

# SITE DEVELOPMENT PLANS FOR PROPOSED INDIANA MEMBERS **CREDIT UNION BRANCH**

FRANKLIN TOWNSHIP, JOHNSON COUNTY

Land Descri TRACT I: Part of the Southe described as follo Commencing at the thereof 422.03 fee the Point of Beginr line 151.74 feet; th the East side of ar minutes 38 second

TRACT II: Part of the Southe described as follo

Commencing at th thereof 570.24 fee East on and along this described tra degrees 38 minute angles from the c 1936: thence Nor distance of 88.65 thence North 68 d minutes 43 secon of Drake Road; the

Topographic N The topograph station and dat elevations on interpolation of interval. The s

All elevations of Transportati and informatio

|  | 13   | 14   | 15  |  |  |
|--|--|--|---|--|--|
|  |  |  |   | Land<br>(<br>494 (<br>Phone<br>www.sea   | Surveyors A Civil Design<br>Surveyors A Civil Design<br>Construction Layout<br>Gradle Drive Carmel, Indiana 46032<br>: 317.844.3333 Fax: 317.844.3383<br>agrouplic.com info@seagrouplic.com  |
| ,  |  |  |   | PROPC<br>1073                            | DSED NEW IMCU BRANCH<br>W. JEFFERSON STREET<br>FRANKLIN, IN 46131  |
|  |  |  |   | PROJE                                    | CT LOCATED IN:<br>ON 15 - TOWNSHIP 12 NORTH -<br>RANGE 4 EAST<br>FRANKLIN TOWNSHIP,<br>JOHNSON COUNTY  |
| P  | ROJECT CONTAC<br>WNER CONTACT INFORM   | TS<br>ATION:<br>UNION  |   | (  | COVER SHEET  |
| J(<br>5 <sup>-</sup><br>IN<br>(3<br>C<br>R<br>BI<br>5 <sup>-</sup><br>(3<br>(3               | DHN NEWITT, SENIOR VIC<br>103 MADISON AVENUE<br>101ANAPOLIS, IN 46227<br>17) 248.8556<br>ONTRACTOR CONTACT IN<br>BEAMAN ASSOCIATES, IN<br>LL BEAMAN<br>142 MADISON AVENUE, SL<br>101ANAPOLIS, IN 46227<br>17) 442-7867<br>ITY OF FRANKLIN: | E PRESIDENT<br>IFORMATION:<br>NC.<br>IITE 4  |   | PREPA                                    | RED FOR:<br>DIANA<br>mbers Credit Union<br>5103 MADISON AVENUE<br>INDIANAPOLIS, IN 46227<br>317.248.8556<br>ATE REV DESC   |
| D<br>7(<br>(8<br>N<br>T  | EPARTMENT OF PLANNIN<br>D E. MONROE STREET FR<br>177) 736-3631<br>ESIGN DATA:<br>UMBER OF LOTS: 1<br>DTAL PROPERTY AREA: 0   | G & ENGINEERING<br>ANKLIN, IN 46131<br>.874 ACRES  |   |  | ATE REV. DESC.  3/09/19 TECHNICAL REVIEW COMMENTS  |
| T  | OTAL DISTURBED AREA: (   | ).75 ACRES   |   |  | DRAWING LEGEND   |
| L<br>W<br>IN<br>15<br>3  | ITILITY CONTACTS<br>/ATER:<br>IDIANA AMERICAN WATE<br>53 N. EMERSON AVE.<br>REENWOOD, IN 46143<br>17-885-2426  | ELECTRIC:<br>R DUKE ENERG`<br>2727 CENTRA<br>COLUMBUS, II<br>PH: 800.521.22  | Y<br>L AVENUE<br>NDIANA 47201<br>232  | NUMBER<br>C1.0                           | DESCRIPTION<br>COVER SHEET<br>ALTA / NSPS LAND<br>TITLE SURVEY SHEET 1 OF 1<br>SITE PLAN   |
| P<br>M<br>D<br>79<br>F   | UBLIC STREETS:<br>/ASTEWATER:<br>EPARTMENT OF PUBLIC<br>96 S. STATE STREET<br>RANKLIN, INDIANA 46131<br>H: 888.736.6709  | TELEPHONE:<br>CENTURY LIN<br>WORKS 50 N. JACKSO<br>FRANKLIN, IN<br>PH: 800.261.16  | K<br>N STREET<br>46131<br>391   | C3.0<br>C4.0<br>C4.1                     | GRADING PLANSTORMWATER POLLUTION<br>PREVENTION PLANSTORMWATER POLLUTION<br>PREVENTION PLAN NOTES   |
| F<br>18<br>P   | IRE DEPARTMENT:<br>800 THORNBURG LANE<br>RANKLIN, INDIANA 46131<br>H: 888.736.3650   | CABLE:<br>COMCAST CA<br>1470 JACKSON<br>COLUMBUS, II<br>PH: 800.934.64   | BLE<br>N STREET<br>N 47201<br>489   | C4.2<br>C5.0                             | STORMWATER POLLUTION<br>PREVENTION PLAN DETAILS<br>SITE UTILITY PLAN   |
| p <b>tion</b><br>ast Quarter   | of Section 15, Township 12 North   | , Range 4 East of the Second Princip   | oal Meridian in Franklin, Indiana,  |  |  |
| vs:<br>e Southwe<br>t: thence S<br>ning of this<br>ence North<br>e existing w<br>ds West alc | st corner of said Quarter Section;<br>outh 89 degrees 49 minutes 38 se<br>described tract; thence North 0 de<br>a 85 degrees 19 minutes East 192<br>ood fence 168.02 feet to the South<br>ng the South side of an existing w               | thence North 0 degrees 56 minutes V<br>conds East 41.13 feet to the East rig<br>grees 42 minutes 18 seconds West of<br>37 feet; thence South 0 degrees 30 r<br>neast corner of a wood corner post; th<br>ood fence 191.74 feet to the Point of | Vest on and along the West line<br>ht-of-way line of Drake Road and<br>on and along the said right-of-way<br>ninutes 23 seconds East along<br>hence North 89 degrees 49<br>Beginning. |  | CERTIFIED BY:  |
| ast Quarter<br>/s:<br>e Southwe<br>t to the South<br>the South<br>t; thence N                | of Section 15, Township 12 North<br>st corner of said Quarter Section;<br>uthwest corner of a tract described<br>line of the said tract 41.81 feet to t<br>orth 85 degrees 19 minutes East   | , Range 4 East of the Second Princip<br>hence North 0 degrees 56 minutes V<br>in Deed Record 223, page 253; ther<br>he East right of way line of Drake Ro<br>192.37 feet to the Southeast corner o   | bal Meridian in Franklin, Indiana,<br>Vest on and along the West line<br>nce North 85 degrees 19 minutes<br>ad and the Point of Beginning of<br>if the said tract; thence North 0     |  | No. 10911288   |
| inter of the<br>nwesterly o<br>reet, said a<br>egrees 30 i<br>ds West on<br>ence South       | original location of the Old Plank F<br>n and along the said right of way I<br>rc being subtended by a chord bea<br>ninutes 52 seconds West on and a<br>and along the said right of way lin<br>0 degrees 42                                | Road as shown on reconstruction plai<br>ne on a curve to the right which has<br>aring North 74 degrees 04 minutes 36<br>along the said right of way line 71.35<br>e 47.97 feet to a right of way monum   | a radius of 456.88 feet a curved<br>s conds West 88.51 feet;<br>feet; thence South 58 degrees 06<br>ent on the East right of way line   |  | The state of |
| ote:<br>ic data w<br>a collecto<br>natural su<br>elevation<br>pot eleva                      | as gathered using standard<br>or. Elevations on hard surfa<br>irfaces are accurate to with<br>ns taken in the field and are<br>itions shown hereon are ba  | I radial surveying techniques a<br>aces or structures are accurat<br>n 0.1 feet. Contours are plott<br>accurate to generally within a<br>sed on the location of those g  | with an Electronic total<br>e to within 0.05 feet,<br>ed based upon<br>one half the contour<br>enerated contours.   | DATE:<br>Approve<br>Drawn B<br>Date of I | 08/09/2019<br>ed By: BCR<br>By: CLH<br>Last Field Work: 06/21/2019   |
| shown he<br>on Contir<br>n regardi   | reon are based on NAVD88<br>nuously Operating Referencing this Network is available  | <b>3 datum</b> , as derived from using<br>the Stations (InCORS) Netwo<br>at the following web address:   | g the Indiana Department<br>ork. Datum is NAVD88<br>http://incors.in.gov  | Date Plo<br>Refe<br>Proje                | erence #: C19-4943<br>ect Number:  |
|  |  | <b>811</b> Know  | w what's <b>below.</b><br>Call before you dig.  | She                                      | M19-4944<br>et Number :  |

