Survey, however, none was found. Uncertainty in this monument - 0.75 feet.

4.) A 5/8-inch diameter rebar with plastic cap stamped "FECO" was found marking the Northwest corner of said ZBS Franklin Real Estate, LLC Parcel. This monument appears to have been set by Survey, however, none was found. Uncertainty in this monument - 0.75 feet.

The basis of bearings for this survey is based upon GPS Observations performed on February 13, 2018, with the West line of U.S. Highway 31, bearing South 16 degrees 05 minutes 49 seconds East.

Discrepancies in record descriptions and plats are as follow:

1.) The Record Descriptions contained in both parcels call for the East-West line 290.4 feet. This distance measures 292.47 feet between found monuments. These monuments agree with the current lines of occupation. This creates a deed discrepancy of 2.07 feet.

As a result of the above observations, it is my opinion that the uncertainties in locations of the lines and corners established on this survey are as follows:

a) Variance in reference monuments: As Noted Above

b) Discrepancies in record descriptions and plats: As Noted Above

c) Inconsistencies in lines of occupation: Negligible

d) Relative Positional Accuracy (RPA) of the corners of the subject tract established by this survey is within the specifications of an urban survey (+/- 0.06 feet plus 50 parts per million) as defined



1.) All Improvements shown hereon are as they were located on February 13, 2018.

2.) This Document contains Three (3) Pages, all are required for this to be a Survey.

105 N. MERIDIAN ST.	Set SURVEYA LEBANON. IN 46052	_				CONNEERING A JERVICE UIJABLED VEIERAIN	UWNEU SMALL BUSINESS
DRAWN BY:	DRH	CHECKED BY:	JEH	DATE:	2/20/2018	SCALE:	1" = 50'
Revisions							
Date							
No.							
SH	III ALTA/NSPS LAND TITLE SURVEY	NO. OF)	

ADDITIONAL ITEM:	POLICY NO. 8
1.) This Survey is based upon Title Commitment Policy No. 853771 and Title Commitment Policy NO.	1.) This Items i
868565B1, both by First American Title Insurance Company.2.) These parcels do not lie within a Special Flood Hazard Zone "A" per the Flood Rate Insurance Map (FIRM)	2.) The 15 foot located along th
panel 18081C0139D, dated August 2, 2007.	3.) The 20 foot
3.) There is evidence of recent earth moving work located South of the silt fence on the Southern portion of the Subject Parcel.	2007-007827, is hereon.
4.) There appear to be no plans for changes to the street right-of-way lines by the City of Franklin, or the State of Indiana.	4.) The 30 foot located from the
5.) No Wetland Delineation markers were found during the process of conducting the field work.	Western lines of
	5.) The H O Ca
	69.) These Ite
	10.) The 15 foo located along th
	11.) The 15 foo located along th
	1214.) These

AREA MAP	
	Г
C:\Users\Jon\Documents\WORK\18A025 - Alderson - 2980 Monton St, Franklin\dev.virtualearth.net.jpg SITE	

1.) This Items is Not a Survey Issues.

2.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 839, is located along the Western line of the ZBS Franklin Real Estate II, LLC Parcel as shown hereon.

3.) The 30 foot wide Ingress/Egress Easement recorded May 3, 2007 in Instrument Number 2007-011167, is located from the South line of the ZBS Franklin Real Estate Parcel to the center of Branigan Road along the Western lines of the adjoining parcels.

5.) The H O Canary Drain does not appear to be located on the Subject Parcel.

6.-7.) These Items are Not Survey Issues.

853771 O SCHEDULE B - PART II ITEMS:

is Not a Survey Issues.

t wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 839, is he Western line of the ZBS Franklin Real Estate II, LLC Parcel as shown hereon.

wide Utility Easement and Right-of-way recorded March 29, 2007 in Instrument Number is located along the Eastern line of the entire ZBS Franklin Real Estate LLC Parcel as shown

t wide Ingress/Egress Easement recorded May 3, 2007 in Instrument Number 2007-011167, is e South line of the ZBS Franklin Real Estate Parcel to the center of Branigan Road along the of the adjoining parcels.

anary Drain does not appear to be located on the Subject Parcel.

ems are Not Survey Issues.

ot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 839, is he Western line of the ZBS Franklin Real Estate II, LLC Parcel as shown hereon.

ot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 841, is he Western line of the First Financial Barn Parcel 2 as shown hereon.

Items are Not Survey Issues.

POLICY NO. 868565B1 SCHEDULE B - PART II ITEMS:

4.) The 15 foot wide Sanitary Sewer Easement recorded April 10, 1990 in Deed Record 256, Page 841, is located along the Western line of the First Financial Barn Parcel 2 as shown hereon.

1.) All Improvements shown hereon are as they were located on February 13, 2018.

2.) This Document contains Three (3) Pages, all are required for this to be a Survey.

	HOSE N. MERIDIAN ST. 105 N. M					CNGINEERING A SERVICE DISABLED VETERAN OWNED SMALL BUSINESS		
DRAWN BY:	DRH	CHECKED BY:	JEH	DATE:	2/20/2018	SCALE: 1° = 50°		
Revisions								
Date								
No.								
ALTA/NSPS LAND TITLE SURVEY				ZBS FRANKLIN REAL ESIAIE, LLC	PT. N 1/2. SEC. 3. T12N. R4E.	CITY OF FRANKLIN, JOHNSON CO., IN		
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