15



|          | 13                                    | 14            | 15 |  |   |  |  |  |
|----------|---------------------------------------|---------------|----|--|---|--|--|--|
|          |                                       |               |    | <b>Solution</b><br><b>Land Surveyors A Civil Design</b><br><b>Construction Layout</b><br>494 Gradle Drive Carmel, Indiana 46032<br>Phone: 317.844.3333 Fax: 317.844.3383<br>www.seagroupIlc.com info@seagroupIlc.com |   |  |  |  |
|          |                                       |               |    | <sup>.</sup> 073 W Je  | efferson StreetFranklin, Indiana  |  |  |  |
|          |                                       |               |    | PROJE  | CT LOCATED IN:  |  |  |  |
|          |                                       |               |    | SECTION 1  | 5 - TOWNSHIP 12 NORTH - RANGE 4 EAST  |  |  |  |
|          |                                       |               |    | FRAN   | IKLIN TOWNSHIP, JOHNSON COUNTY  |  |  |  |
|          |                                       |               |    | LAN  | ALTA/NSPS<br>ND TITLE SURVEY  |  |  |  |
|          |                                       |               |    | PREPA  | RED FOR:  |  |  |  |
|          |                                       |               |    | Inc  | diana Members Credit union<br>5103 Madison Ave  |  |  |  |
|          |                                       |               |    | Ir   | ndianapolis, Indiana 46227  |  |  |  |
|          | <del>0</del> 0vhd                     |               |    | REV. # D   | ATE REV. DESC.  |  |  |  |
| / 30     | )<br>at right angles to original      |               |    | · ···  |   |  |  |  |
|          | Nono°38'23" W                         |               |    |  |   |  |  |  |
|          | <b>5.87'</b><br>SW Cor DR 223, pg 253 |               |    |  |   |  |  |  |
|          |                                       |               |    | xxxx   | $ \times \times EXISTING METAL-TYPE FENCE EXISTING WOOD-TYPE FENCE$   |  |  |  |
| JGE      |                                       |               |    | COM CO<br>   | DM  |  |  |  |
|          |                                       |               |    | OVHD   |   |  |  |  |
|          |                                       |               |    |  | B.S.L. = BUILDING SETBACK LINE<br>EASEMENT (AS NOTED)<br>REAL ESTATE LINES (AS NOTED)   |  |  |  |
|          |                                       |               |    | (P) = PLATTED BEAF   | SOBJECT REAL ESTATE SURVET LINE (AS NOTED)         EXISTING CONC. CURB (AS NOTED)         CONTOURS - MAJOR INTERVAL         CONTOURS - MINOR INTERVAL         CONTOURS - MINOR INTERVAL         RING AND DIMENSION         (C) = CALCULATED BEARING AND DIMENSION         ING AND DIMENSION         (M) = MEASLIRED BEARING AND DIMENSION |  |  |  |
|          | Kirkendal<br>Inst.                    |               |    |  | CONDITIONER - SIGN  |  |  |  |
|          | Investmen<br>#2013-1600               |               |    | <ul> <li>BOLLA</li> <li>➡ TRAFFI</li> <li>➡ GROUN</li> </ul>   | IC SIGNAL POLE<br>→ LIGHT POLE<br>ND LIGHT ELECTRIC METER   |  |  |  |
|          | 168 D2                                |               |    | MH MANH  | POLE THE CURB INLET   |  |  |  |
|          |                                       |               |    | J GUY W  | WIRE WATER METER  |  |  |  |
|          |                                       |               |    | 【C】 COMMU<br>き、 HANDIC   | JNICATIONS UTILITY<br>CAPPED PARKING SPOT   |  |  |  |
| h        |                                       |               |    | VICINI   | TY MAP - NOT TO SCALE   |  |  |  |
|          |                                       |               |    |  |   |  |  |  |
| ACCESS • |                                       |               |    |  | ns 3  |  |  |  |
| -İ       |                                       |               |    | SR 44  | SR 144  |  |  |  |
|          |                                       |               |    |  | Hospital Rd<br>Youngs Creek   |  |  |  |
|          |                                       |               |    |  |   |  |  |  |
|          |                                       |               | l  | Approve  | d By: BCR   |  |  |  |
|          |                                       |               |    | Drawn B<br>Date of L   | BS Last Field Work: 2/20/2018   |  |  |  |
|          | GRAPHIC                               | SCALE         |    | Refe   | erence #:   |  |  |  |
| ▝▃▝▀     |                                       | 40            |    | Proie  | ect Number:   |  |  |  |
|          | ( IN FE<br>1 inch =                   | ET)<br>20 ft. |    |  | C10 1505  |  |  |  |
|          |                                       |               |    | Shee   | et Number :   |  |  |  |
|          |                                       |               |    |  | 1 of 1  |  |  |  |



| 13 |  |
|----|--|

- COORDINATE WITH DUKE ENERGY TO ENSURE POWER FEED IS DISCONNECTED
- BASE WILL SUPPORT NEW POLE AND EXISTING POWER WILL BE COMPATIBLE WITH
- EXISTING WATER SERVICE TO BE TEMPORARILY SHUT OFF IN ACCORDANCE WITH

- ENTIRETY. EXISTING PIPE SHALL REMAIN IN PLACE. REFER TO UTILITY PLAN FOR



C1.1





![](_page_5_Figure_0.jpeg)

| 13  | 3  | 14   | 15  |  |  |  |  |  |
|---|--|--|---|--|--|--|--|--|
| EF  |  | NTROL NOTES:   | S E A Group   |  |  |  |  |  |
| 1.  | ALL CONSTRUC<br>STANDARDS AN<br>OR LOCAL REQ   | UTION METHODS AND MATERIALS<br>ND SPECIFICATIONS OF THE FEDE<br>UIREMENTS, WHICHEVER HAS JU  | Land Surveyors A Civil Design<br>Construction Layout  |  |  |  |  |  |
| 2.  | THE EXISTING I<br>CONTRACTOR<br>TO ENSURE SO   | ENTRANCE SHALL BE USED AS TH<br>SHALL SWEEP THE CONSTRUCTION<br>ILS AND DEBRIS ARE CLEARED F   | 494 Gradie Drive Carmel, Indiana 46032<br>Phone: 317.844.3333 Fax: 317.844.3383<br>www.seagrouplic.com info@seagrouplic.com |  |  |  |  |  |
|   | EXCAVATION.  | THERE SHALL BE REMOVAL OF E  |   |  |  |  |  |  |
| 4.  | ADDITIONAL EF  | ROSION AND SEDIMENT CONTROL<br>THE INSPECTOR.  | PROPOSED NEW IMCU BRANCH  |  |  |  |  |  |
| 5.  | ALL DISTURBEL  | O AREAS WITHIN THE CONSTRUCT<br>VN SHALL BE SEEDED AND STABIL  | LIZED.  | FRANKLIN, IN 46131   |  |  |  |  |
| 6.  |  | R TEMPORARY SEED MIX DETAIL.   | AN 14 DAYS MUST BE  |  |  |  |  |  |
|   | THIS LOT LIES<br>FLOOD INSURA<br>COMMUNITY N<br>02, 2007.  | MATION NOTE:<br>ENTIRELY IN FLOOD ZONE "X" AS<br>INCE RATE MAP (FIRM) FOR JOHN<br>UMBER, 18081C, PANEL NUMBER  | SECTION 15 - TOWNSHIP 12 NORTH -<br>RANGE 4 EAST<br>FRANKLIN TOWNSHIP,  |  |  |  |  |  |
|   | EROSIC   | N CONTROL CONTAC   | т   | JOHNSON COUNTY   |  |  |  |  |
|   | MR. BILL<br>317.442.7<br>WPBCon  | BEAMAN, R. Beaman Ass<br>7867<br>structors@comcast.net   | ociates, Inc.   | STORMWATER<br>POLLUTION PREVENTION   |  |  |  |  |
| STRUCTION ACT   | <u>IVITIES</u><br>UNDERGROUND P  | PLANT PROTECTION SYSTEMS, INC.   | ("HOLEY MOLEY") AT 811 TO   | PREPARED FOR:<br>INDIANA<br>Members Credit Union   |  |  |  |  |
| CK THE LOCATI<br>DRE CONSTRUC<br>T FENCE SHALL<br>ANY STORMWA<br>I. POTENTIAL AF  | Ion of an existif<br>Tion Begins.<br>Be installed at<br>Ter Runoff Ane<br>Reas are identifi                  | THE EDGES OF THE PROJECT SITE<br>AS DENOTED ON THE STORMWA   | WHERE THERE IS POTENTIAL<br>TER POLLUTION PREVENTION<br>PHY AROUND THE PERIMETER  | 5103 MADISON AVENUE<br>INDIANAPOLIS, IN 46227<br>317.248.8556                                |  |  |  |  |
| HE SITE.<br>LUATE, MARK A<br>TING VEGETATION<br>NSTRUCTION E<br>ABLISH CONSTR<br>ER INLETS AND<br>ALL TRASH DUM<br>PLANS. | AND PROTECT IM<br>ON SUITABLE FOR<br>INTRANCE SHALL E<br>RUCTION STAGING<br>SWALES AS POSS<br>MPSTER, CONCRE | PORTANT TREES AND ASSOCIATE<br>USE AS FILTER STRIPS ALONG THE<br>BE PLACED PER THE PLAN LOCATION<br>AREA FOR EQUIPMENT AND VEH<br>IBLE.<br>TE WASHOUT AREA AND PLACE P | ED ROOT ZONES. EVALUATE<br>PERIMETER OF THE SITE.<br>N.<br>ICLES AS FAR FROM STORM<br>ORT-O-LET AS INDICATED ON             | REV. #     DATE     REV. DESC.       1     08/09/19     TECHNICAL REVIEW COMMENTS            |  |  |  |  |
| ABLISH ONSITE   | LOCATION FOR   | OWNER/OPERATOR/CONTRACTOR<br>TION.   | PLACEMENT OF APPROVED   |  |  |  |  |  |
|   |  |  |   |  |  |  |  |  |
|   |  |  |   | SF SF PROPERTY BOUNDARY  |  |  |  |  |
|   |  |  |   |  |  |  |  |  |
|   |  |  |   | PERMANENT SEEDING -<br>TYPICAL AFTER<br>CONSTRUCTION IS<br>COMPLETED.<br>TEMPORARY SEEDING - |  |  |  |  |
|   |  |  |   | (TS) REQUIRED IF AREA IS<br>INACTIVE FOR 14 DAYS OR  |  |  |  |  |

| 811 | K |
|-----|---|
|     |   |

Know what's **below. Call before you dig**.

iow. Sheet Number :

DATE:

Approved By:

Drawn By:

Date Plotted:

MORE.

CERTIFIED BY:

OHFE

No. 10911288 STATE OF

MOIANA

PIONAL

leve

Date of Last Field Work: 06/21/2019

Project Number:

Reference #: C19-4943

M19-4944

C4.0

08/09/2019

BCR CLH

08/09/2019

BASIN) INSERT

FILTER BASKET

STORM DRAIN INLET (CATCH

![](_page_6_Figure_0.jpeg)

| 7 8 9 10 |   |   |   |    |
|----------|---|---|---|----|
|          | 7 | 8 | 9 | 10 |

#### Temporary Construction Ingress/Egress Pad (Small Sites-Less Than Two Acres)

![](_page_6_Picture_3.jpeg)

#### Purpose

• To provide stable entrance/exit conditions from an individual lot or building site. • To keep mud and sediment off of public roadways.

A temporary construc-

tion ingress/egress pad is

a sediment control meas-

ure, consisting of a stabi-

lized aggregate pad with

geotextile underlayment

used at any point where

construction traffic will

be traversing between a

small construction site

and the adjoining public

right-of-way or street.

#### **Specifications**

- Location
- Avoid locating on steep slopes or at curves in public roads.

#### Dimensions

- Width 12 feet minimum or full width of entrance/exit drive, whichever is
- Length 50 feet minimum or full length of drive, whichever is greater. • Thickness six inches minimum

## Materials

- One to two and one-half inch diameter washed aggregate [INDOT CA
- No. 2 (see Appendix D)].
- One-half to one and one-half inch washed aggregate [INDOT CA No. 53 (see Appendix D); optional, used primarily where the purpose of the pad is to keep soil from adhering to vehicle tires].
- Geotextile fabric underlayment (see Appendix C) (used as a separation layer to prevent intermixing of aggregate and the underlying soil material and to provide greater bearing strength when encountering wet conditions or soils with a seasonal high water table limitation).

#### Installation

- 1. Remove all vegetation and other objectionable material from the foundation
- 2. Grade the foundation and crown for positive drainage.
- 3. Install a culvert pipe under the pad if needed to maintain proper public road drainage.
- 4. If wet conditions are anticipated, place geotextile fabric on the graded foundation to improve stability.
- 5. Place aggregate (INDOT CA No. 2) to the dimensions and grade shown in the construction plans, leaving the surface smooth and sloped for drainage.
- 6. Top-dress the drive with washed aggregate (INDOT CA No.53). 7. Where possible, divert all storm water runoff and drainage from the
- temporary construction ingress/egress pad to a sediment trap or basin.

## Maintenance

- Inspect daily.
- Reshape pad as needed for drainage and runoff control.
- Top-dress with clean aggregate as needed.
- Immediately remove mud and sediment tracked or washed onto public roads. • Flushing should only be used if the water from the construction drive can be conveyed into a sediment trap or basin.

#### Temporary Construction Ingress/Egress Pad Plan View Worksheet (small sites less than two acres)

![](_page_6_Figure_32.jpeg)

W = Ingress/Egress Pad Width

T = Aggregate Thickness

(Note: For minimum dimensions, see the

"Specifications" section of this measure.)

#### **EROSION CONTROL MEASURES MAINTENANCE REQUIREMENTS**

- SILT FENCE MAINTENANCE REQUIREMENTS:
- 1. INSPECT THE SILT FENCE PERIODICALLY AND AFTER EACH STORM EVENT.2. INSPECT PERIODICALLY
- FOR DETERIORATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES AND REPAIR IMMEDIATELY. 2. IF FENCE FABRIC TEARS, STARTS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED PORTION IMMEDIATELY.
- 3. REMOVE DEPOSITED SEDIMENT WHEN IT REACHES HALF THE HEIGHT OF THE FENCE AT ITS LOWEST POINT OR IS CAUSING THE FABRIC TO BULGE.
- 4. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEAN OUT. 5. AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE THE FENCE AND SEDIMENT DEPOSITS, BRING THE DISTURBED AREA TO GRADE, AND STABILIZE.

#### CONSTRUCTION ENTRANCE MAINTENANCE REQUIREMENTS

- . INSPECT ENTRANCE AREA WEEKLY AND AFTER STORM EVENTS OR HEAVY USE 2. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED IF THE WATER IS CONVEYED INTO A SEDIMENT
- TRAP OR BASIN. 3. REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY
- SANDBAG BARRIER MAINTENANCE REQUIREMENTS
- 1. INSPECT THE SAND BAGS PERIODICALLY AND AFTER EACH STORM EVENT. INSPECT PERIODICALLY FOR DETERIORATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES AND REPAIR IMMEDIATELY.
- 2. IF SAND BAGS TEAR, START TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE
- AFFECTED PORTION IMMEDIATELY 3. REMOVE DEPOSITED SEDIMENT WHEN IT REACHES HALF THE HEIGHT OF THE SANDBAGS.

SITE SUITABILITY

WELL

WET

DROUGHTY DRAINED

- operations
- The volume of the system must also be designed to contain runoff that drains to the system and rainfall that enters the system for a two-year frequency, 24-hour storm event.

- A washout system installed below grade should be a minimum of ten feet wide by ten feet long, but sized to contain all liquid and waste that is expected to be generated between scheduled cleanout periods. The size of the pit may be limited by the size of polyethylene available. The polyethylene lining should be of adequate size to extend over the entire excavation.
- Include a minimum 12-inch freeboard to reasonably ensure that the
- structure will not overtop during a rain event. • Line the pit with ten millimeter polyethylene lining to control seepage.
- The bottom of excavated pit should be above the seasonal high water table.

### Above Grade System

- A system designed and built above grade should be a minimum of ten feet wide by ten feet long, but sized to contain all liquid and waste that is expected to be generated between scheduled cleanout periods. The size of the containment system may be limited by the size of polyethylene available. The polyethylene lining should be of adequate size to extend over the berm or containment system.
- The system design may utilize an earthen berm, straw bales, sandbags, or other acceptable barriers that will maintain its shape
- and integrity and support the polyethylene lining. • Include a minimum four-inch freeboard as part of the design.

SITE MANAGEMENT MEASURES

## **Concrete Washout**

11

![](_page_6_Picture_66.jpeg)

out water when chutes and hoppers are rinsed following leliver Concrete washout systems are implemented to reduce the discharge of pollutants that are associated with concrete washout waste through consolidation of solids

either a prefabricated unit

or a designed measure that

*is constructed to contain* 

concrete washout. Concrete

vashout systems are typi-

cally used to contain wash-

and retention of liquids. Uncured concrete and associated liquids are highly alkaline which may leach into the soil and contaminate ground water or discharge to a waterbody or wetland which can elevate the pH and be harmful to aquatic life. Performing concrete washout in designated areas and into specifically designed systems reduces the impact concrete washout will have on the environment.

## Specifications

Purpose

#### Site Management

- Complete construction/installation of the system and have washout locations operational prior to concrete delivery. • Do not wash out concrete trucks or equipment into storm drains, wetlands,
- streams, rivers, creeks, ditches, or streets. • Never wash out into a storm sewer drainage system. These systems are typi-
- cally connected to a natural conveyance system. • Where necessary, provide stable ingress and egress (see Temporary Con-
- struction Ingress/Egress Pad on page 17). • It is recommended that washout systems be restricted to washing concrete from mixer and pump trucks and not used to dispose of excess concrete or residual loads due to potential to exceed the design capacity of the washout system. Small amounts of excess or residual concrete (not washout water)
- protected • Install systems at strategic locations that are convenient and in close proximity to work areas and in sufficient number to accommodate the demand for

may be disposed of in areas that will not result in flow to an area that is to be

• Install signage identifying the location of concrete washout systems.

#### Location

- Locate concrete washout systems at least 50 feet from any creeks, wetlands, ditches, karst features, or storm drains/manmade conveyance systems.
- To the extent practical, locate concrete washout systems in relatively flat areas that have established vegetative cover and do not receive runoff from adjacent land areas.
- Locate in areas that provide easy access for concrete trucks and other construction equipment. • Locate away from other construction traffic to reduce the potential for

#### damage to the system.

#### General Design Considerations

- The structure or system shall be designed to contain the anticipated washout water associated with construction activities.
- The system shall be designed, to the extent practical, to eliminate runoff
- from entering the washout system. • Runoff from a rainstorm or snowmelt should not carry wastes away from the
- washout location • Washout will not impact future land uses (i.e., open spaces, landscaped ar-
- eas, home sites, parks).
- Washout systems/containment measures may also be utilized on smaller individual building sites. The design and size of the system can be adjusted to accommodate the expected capacity.

#### Prefabricated Washout Systems/Containers

- Self-contained sturdy containment systems that are delivered to a site and located at strategic locations for concrete disposal.
- These systems are manufactured to resist damage from construction equip-
- ment and protect against leaks or spills. • Manufacturer or supplier provides the containers. The project site manager
- maintains the system or the supplier provides complete service that includes maintenance and disposal.
- Units are often available with or without ramps. Units with ramps lend themselves to accommodate pump trucks.

#### • Maintain according to the manufacturer's recommendations.

#### **Designed and Installed Units**

These units are designed and installed on site. They tend to be less reliable than prefabricated systems and are often prone to failure. Concrete washout systems can be constructed above or below grade. It is not uncommon to have a system that is partly below grade with an additional containment structure above grade.

- Washout systems shall utilize a pit or bermed area designed and maintained at a capacity to contain all liquid and concrete waste generated by washout
- Below Grade System

|  | 13                               | 14   | 15  |
|--|----------------------------------|--|---|
|  | Wash                             | out Procedures   |   |
| <b>Concrete washout</b> areas a<br>designated locations within<br>a construction site that are | Do<br>sho<br>left<br>amo<br>that | not leave excess mud in the chutes or hop,<br>uld be made to empty the chutes and hopp<br>in the chutes and hopper, the quicker and<br>ounts of excess concrete (not washout wate<br>t will not result in flow to an area that is to | per after the pour. Every effort<br>er at the pour. The less material<br>easier the cleanout. Small<br>er) may be disposed of in areas<br>be protected. |

- t in flow to an area that is to be protected. • At the washout location, scrape as much material from the chutes as possible before washing them. Use non-water cleaning methods to minimize the chance for waste to flow off site.
- Remove as much mud as possible when washing out.
- Stop washing out in an area if you observe water running off the designated area or if the containment system is leaking or overflowing and ineffective. • Do not back flush equipment at the project site. Back flushing should be

- restricted to the plant as it generates large volumes of waste that more than likely will exceed the capacity of most washout systems. If an emergency arises, back flush should only be performed with the permission of an on-site manager for the project.
- Do not use additives with wash water. Do not use solvents or acids that may be used at the target plant.

#### Materials

- Minimum of ten millimeter polyethylene sheeting that is free of holes, tears, and other defects. The sheeting selected should be of an appropriate size to fit the washout system without seams or overlap of the lining (designed and installed systems).
- Signage.
- Orange safety fencing or equivalent.
- Straw bales, sandbags (bags should be ultraviolet-stabilized geotextile fabric), soil material, or other appropriate materials that can be used to construct a containment system (above grade systems).
- Metal pins or staples at a minimum of six inches in length, sandbags, or alternative fastener to secure polyethylene lining to the containment system. • Non-collapsing and non-water holding cover for use during rain events
- (optional). Installation
- Prefabricated Washout Systems/Containers
- Install and locate according to the manufacturer's recommendations.
- Designed and Installed Systems
- Utilize and follow the design in the storm water pollution prevention plan to install the system. • Dependent upon the type of system, either excavate the pit or install the
- containment system. • A base shall be constructed and prepared that is free of rocks and other
- debris that may cause tears or punctures in the polyethylene lining. • Install the polyethylene lining. For excavated systems, the lining should extend over the entire excavation. The lining for bermed systems should be installed over the pooling area with enough material to extend the lining over the berm or containment system. The lining should be secured with pins, sta-
- ples, or other fasteners • Place flags, safety fencing, or equivalent to provide a barrier to construction equipment and other traffic.
- Place a non-collapsing, non-water holding cover over the washout facility prior to a predicted rainfall event to prevent accumulation of water and possible overflow of the system (optional).
- Install signage that identifies concrete washout areas.
- Post signs directing contractors and suppliers to designated locations. • Where necessary, provide stable ingress and egress (see **Temporary** Construction Ingress/Egress Pad on page 17) or alternative approach pad for concrete washout systems.

#### Maintenance

- Inspect daily and after each storm event.
- Inspect the integrity of the overall structure including, where applicable, the
- Inspect the system for leaks, spills, and tracking of soil by equipment.
- Inspect the polyethylene lining for failure, including tears and punctures. • Once concrete wastes harden, remove and dispose of the material.
- Excess concrete should be removed when the washout system reaches 50 percent of the design capacity. Use of the system should be discontinued until appropriate measures can be initiated to clean the structure. Prefabricated systems should also utilize this criterion, unless the manufacturer has alternate specifications.
- Upon removal of the solids, inspect the structure. Repair the structure as needed or construct a new system
- Dispose of all concrete in a legal manner. Reuse the material on site, recycle, or haul the material to an approved construction/demolition landfill site. Recycling of material is encouraged. The waste material can be used for multiple applications including but not limited to roadbeds and building. The availability for recycling should be checked locally.
- The plastic liner should be replaced after every cleaning; the removal of material will usually damage the lining.
- The concrete washout system should be repaired or enlarged as necessary to maintain capacity for concrete waste.
- Concrete washout systems are designed to promote evaporation. However, if the liquids do not evaporate and the system is near capacity it may be necessary to vacuum or remove the liquids and dispose of them in an acceptable method. Disposal may be allowed at the local sanitary sewer authority provided their National Pollutant Discharge Elimination System permits allow for acceptance of this material. Another option would be to utilize a secondary containment system or basin for further dewatering.
- Prefabricated units are often pumped and the company supplying the unit provides this service. • Inspect construction activities on a regular basis to ensure suppliers, contrac-
- tors, and others are utilizing designated washout areas. If concrete waste is being disposed of improperly, identify the violators and take appropriate • When concrete washout systems are no longer required, the concrete wash-
- out systems shall be closed. Dispose of all hardened concrete and other materials used to construct the system.
- Holes, depressions and other land disturbances associated with the system should be backfilled, graded, and stabilized.

![](_page_6_Picture_139.jpeg)

![](_page_6_Picture_140.jpeg)

Know what's **below**. **Call before you dig.** 

|     | 1 2 3  | 4 5   | 6 7  | 8  | 9  | 10  | 11   |   | 12  |
|-----|--|---|--|--|--|---|--|---|---|
|     | GENERAL NOTES: EROSION CONTROL SOIL STABILIZATION  | ASSESSMENT OF CONSTRUCTION PLAN ELEMENTS (SECTION A) CONT.<br>A11 IDENTIFY ALL RECEIVING WATERS:  | ASSESSMENT OF STORMWATER POLLUTION PF<br>POST-CONSTRUCTION COMPONENT (SECTION  | REVENTION<br>C) CONT.  | ADDITIONAL POLLUTION CONTROL PRA   | CTICES AND POLICIES (CONT.)   | ADDITIONAL   | POLLUTION CO  | NTROL PRACTICES   |
|     | LIMIT SITE DISTURBANCE TO THE SMALLEST PRACTICAL AREA FOR THE<br>SHORTEST POSSIBLE TIME. THE OVERALL SITE DISTURBANCE SHALL BE   | AS STATED ABOVE, THE STORMWATER DISCHARGE FROM THE PROPOSED<br>PROJECT AREA WILL DISCHARGE INTO RAY CREEK TO YOUNG'S CREEK.   | C3 DESCRIPTION OF PROPOSED POST CONSTRUCTION ST<br>POST CONSTRUCTION STORMWATER QUALITY MEASURES TO  | TORMWATER QUALITY MEASURES   | INSPECT DUMPSTERS WHEN THEY REACH THE S     DUMPSTER THAT IS NOT WATERTIGHT OR IS DEI  | TTE FOR LEAKS. REJECT ANY<br>ECTIVE.  | COLLECTION, S  | STORAGE, AND DIS  | POSAL OF MATERIALS  |
| А   | LIMITED TO THE CONSTRUCTION LIMITS AS DELINEATED ON THE PLANS.<br>2. IN AN AREA THAT HAS BEEN DISTURBED AND STRIPPED OF VEGETATION   | A12 IDENTIFICATION OF POTENTIAL DISCHARGE TO GROUNDWATER:<br>THE POTENTIAL EXISTS FOR STORMWATER TO PERCOLATE THROUGH THE<br>SOILS THROUGHOUT THE SITE.   | AMOUNT OF POLLUTANTS LEAVING THE SITE INCLUDE MULC<br>MATERIALS, AND LAWN AREAS.   | H AREAS, LANDSCAPING   | PROVIDE AN ADEQUATE NUMBER OF CONTAINE<br>RAINWATER OUT AND TO PREVENT LOSS OF MA  | RS WITH LIDS OR COVERS TO KEEP<br>TERIALS DUE TO WINDY CONDITIONS.                                  | TO PREVENT CL<br>REMOVED FROM                                | OGGING OF THE STC<br>// DRAINAGE GRATES                       | )RM DRAINAGE SYSTEM I<br>3, TRASH RACKS, AND DIT                  |
|     | WHERE NO ADDITIONAL WORK IS ANTICIPATED WITHIN THE NEXT 15<br>DAYS, APPROPRIATE EROSION CONTROL MEASURES MUST BE<br>INSTALLED TO LIMIT SOIL EROSION. THE AREA SHALL BE STABILIZED  | A13 100 YEAR FLOODPLAINS, FLOODWAYS, AND FLOODWAY FRINGES:<br>NONE.<br>A14 PRE CONSTRUCTION AND POST CONSTRUCTION ESTIMATE OF REAK DISCHARGE:   | POST CONSTRUCTION STORMWATER QUALITY MEASURES W<br>VEGETATIVE COVER ON THE PERMANENT GRASS AREAS, TE<br>EROSION CONTROL BLANKETS IN SPECIFIED AREAS. BOTH T    | ILL ALSO INCLUDE THE USE OF<br>MPORARY AND PERMANENT<br>'HE VEGETATIVE COVER AND | ALLOW FOR ADDITIONAL DUMPSTERS OR MORE<br>DEMOLITION PHASE OF CONSTRUCTION TO INSU   | FREQUENT PICKUPS DURING THE<br>IRE TRASH MATERIALS DO NOT GET                                       | TRASH RECEPT/<br>TRAILER AREAS                               | ACLES SHOULD BE P<br>, AND AREAS UTILIZF                      | ROVIDED IN THE CONSTR<br>ED FOR LUNCH AND BREA                    |
|     | WITH MULCHING, SEEDING, OR OTHER APPROVED EROSION CONTROL<br>PRACTICES TO REDUCE SOIL EROSION.   | PRE-DEVELOPED Q10 FOR PROJECT SITE: NE = 1.71 cfs, SW = 4.15 cfs<br>PRE-DEVELOPED Q100 FOR PROJECT SITE: NE = 2.27 cfs, SW = 5.51 cfs<br>PRE-DEVELOPED Q100 FOR PROJECT SITE: NE = 2.27 cfs, SW = 5.51 cfs  | EROSION CONTROL BLANKETS ARE INTENDED TO STABILIZE<br>SERVE AS A SEDIMENT TRAP FOR FINER PARTICLES WITHIN  | THE DISTURBED AREAS AND TO<br>THE RUNOFF.  | HAVE SITE TRASH COLLECTED DAILY. DURING F  | AINY AND WINDY CONDITIONS IT MAY  | DOMESTIC TRAS<br>SHOULD BE COI                               | H FROM WORK ARE.<br>LECTED AND PLACE                          | AS WITHIN THE CONSTRU   |
|     | <ol> <li>THE CONTRACTOR SHALL ON A WEEKLY BASIS AND AFTER EACH 1/2" RAINFALL<br/>EVENT INSPECT, MONITOR, MAINTAIN, REPAIR OR REPLACE THE SPECIFIED<br/>EROSION CONTROL MEASURES TO ASSURE THEIR PROPER OPERATION. THE</li> </ol>           | POST-DEVELOPED Q10 RELEASE RATE: NE = 1.50 Cls, SW = 4.44 Cls<br>POST-DEVELOPED Q100 RELEASE RATE: NE = 1.99 cfs, SW = 5.89 cfs<br>A15 ADJACENT LAND USE, INCLUDING UPSTREAM WATERSHED:   |  |  | REMOVE SOLID WASTE MATERIALS PROMPTLY F  | ROM THE SITE SINCE EROSION AND  | DOMESTIC TRAS<br>COLLECTED LIT<br>DRAINAGE SYST              | H SHOULD BE COLLE<br>FER AND DEBRIS SHO<br>EMS OR WATERWA     | ECTED FROM THE SITE R<br>OULD NOT BE PLACED IN<br>/S.             |
|     | CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY<br>ADDITIONAL EROSION CONTROL MEASURES REQUIRED DURING<br>CONSTRUCTION BY THE LOCAL GOVERNING AUTHORITIES.   | EXISTING ADJACENT LAND USES INCLUDE COMMERCIAL BUILDINGS TO THE NORTH, EAST,<br>AND WEST AND AN EMPTY LOT TO THE SOUTH. THE UPSTREAM WATERSHED CONSISTS<br>MAINLY OF COMMERCIAL AND LAWN AREAS SHEET DRAINING ACROSS THE SITE                             | C4 LOCATION, DIMENSIONS, SPECIFICATIONS, AND CONST<br>EACH STORMWATER QUALITY MEASURE:<br>THE STORMWATER OUALITY MEASURES FOR POST CONSTRU                     | RUCTION DETAILS OF   | EFFECTIVENESS OF THE EROSION CONTROL ME  | ASURES.   | DUMPSTERS OF<br>SOLID WASTE G                                | SUFFICIENT SIZE AN  | JD QUANTITY SHOULD BE<br>'ROJECT.                                 |
| В   | 4. THE CONTRACTOR SHALL LIMIT THE SEDIMENTATION OF THE LOCAL<br>ROADWAYS AND SHALL IN A TIMELY MANNER PERIODICALLY REMOVE  | A16 LOCATIONS AND APPROXIMATE BOUNDARIES OF ALL DISTURBED AREAS:<br>REFER TO SHEET C1.1 - C4.0.   | INDICATED WITHIN THESE CONSTRUCTION DOCUMENTS. REI<br>EROSION CONTROL MEASURES TO BE IMPLEMENTED WITHIN<br>DIMENSIONS, SPECIFICATIONS AND CONSTRUCTION DETAILS | FER TO SHEETS C4.0 - C4.2 FOR<br>THE PROJECT SITE.                               | CHEMICALS SUCH AS ACIDS, PESTICIDES, ADDIT<br>NOT DISPOSED OF IN DUMPSTERS DESIGNATED  | IVES, AND CURING COMPOUNDS ARE<br>FOR CONSTRUCTION DEBRIS BUT ARE                                   | DUMPSTERS SH<br>THE CONTENTS                                 | OULD BE REMOVED<br>DISPOSED OF BY TH                          | FROM THE PROJECT SITE<br>IE TRASH HAULING CONT                    |
|     | SEDIMENTATION FROM THE ROADWAYS. ANY ADDITIONAL EROSION CONTROL<br>MEASURES REQUIRED BY THE LOCAL GOVERNING AUTHORITIES TO REDUCE  | A17 IDENTIFICATION OF EXISTING VEGETATIVE COVER:<br>REFER TO SHEET C1.1.  | QUALITY MEASURES ARE INCLUDED ON THOSE SHEETS LOC/<br>AFOREMENTIONED SERIES OF CONSTRUCTION DOCUMENTS  | ATED WITHIN THE  | DO NOT WASH OUT DUMPSTERS ON THE CONST   | RUCTION SITE. DUMPSTER CLEANING   | CONSTRUCTION<br>MORE FREQUEN                                 | DEBRIS AND WASTE  | E SHOULD BE REMOVED F<br>THE CONTRACTOR SHOL                      |
|     | IMPLEMENTED BY THE CONTRACTOR.   | A18 SOILS MAP INCLUDING DESCRIPTIONS AND LIMITATIONS:<br>REFER TO SOILS MAP SHEET C1.0.<br>A18 LOCATION, SIZE AND DIMENSIONS OF PROPOSED STORMWATER SYSTEMS:  | C5 DESCRIPTION OF MAINTENANCE GUIDELINES FOR POST<br>STORMWATER QUALITY MEASURES:  |  | ARRANGE FOR REGULAR WASTE COLLECTION B   | EFORE DUMPSTERS OVERFLOW. DO  | IN ANTICIPATING<br>THE DUMPSTER<br>OF EXCESS MA <sup>*</sup> | WHEN A DUMPSTEF<br>BEING FULL TO PRE<br>FERIAL ON THE GROI    | VILL BE FULL AND SCH<br>VENT OVER TOPPING OF<br>JND.              |
|     | SEDIMENT WITHIN THE PROPOSED STORM SEWER AND CULVERT<br>SYSTEMS. ALL SUMPED INLETS, CATCH BASINS, STORM SEWER  | REFER TO STORMWATER POLLUTION PREVENTION PLAN SHEET C4.0 - C4.2.<br>A20 PLAN FOR ANY OFF-SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT:   | CONSTRUCTION WATER QUALITY MEASURES. MAINTENANCE<br>COMPLETED AS DESCRIBED BELOW. SPECIFIC ACTIVITIES AS<br>AS USTED BELOW:                                    | ACTIVITIES WILL BE<br>SOCIATED WITH THE SITE ARE                                 | THE SIDES.   | E OR ALLOW MATERIAL TO DRAPE OVER   | CONSTRUCTION<br>ORDERLY MANN                                 | ■ MATERIAL VISIBLE 7<br>JER AWAY FROM THE                     | TO THE PUBLIC SHOULD E<br>E STORM DRAINAGE SYST                   |
|     | SEDIMENTATION WITH THE INSTALLATION OF SEDIMENT BARRIERS, SILT<br>FENCES, OR OTHER APPROVED EROSION CONTROL MEASURES.  | NONE.<br>A21 LOCATIONS OF PROPOSED SOIL STOCKPILES, BORROW AND/OR DISPOSAL AREAS:   | ALL INLET CASTINGS WILL BE INSPECTED MONTHLY. DEBRIS   | AND TRASH AROUND OR  | MAKE SURE THAT CONSTRUCTION WASTE IS CO  | LLECTED, REMOVED, AND DISPOSED OF   | PLAIN.<br>STORMWATER F                                       | RUNOFF SHOULD BE  | DIVERTED FROM STOREI  |
| С   | <ol> <li>SEDIMENTATION CONTROL AREAS SHALL BE RETURNED TO THEIR ORIGINAL<br/>CONDITION UPON THE COMPLETION OF CONSTRUCTION.</li> </ol>   | GIVEN THE STE IS CURRENTLY DEVELOPED, MINIMAL TOPSOIL EXISTS AND THEREFORE<br>NO STOCKPILES ARE PLANNED.  | GRASS AREAS SURROUNDING INLETS WILL BE MAINTAINED O  | N A REGULAR MOWING CYCLE.  | INSPECTION AND MAINTENANCE   | AL CONTRACTOR.  | USE OF BERMS,<br>USE OF MEASUF                               | DIKES, OR OTHER TE<br>≹ES TO ELEVATE THE                      | EMPORARY DIVERSION S<br>E WASTE COLLECTION DU                     |
|     | <ol> <li>ALL DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL<br/>CONSIDERED LAWN AREAS, AND SHALL BE PLANTED WITH GRASS.</li> </ol>  | DRAINAGE PATTERNS:<br>REFER TO SHEET C1.  | DAMAGE TO INLET CASTINGS, INLET STRUCTURES, STORM ST   | RUCTURES, OR CATCH BASINS  | INSPECT AND VERIFY THAT PRACTICES ARE IN PLA<br>ASSOCIATED ACTIVITY. WHILE ACTIVITIES ARE IN P   | CE PRIOR TO THE START OF EACH<br>ROGRESS, INSPECT EACH PRACTICE                                     | SOLID WASTE ST<br>OR PONDING AN<br>AND WATERWA`              | FORAGE AREAS SHO<br>ID SHOULD BE LOCA<br>YS.                  | ULD NOT BE LOCATED IN<br>TED AT LEAST 50 FT FRO                   |
|     | <ol> <li>FINISH GRADED AREAS SHALL BE STABILIZED IMMEDIATELY BY INSTALLING<br/>ONE OF THE FOLLOWING EROSION AND SEDIMENT CONTROL SYSTEMS:</li> </ol>   | A23 PROPOSED FINAL TOPOGRAPHY AT AN INTERVAL APPROPRIATE TO SHOW DETAILED<br>DRAINAGE PATTERNS:<br>REFER TO SHEET C3.   | SHOULD DE REI AIRED AU SOON AS I GOOIDEE.  |  | KEEP ADEQUATE SUPPLIES OF SPILL CLEANUP MA   | TERIALS ONSITE. INSURE THAT ALL   | INSPECTION AND   | MAINTENANCE   |   |
|     | ALTERNATE NO 1: APPLY PERMANENT SEEDING MIXTURE (AS SPECIFIED IN THE<br>SEEDING SCHEDULE) WITH STANDARD AMERICAN EXCELSIOR CURLEX ASPEN FIBER<br>EROSION CONTROL BLANKET OR APPROVED EQUAL TO DISTURBED AREAS WITH                         | ASSESSMENT OF STORMWATER POLLUTION PREVENTION<br>PLAN-CONSTRUCTION COMPONENT (SECTION B)  |  |  | EMPLOYEES ARE AWARE OF MATERIAL STORAGE L<br>OBTAINED TO THE MATERIALS.  | OCATIONS AND ACCESS CAN BE  | INSPECT AND VI<br>START OF CON:<br>IMPLEMENTATI              | ERIFY THAT ACTIVITY<br>STRUCTION IN THAT                      | Y-BASED PRACTICES ARE<br>AREA. INSPECT EACH PR                    |
|     | SLOPES LESS THAN 4:1 AS RECOMMENDED IN THE SEEDING SCHEDULE SCHEDULE<br>TO ESTABLISH INTERIM SOIL STABILIZATION INSTALL THE EROSION CONTROL<br>BLANKET IN STRICT ACCORDANCE WITH MANUFACTURES SPECIFICATIONS FOR                           | AT DESCRIPTION OF POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION<br>ACTIVITIES:   |  |  |  | OF CONDITION. REMOVE AND REPLACE  | INSPECT CONS   | FRUCTION WASTE C  | OLLECTION AREA REGUL  |
| D   | WINTER APPLICATIONS.<br>ALTERNATE NO 2: APPLY PERMANENT SEEDING MIXTURE (AS INDICATED IN SEEDING<br>SCHEDULE ( WITH HIGH VELOCITY CURLEX III EROSION CONTROL BLANKET OR  | VEHICULAR FUELS, CONCRETE WASH-OUT, MULCH, PESTICIDES, HERBICIDES, SOLS,<br>AND TRASH. FUELS, CONCRETE WASH-OUT, MULCH, PESTICIDES, HERBICIDES, FERTILIZER,<br>AND TRASH. FUELS, OILS, AND GASOLINE CAN LEAK OR BE SPILLED FROM TRUCKS AND                |  |  | VEHICLES AND EQUIPMENT SHOULD BE INSPECTED<br>IMMEDIATELY REPAIR ALL LEAKS. IT IS PREFERRED<br>EQUIPMENT BE REMOVED FROM THE PROJECT SIT | ) AT THE START OF EACH DAY.<br>) THAT THE PROBLEM VEHICLE OR<br>E FOR REPAIRS TO MINIMIZE ONSITE    | ARRANGE FOR  | REGULAR WASTE C(  | JLLECTION WITH A TRAS   |
|     | APPROVED EQUAL TO DISTURBED AREAS WITH SLOPES GREATER THAN 4:1 AS<br>RECOMMENDED IN THE SEEDING SCHEDULE TO ESTABLISH INTERIM SOIL   | IMPROVEMENTS AND DOWNSTREAM RECEIVING CHANNELS.<br>B2 SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION RELATIVE TO   | ADDITIONAL POLLUTION CONTROL PRACTICES A<br>DESCRIPTION AND PURPOSE  |  | IMPACTS.   | EAKY GASKETS DAILY. IMMEDIATELY   | CONCRETE AND   | G STEPS WILL HELP   | <u>JT AREAS</u><br>REDUCE STORMWATER F                            |
|     | MANUFACTURERS INSTALL EROSION CONTROL BLANKET IN STRICT ACCORDANCE WITH<br>MANUFACTURERS INSTALLATION INSTRUCTIONS FOR WINTER APPLICATIONS.  | LAND DISTURBING ACTIVITIES:<br>SEE SCHEDULE OF EROSION AND SEDIMENT CONTROL SEQUENCES ON THIS SHEET.<br>B3 STARLE CONSTRUCTION ENTRANCE LOCATIONS AND SPECIFICATIONS:   | RESULTING FROM VEHICLE AND EQUIPMENT MAINTENANC<br>CLEAN SITE". THE BEST PRACTICE WOULD BE TO PERFORM  | M TO STORMWATER<br>E BY MAINTAINING A "DRY AND<br>M MAINTENANCE ACTIVITIES AT    | DESCRIPTION AND PURPOSE  |   | AND MASONRY<br>DESCRIBED, SU<br>READY-MIX COI                | WASTES: DISCUSS T<br>CH AS HANDLING OF<br>NCRETE SUPPLIER B   | HE CONCRETE MANAGEI<br>CONCRETE WASTE AND<br>EFORE ANY DELIVERIES |
|     | CHLORIDE, VEGETATIVE COVER, SPRAY OR ADHESIVES, OR OTHER APPROVED METHODS  | S. SEE SHEETS C4.0 - C4.2.<br><u>B4 SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS:</u>   | WORK SHOULD BE PERFORMED ONLY IN DESIGNATED ARE<br>ADEQUATE COVER FOR MATERIALS STORED OUTSIDE, RO   | EAS, WHILE PROVIDING<br>UTINELY CHECKING FOR LEAKS                               | VEHICLE AND EQUIPMENT FUELING PROCEDURES .<br>PREVENT FUEL SPILLS OR LEAKS AND REDUCE OR   | AND PRACTICES ARE DESIGNED TO<br>ELIMINATE CONTAMINATION OF SOILS                                   | MASONRY WAS<br>THE CONTROL (                                 | TE MANAGEMENT TE<br>DF CEMENT MIXER ₩                         | CHNIQUES WITH THE MA<br>/ASHOUT AREAS.                            |
|     | IT FROM UPSTREAM AREAS SHALL LEAVE THE BOUNDARIES OF THE PROJECT AREA<br>UNLESS IT PASSES THROUGH AN EROSION CONTROL MEASURE OR CONTROL FACILITY.  | SEE SHEETS C4.0 - C4.2.<br><u>B5 SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS:</u><br>NOT APPLICABLE.  | IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR T<br>WESTFIELD PUBLIC WORKS DEPT. WITHIN 5 DAYS IN THE E  | O NOTIFY THE CITY OF<br>VENT OF LARGE SPILLS.                                    | AND STORMWATER. THIS CAN BE ACCOMPLISHED I<br>DESIGNATED ONSITE AREAS ONLY, ENCLOSING OR<br>SPILL CONTROLS, AND TRAINING EMPLOYEES AND   | COVERING STORED MATERIAL, UTILIZING<br>SUBCONTRACTORS IN PROPER FUELING                             | INCORPORATE I  |   | CONCRETE AND MASON  |
| Е   | 11. THE SITE WILL BE CONSIDERED TO BE PERMANENTLY STABILIZED WHEN<br>ALL PERMANENT CONTROL MEASURE/FACILITIES HAVE BEEN COMPLETED AND ARE  | <u>B6 STORM SEWER INLET PROTECTION MEASURE LOCATIONS AND SPECIFICATIONS:</u><br>SEE SHEETS C4.0 - C4.2.   | SUITABLE APPLICATIONS<br>THESE PROCEDURES ARE APPLICABLE FOR ALL CONSTRU   | CTION PROJECTS WHERE AN  | LIMITATION   |   | STORE DRY AND<br>PREVENT MASC<br>SYSTEMS, AND                | ) LIQUID MATERIALS<br>NRY SAND STOCKPI<br>WATERWAYS.          | IN A COVERED AREA AW<br>LE FROM WASHING INTO                      |
|     | OPERATIONAL, TEMPORARY CONTROL MEASURES/FACILITIES REMOVED, AND<br>UNIFORM EROSION RESISTANT PERENNIAL VEGETATION IS ESTABLISHED TO THE<br>POINT WHERE THE SURFACE SOIL IS CAPABLE OF RESISTING EROSION DURING                             | <u>B7 RUNOFF CONTROL MEASURES:</u><br>SEE SHEETS C4.0 - C4.2.<br>B8 STORMWATER OUTLET PROTECTION SPECIFICATIONS:  | ONSITE STAGING YARD AREA IS NECESSARY FOR THE STO<br>OF HEAVY CONSTRUCTION EQUIPMENT AND VEHICLES.   | DRAGE AND MAINTENANCE  | ONSITE VEHICLE AND EQUIPMENT FUELING SHOUL<br>FEASIBLE TO SEND VEHICLES AND EQUIPMENT OFF  | D ONLY BE DONE WHEN IT IS NOT<br>SITE FOR FUELING. VEHICLES AND                                     | AVOID MIXING E   | EXCESS AMOUNTS O  |   |
|     | RUNOFF EVENTS. THE STANDARD FOR THIS VEGETATIVE COVER WILL BE A UNIFORM COVERAGE OR DENSITY OF 70 PERCENT ACROSS THE DISTURBED AREA.   | NOT APPLICABLE.<br>B9 GRADE STABILIZATION STRUCTURE LOCATIONS AND SPECIFICATIONS:<br>NOT ADDI ICABLE  | LIMITATIONS<br>VEHICLE AND EQUIPMENT MAINTENANCE SHOULD ONLY B<br>IS IMPRACTICAL TO SEND THEM OFFSITE FOR MAINTENAN  | E PERFORMED ONSITE WHEN IT<br>CE AND REPAIR.                                     | CONSTRUCTION ENTRANCE/EXIT.  | ULD ALWATS DE DONE AT THE STADILIZED  | AREAS ONLY.  |   |   |
|     | 12. ALL EROSION CONTROL MEASURES, PRACTICES AND PROCEDURES SHALL<br>COMPLY WITH THE INDIANA STORMWATER QUALITY MANUAL, LATEST EDITION.<br>THE CONTRACTOR SHALL CONFORM TO SAID STANDARDS AND ADDITIONAL                                    | B10 LOCATION, DIMENSIONS, SPECIFICATIONS AND CONSTRUCTION DETAILS FOR EACH<br>STORMWATER QUALITY MEASURE:   | TRANSPORTING VEHICLES AND /EQUIPMENT OFFSITE SHO<br>STABILIZED CONSTRUCTION ENTRANCE/EXIT. VEHICLE ST<br>MAINTENANCE PROVIDES FOR A POTENTIALLY SIGNIFICAN     | OULD BE DONE ONLY AT THE<br>ORAGE AND EQUIPMENT<br>IT SOURCE OF STORMWATER       | THE USE OF OFFSITE FUELING STATIONS IS ENCOL   |   | DURATION OF T  | HE PROJECT.   |   |
|     | REQUIREMENTS INITIATED BY THE CITY OF FRANKLIN OR THE INDIANA<br>DEPARTMENT OF ENVIRONMENTAL MANAGEMENT REQUESTED DURING<br>CONSTRUCTION   | SEE SHEETS C4.0 - C4.2.<br>B11 TEMPORARY SURFACE STABILIZATION METHODS APPROPRIATE FOR EACH SEASON:<br>SEE SHEETS C4.0 - C4.2 AND IMPLEMENTATION AND MAINTENANCE PROCEDURE ON THIS  | POLLUTION. ONSITE ACTIVITIES THAT CAN CONTAMINATE<br>GENERAL MAINTENANCE SUCH AS CHANGING OR REPLAC<br>FILTERS, ENGINE REPAIR AND SERVICE, AND OUTDOOR EC      | STORMWATER INCLUDE<br>EMENT OF FLUIDS AND<br>QUIPMENT STORAGE OR                 | WORK OFFSITE MAY BE MORE ECONOMICAL BY ELI<br>DESIGNATED FUELING AREA AND CONTAINMENT M  | MINATING THE NEED FOR A SEPARATE<br>EASURES ONSITE.   | DO NOT WASH C<br>DRAINS, OPEN [                              | DITCHES, STREETS, (   | OR WATERWAYS.   |
| F   | THE CONTRACTOR SHALL DESIGNATE AND IDENTIFY AN INDIVIDUAL  | SHEET IN ACCORDANCE WITH EROSION CONTROL GENERAL NOTE NUMBER TWO, ANY AREA<br>THAT IS ANTICIPATED TO BE INACTIVE FOR MORE THAN 15 DAYS SHALL BE TEMPORARY OF<br>PERMANENTLY SEEDED TO PREVENT EROSION AND SEDIMENTATION.                                  | PARKING (FROM SOURCES SUCH AS THE ENGINE, OIL, FUE LEAKS).   | EL, OR HYDRAULIC FLUID   | DISCOURAGE EMPLOYEES FROM "TOPPING-OFF" FI<br>SPILLS.  | JEL TANKS TO PREVENT UNNECESSARY  | EXCEPT IN DES  | IGNATED AREAS.  | OR MORTAR TO BE DOM   |
|     | RESPONSIBLE FOR THE MONITORING OF THE SITE ON A WEEKLY BASIS AND<br>AFTER EACH 1/2" RAINFALL EVENT. THIS INDIVIDUAL SHALL HAVE KNOWLEDGE   | B12 PERMANENT SURFACE STABILIZATION SPECIFICATIONS:<br>SEE SHEETS C4.0 - C4.2 AND IMPLEMENTATION AND MAINTENANCE PROCEDURE ON THIS SHEET.   | IMPLEMENTATION<br>IF MAINTENANCE MUST OCCUR ONSITE, WORK SHOULD BE<br>AREAS LOCATED AWAY FROM DRAINAGE COURSES. DEDIC  | E DONE ONLY IN DESIGNATED<br>CATED MAINTENANCE AREAS                             | ABSORBENT SPILL CLEANUP MATERIALS AND SPILI<br>FUELING AREAS AND ON MOBILE FUELING TRUCKS  | KITS SHALL BE AVAILABLE IN ONSITE<br>PROPERLY DISPOSE OF USED                                       | -LOCATE WASH<br>DITCHES, OR W                                | OUT AREA AT LEAST<br>ATERWAYS                                 | 50 FEET FROM STORM D  |
|     | EROSION CONTROL POLICIES AND PRACTICES, AND SHALL MAINTAIN THE<br>EROSION AND SEDIMENTATION SITE INSPECTION LOG AND REPORT. THE SELF<br>INSPECTION LOG AND REPORT SHALL CONTAIN THE FOLLOWING  | THAT IS ANTICIPATED TO BE INACTIVE FOR MORE THAN 15 DAYS SHALL BE TEMPORARY<br>OF PERMANENTLY SEEDED TO PREVENT EROSION AND SEDIMENTATION.  | SHOULD BE PROTECTED FROM STORMWATER INFILTRATIO<br>MAINTENANCE AREA SHOULD BE LOCATED AT LEAST 50 FI<br>DRAINAGE FACILITIES, WATERWAYS, AND FLOOD PLAINS.      | ON AND RUNOFF. THE<br>EET FROM DOWNSTREAM  | ABSORBENT PADS OR DRIP PANS SHOULD BE USEI   |   | CONSTRUCTINC   | A TEMPORARY PIT<br>LID WASTE.                                 | OR BERMED AREA LARGE  |
|     | INFORMATION AS A MINIMUM:<br>NAME OF THE PROJECT   | B13 MATERIAL HANDLING AND SPILL PREVENTION PLAN:<br>EXPECTED CONSTRUCTION MATERIALS ON SITE MAY INCLUDE VEHICLE LUBRICANTS, OILS,<br>VEHICLE AR FUELS, CONCRETE WASH-OUT, MULCH, DESTICIDES, HERBICIDES, EERTH IZER                                       | STORE AN ADEQUATE AMOUNT OF SPILL CLEANUP MATER<br>CAN BE READILY ACCESSIBLE.  | IALS ONSITE WHERE THEY   | DEDICATED FUELING AREA.  |   | -WASH OUT WAS<br>SET, BE BROKE<br>-AVOID CREATI!             | N UP, AND BE DISPO  | SED OF PROPERLY.  |
|     | NAME OF THE INSPECTOR<br>DATE OF RAINFALL AND AMOUNT<br>DATE OF INSPECTION   | AND TRASH. FUELS, OILS, AND GASOLINE CAN LEAK OR BE SPILLED FROM TRUCKS AND<br>CONSTRUCTION EQUIPMENT WHICH COULD FIND THEIR WAY TO ADJOINING STORM SEWER   | DRIP PANS OR ABSORBENT PADS SHOULD BE USED DURIN<br>MAINTENANCE WORK THAT INVOLVES FLUIDS, UNLESS TH   | NG VEHICLE AND EQUIPMENT<br>E MAINTENANCE WORK IS                                | ABSORBENT MATERIALS FOR SMALL SPILLS SHALL<br>SPILL MATERIAL AS THIS ONLY RESULTS IN ADDITIO<br>REMOVE THE CONTAMINATED ABSORBENT MATERI | DE USED. DO NOT WASH OR BORT THE<br>DNAL REMEDIATION REQUIREMENTS.<br>ALS PROMPTLY AND DISPOSE OF   | REMOVE FINE P<br>-DO NOT WASH                                | A INTO A BERMED, LE<br>'ARTICLES AND EXP(<br>SWEEPINGS FROM I | SVEL AREA WHEN WASHI<br>SE THE AGGREGATE.<br>EXPOSED AGGREGATE C  |
| G   | DATE OF NEXT INSPECTION<br>FAILURES OBSERVED*  | CONCRETE WASHOUT FROM CONSTRUCTION ACTIVITY SHALL BE DISCHARGED INTO  | PERFORMED OVER AN IMPERMEABLE SURFACE WITHIN TH<br>AREA  | IE DEDICATED MAINTENANCE   | AVOID FUELING OF CONSTRUCTION EQUIPMENT AT   | S.<br>VARIOUS LOCATIONS AROUND THE SITE.  | TO AGGREGATE   | E BASE STOCKPILE C  | R DISPOSE OF PROPERL  |
|     | *FAILURES FROM LESS THAN THE TWO YEAR STORM EVENT REQUIRE AN   | SHOULD BE NOTED ON SITE WITH THE INSTALLATION OF SIGNAGE INDICATING THE<br>WASHOUT AREA. REFER TO ADDITIONAL INFORMATION THIS SHEET ON CONCRETE AND<br>MASONRY WASHOUT PROCEDURES   | USE ABSORBENT MATERIALS ON SMALL SPILL AREAS. REN<br>ABSORBENT MATERIALS PROMPTLY AND DISPOSE OF THE   | IOVE THE CONTAMINATED<br>M PROPERLY.   | ADEQUATE PREVENTION AND SPILL CONTAINMENT  | MATERIALS ARE LOCATED.  | EROSION<br>SPECIFIC  | CONTROL M<br>ATIONS   | IAINTENANCE   |
|     | UPGRADE OF STRUCTURE OR SYSTEM OF PRACTICES. FAILURES FROM<br>EVENTS GREATER THAN THE TWO YEAR STORM EVENT REQUIRES REPAIR<br>AND EVALUATION OF THE ADEQUACY OF THE EROSION CONTROL MEASURE.   | SMALL SPILLS AND LEAKS OF THESE MATERIALS ONTO NON-PAVED AREAS WILL BE  | ALL FUELING TRUCKS AND FUELING AREAS SHALL HAVE S<br>OTHER ADEQUATE SPILL PROTECTION DEVICES.  | PILL KITS AND/OR USE   | CLEANUP PROCEDURES.  | ED EDOM STORMWATER INELLIPATION   | CONSTRUCTION   | <u>ON ENTRANCE/EX</u>   | IT<br>D SEDIMENT DISPOSA  |
|     | THE FOLLOWING IS A SAMPLE FORMAT FOR THE SELF INSPECTION REPORT:<br>PROJECT NAME   | FUELING TRUCKS WILL BE EQUIPPED WITH SPILL PREVENTION KITS FOR SMALLER FUEL   | INSPECT ONSITE VEHICLES AND EQUIPMENT DAILY AT THE<br>FOR LEAKS AND REPAIR IMMEDIATELY.  | BEGINNING OF EACH DAY  | AND RUNOFF, AND SHOULD BE LOCATED AT LEAST<br>DRAINAGE FACILITIES, WATERWAYS, AND FLOOD P  | 50 FROM STORMWATER INFILITATION<br>50 FT AWAY FROM DOWNSTREAM<br>AINS. FUELING MUST BE PERFORMED IN | 2. RESHAPE F   | AFTER STORM EV<br>PAD AS NEEDED F                             | ENTS OR HEAVY USE.<br>OR DRAINAGE AND RU                          |
|     | Page 1 of 1  | AREA THROUGHOUT THE CONSTRUCTION TIME FRAME. IF POSSIBLE, VEHICULAR<br>MAINTENANCE SHALL BE DONE OFF-SITE AT FACILITIES THAT ARE DESIGNED TO HANDLE<br>ANY MATERIAL SPILLAGE. THIS SHALL INCLUDE FUELING OF VEHICLES WHENEVER                             | KEEP VEHICLES AND EQUIPMENT CLEAN; DO NOT ALLOW I<br>GREASE OR SILT MATERIALS THAT MAY CONTAMINATE OT  | EXCESSIVE BUILD-UP OF OIL,<br>HER PORTIONS OF THE SITE.                          | PROTECT FUELING AREAS WITH BERMS OR DIKES T  | O PREVENT INFILTRATION, RUNOFF, AND   | 3. IMMEDIATE<br>WASHED ONT<br>ELLISHING SH                   | LY REMOVE MUD<br>O PUBLIC ROADS                               | AND SEDIMENT TRACI  |
| н   | Reason for Inspection:   | POSSIBLE. THE CITY OF FRANKLIN FIRE DEPARTMENT 888-736-3650 OR 911, INDIANA<br>DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, OFFICE OF EMERGENCY RESPONSE<br>(800)-233-7745, SHALL BE NOTIFIED IMMEDIATELY FOR LARGER SPILLS OR LEAKS. THE                      | AND SPILL MEDIATION PROCEDURES.  |  | NOZZLES USED IN VEHICLE AND EQUIPMENT FUELI  | NG SHOULD BE EQUIPPED WITH AN   | INTO A SEDIMI<br>4. REPAIR OF                                | ENT TRAP OF BAS   | IN.<br>IN OR DAMAGED ROAL   |
|     | Inspection After Storm Water Runoff  | NATIONAL RESPONSE CENTER (800)-424-8802 SHALL BE NOTIFIED AND PROVIDED WITH THE<br>FOLLOWING INFORMATION: TIME OF SPILL, LOCATION OF SPILL, MATERIAL, SOURCE OF SPILL,<br>APPROXIMATE VOLUME AND LENGTH OF SPILLAGE. WEATHER CONDITIONS AT TIME OF SPILL. | MATERIALS PER LOCAL AND STATE LAWS.  |  | MONITORED BY THE FUELING OPERATOR AT ALL TI  | MES.  | IMMEDIATELY.<br><u>SEDIMENT FE</u>                           | NCE   |   |
|     | Observation:   | PERSONAL PRESENT AT TIME OF SPILL, AND ALL ACTION TAKEN FOR POST SPILL CLEANUP.   | OIL FILTERS, ANTIFREEZE, CLEANING SOLVENTS, BATTERI<br>FLUIDS. IF THESE MATERIALS ARE STORED ONSITE, PROV  | ED OIL, HYDRAULIC FLUID,<br>ES, AND TRANSMISSION<br>IDE ADEQUATE SECONDARY       | ABOVE GROUND STORAGE TANKS.  |   | 1. INSPECT SE<br>TO ENSURE T <sup>I</sup><br>FENCE REM(      | EDIMENT FENCE W<br>HE CONDITION AN                            | /EEKLY AND AFTER ST<br>D FUNCTIONING OF TH<br>IT DEPOSITS PROMPT  |
|     | Corrective Actions Taken/Needed:   | OF CONTAMINATES AND COORDINATION OF MONITORING THE SITE DURING CLEANUP UNTIL<br>ALL OF THE HAZARDOUS MATERIAL HAS BEEN REMOVED. CONTRACTOR SHALL COOPERATE<br>WITH IDEM DURING AND AFTER THE SPILL TO INSURE ALL REQUIRED CLEANUP AND FILING              | DO NOT PLACE USED OIL IN AN UNAPPROVED DUMPSTER,   | POUR INTO A STORM DRAIN  | VEHICLES AND EQUIPMENT SHOULD BE INSPECTED<br>REPAIRED IMMEDIATELY PREFERABLY WITH THE PF<br>REMOVED FROM THE PROJECT SITE FOR REPAIR    | DAILY FOR LEAKS. LEAKS SHOULD BE<br>ROBLEM VEHICLE OR EQUIPMENT                                     | 2. INSPECT TI<br>DETERIORATI                                 | HE SEDIMENT FEN   | ICE PERIODICALLY FO   |
|     | Print Name:  | REPORTS ARE PROPERLY SUBMITTED. THE DEVELOPER SHALL BE CONTINUALLY INFORMED OF ANY CONTAMINATION CONCERNS   | DRIP PANS OR PLASTIC SHEETING SHOULD BE PLACED UN  |  | MAINTAIN ADEQUATE SUPPLIES OF SPILL CLEANUP<br>PERSONNEL KNOW THEIR STORAGE LOCATION.  | MATERIALS ONSITE AND INSURE ALL   | REPAIR IMMEDI<br>3. AFTER THE<br>REMOVE THE                  | ATELY.<br>CONTRIBUTING V<br>SEDIMENT FENCI                    | VATERSHED HAS BEEN<br>E AND THE SEDIMENT,                         |
|     | An Erosion and Sediment Control (ESC) Plan is required to be implemented and maintained in a timely manner to effectively control the site. No ESC Plan is all   | OCCURRING ON THE SITE. THE CONSTRUCTION MANAGER SHALL KEEP ON SITE A LIST OF<br>QUALIFIED CONTRACTORS FOR SPILL REMEDIATION. ALL SITE PERSONNEL, INCLUDING<br>MAINTENANCE EMPLOYEES, SHALL BE MADE AWARE OF PROPER SPILL PREVENTION AND                   | LOCATED OVER WATER BODIES WHEN THE VEHICLE OR EN<br>BE IDLE FOR MORE THAN ONE HOUR.  | QUIPMENT IS ANTICIPATED TO   | IMMEDIATELY CLEAN UP SPILLS AND PROPERLY DIS<br>CLEANUP MATERIALS ACCORDING TO LOCAL AND S   | POSE OF CONTAMINATED SOIL AND TATE LAWS.  | DISTURBED AF   | REA TO GRADE, AN  | ND STABILIZE IT.  |
|     | sequence changes to the plan must be made due to weather problems, construction sequence changes or failure of practices. Project managers/contractors have the responsibility to modify plans if measures fail or failure is anticipated. | REMEDIATION TECHNIQUES. ALL MATERIALS USED TO ABSORB SPILLS SHALL BE PROPERLY<br>DISPOSED OF IN AN APPROVED MANOR WILL LOCAL AND STATE LAWS. DO NOT FLUSH SPILL<br>MATERIALS WITH WATER UNLESS DIRECTED TO DO SO BY A GOVERNING AGENCY. IT IS             | DO NOT BURY OR BURN USED TIRES.  |  |  |   |  |   |   |
|     | THE LAND DISTURBING ACTIVITIES SHALL BE AS SHOWN ON THE CONSTRUCTION   | IMPORTANT THAT ALL MANUFACTURER'S INSTRUCTIONS BE FOLLOWED WHEN USING OR<br>APPLYING ALL FERTILIZERS, HERBICIDES, AND PESTICIDES.   | DESCRIPTION AND PURPOSE  |  |  |   |  |   |   |
|     |  | B14 MONITORING AND MAINTENANCE GUIDELINES FOR EACH PROPOSED POLLUTION<br>PREVENTION MEASURE:<br>REFER TO MAINTENANCE GUIDELINES SHOWN FOR EACH EROSION CONTROL MEASURE  | SOLID WASTE MANAGEMENT PROCEDURES AND PRACTICE<br>PREVENT OR REDUCE THE POTENTIAL FOR DISCHARGE OF<br>STORMWATER FROM SOLID OR CONSTRUCTION WASTE BY           | ES ARE DESIGNED TO<br>F POLLUTANTS TO<br>/ PROVIDING DESIGNATED                  |  |   |  |   |   |
|     | POLLUTION PREVENTION PLAN  | SHEETS C4.0 - C4.2 AND SPECIFICATIONS THIS SHEET. REFER TO EROSION CONTROL<br>GENERAL NOTE NUMBER 13 FOR ADDITIONAL INFORMATION REGARDING MONITORING AND<br>MAINTENANCE OF THE EROSION CONTROL SYSTEM, AND MONITORING LOG REQUIREMENTS.                   | WASTE COLLECTION AREAS AND CONTAINERS, ENSURING<br>TRAINING OF EMPLOYEES AND SUBCONTRACTORS.   | REGULAR DISPOSAL, AND  |  |   |  |   |   |
| J   | ASSESSMENT OF CONSTRUCTION PLAN ELEMENTS (SECTION A)<br>A1 PLAN INDEX SHOWING LOCATIONS OF REQUIRED ITEMS:<br>THIS SHEET   | B15 EROSION AND SEDIMENT CONTROL SPECIFICATIONS FOR INDIVIDUAL BUILDING LOTS:<br>NOT APPLICABLE   | SUITABLE APPLICATIONS<br>THIS PRACTICE IS APPLICABLE FOR CONSTRUCTION SITES<br>WASTES ARE GENERATED OR STORED:   | WHERE THE FOLLOWING  |  |   |  |   |   |
|     | A2 11x17 INCH PLAT SHOWING BUILDING LOT NUMBERS/BOUNDARIES AND ROAD LAYOUT/NAMES<br>SEE ATTACHED.  | ASSESSMENT OF STORMWATER POLLUTION PREVENTION<br>POST-CONSTRUCTION COMPONENT (SECTION C)  | SOLID WASTE GENERATED FROM DEMOLITION ACTIVITIES<br>DEMOLITION OF EXISTING STRUCTURES, AND NEW BUILDIN   | SUCH AS TREES OR SHRUBS,<br>NG CONSTRUCTION                                      |  |   |  |   |   |
|     | A3 NARRATIVE DESCRIBING PROJECT NATURE AND PURPOSE:<br>THIS PROJECT CONSTRUCTION INCLUDES THE CONSTRUCTION OF A 3,700 SQUARE FOOT  | C1 DESCRIPTION OF POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH THE<br>PROPOSED LAND USE:   | MATERIALS INCLUDING CONCRETE, MASONRY, WOOD, ME<br>STYROFOAM, PAPER, PLASTIC, PIPE, ELECTRICAL COMPON<br>MATERIALS.  | FAL, GLASS, RUBBER,<br>NENTS, AND PACKAGING                                      |  |   |  |   |   |
|     | TO SUPPORT THE PROPOSED FACILITY.<br>A4 VICINITY MAP SHOWING PROJECT LOCATION:   | POTENTIAL POLLUTANT SOURCES POST CONSTRUCTION INCLUDE DISTURBED SOILS FROM<br>LOT DEVELOPMENT, FERTILIZERS, PESTICIDES AND OTHER LAWN TREATMENT APPLICATIONS<br>AND ASSORTED FUELS, OILS AND LIQUIDS ASSOCIATED WITH VEHICULAR TRAFFIC                    | DOMESTIC WASTES INCLUDE: FOOD CONTAINERS, BEVERA<br>CUPS, PAPER BAGS, PLASTIC WRAPPERS, STYROFOAM, AN  | AGE CONTAINERS, COFFEE<br>ND CIGARETTES  |  |   |  |   |   |
| k I | REFER TO LOCATION MAP SHEET C1.0.<br>A5 LEGAL DESCRIPTION OF THE PROJECT SITE:   | THROUGHOUT THE DEVELOPMENT.<br>C2 SEQUENCE DESCRIBING STORMWATER QUALITY MEASURE IMPLEMENTATION:<br>THE STORMWATER QUALITY MEASURE IMPLEMENTATION SHALL BE DECIN EADLY IN THE   | CONSTRUCTION WASTES INCLUDING BRICK, MORTAR, TIM<br>SCRAPS, PIPE AND ELECTRICAL CUTTINGS, NONHAZARDO   | BER, STEEL AND METAL<br>US EQUIPMENT PARTS,                                      | ADDITIONAL EROSION CONTROL   | MEASURES MAY BE REQUIREI  | J IN THE FIEL  | _D BY THE INS   | 3PECTOR   |
| r.  | PART OF THE SOUTHEAST QUARTER OF SECTION 03, TOWNSHIP 12 NORTH, RANGE<br>04 EAST, FRANKLIN TOWNSHIP, JOHNSON COUNTY, INDIANA<br>THE APPROXIMATE LATITUDE AND LONGITUDE OF THE PROJECT SITE ARE:  | CONSTRUCTION PROCESS, WITH THE INSTALLATION OF THE STORMWATER MANAGEMENT<br>SYSTEM AT THE VERY BEGINNING OF PROJECT CONSTRUCTION.   | STYROFOAM AND OTHER MATERIALS SEND TRANSPORT A<br>MATERIALS  | NU PACKAGE CONSTRUCTION  |  | EROSION   | CONTROL  | SCHEDULE  |   |
|     | LATITUDE: 39 degrees 28 minutes 46 seconds N<br>LONGITUDE: 86 degrees 04 minutes 27 seconds W  | STORMWATER RUNOFF FROM THE SITE WILL BE COLLECTED BY THE EXISTING UNDERGROUND<br>STORM SEWER SYSTEM THAT DISCHARGES TO THE EXISTING PUBLIC STORM SEWER WITHIN<br>DRAKE ROAD. A MAJORITY OF PAVED PARKING APEAS WILL BE POULTED TO THIS SAME PUBLIC        | THE FOLLOWING STEPS WILL AID IN KEEPING THE SITE CLE<br>POTENTIAL FOR STORMWATER POLLUTION:  | EAN AND REDUCE THE   | EROSION CONTROL MEASURE  | MAINTENANCE   | <u>:</u>   |   | INSTALLATION  |
|     | AU LOUATION OF ALL LUTS AND PROPOSED SITE IMPROVEMENTS:<br>SEE SHEET C2.1.<br>A7 HYDROLOGIC UNIT CODE:   | STORM SEWER SYSTEM.   | SELECT A DESIGNATED WASTE COLLECTION AREA ONSITE<br>FROM THE STORMWATER COLLECTION SYSTEM AND AT LE  | THAT IS DOWNSTREAM<br>AST 50 FEET AWAY FROM                                      | CONSTRUCTION ENTRANCE<br>SILT FENCE  | AS NEEDED<br>WEEKLY, AFTER STORM EVENTS AN  | D AS NEEDED  | PRIOR TO ANY E<br>PRIOR TO ANY E                              | QUIPMENT ENTERING   |
|     | 05120204090040 - YOUNG'S CREEK - RAY CREEK<br>A8 NOTATION OF ANY STATE OR FEDERAL WATER QUALITY PERMITS:<br>IDEM - RULE 5 NOTICE OF INTENT FOR FARTHMOVING ACTIVITIES  | MAINTAINED AS DESCRIBED IN THE OPERATIONS AND MAINTENANCE MANUAL UNTIL ALL<br>PERMANENT MEASURES AND VEGETATION HAS BEEN ESTABLISHED AND CONSTRUCTION,<br>INCLUDING LANDSCAPING IS COMPLETE   | ALL WATERWAYS AND FLOOD PLAINS.  | ATERTIGHT DUMPSTERS  | INLET PROTECTION<br>CONCRETE WASHOUT   | WEEKLY, AFTER STORM EVENTS ANI<br>WEEKLY, PROIR TO EACH USE   | D AS NEEDED  | AFTER EACH INL<br>PRIOR TO ANY (                              | ET IS INSTALLED   |
| ,   | A9 SPECIFIC POINTS WHERE STORMWATER DISCHARGE WILL LEAVE THE SITE:<br>THE STORMWATER FROM THE PROJECT SITE WILL BE COLLECTED AND ROUTED TO THE   | INDIVIDUAL EROSION CONTROL MEASURES MAY BE REMOVED FROM INLET PROTECTION STATUS   | FOR ONSITE USE WILL BE ACCEPTED.   | EB   | DIVERSION SWALES/SEDIMENT TRAPS<br>EROSION CONTROL BLANKET   | WEEKLY, AFTER STORM EVENTS AN<br>WEEKLY, AFTER STORM EVENTS AN                                      | D AS NEEDED  | ALONG WITH RO<br>ALONG WITH RC                                | UGH GRADING   |
| L   | EXISTING PUBLIC STORM SEWER SYSTEM LOCATED WITHIN DRAKE ROAD TO THE<br>SOUTHWEST OF THE SITE. THIS IS THEN ROUTED SOUTH TO THE RAY CREEK.<br>A10 LOCATION & NAME OF ALL WETLANDS TAKES & WATER COURSES                                     | TO PREVENT SILT AND SOLE EROSION INTO THE STORM SEWER SYSTEM.   |  | PS   | PERMANENT SEEDING  | WATER AS NEEDED INSPECT PERIO   |  | AFTER FINISH G  | RADING - AS SOON AS   |
|     | ON AND ADJACENT TO THE SITE:<br>NONE.  | LANDSCAPE AREAS AND INFRASTRUCTURE IMPROVEMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.   |  |  | REMOVAL OF SILT FENCE<br>REMOVAL OF SANDBAG BARRIER  | N/A<br>N/A  |  | AFTER ALL ARE/  | AS DRAINING TO THE  |
|     |  |   |  |  |  |   |  |   |   |

![](_page_7_Picture_4.jpeg)

![](_page_8_Figure_0.jpeg)

| <section-header></section-header>  | 13   | 14   | 15  |   |  |  |  |
|--|--|--|---|---|--|--|--|
| INTERPORT       CERTIFIED BY:         INTERPORT       No. 1991/288         With Monthman       Status         With Monthman       No. 1991/288         With Monthman       Date of Last Field Work: 06/21/2019         Approved By:       BCR         Drawn By:       CLH         Date of Last Field Work: 06/21/2019       Date Plotted: 08/09/2019         Reference #:       C19-49433         Project Number:       M10_A011 | UTILITY NOTES<br>UTILITY NOTES<br>AND CONDITIONS<br>CONTRACTORS I<br>PROPER STAKE L<br>SHALL NOTIFY IN<br>ERRORS FOUND<br>2. STANDARD SPEC<br>ALL SANITARY SE<br>3. ANY PART OF THE<br>BE BACKFILLED T<br>4. ALL WATER MAINS<br>5. STERILIZATION OF<br>AQUA INDIANA RE<br>6. CONTRACTOR RE<br>COMPANYS SPEC<br>7. CONTRACTOR RE<br>CONSTRUCTION.<br>STANDARDS AND<br>8. CONTRACTOR RE<br>CONTRACTOR TO<br>EXISTING TOP OF<br>CONCRETE CRAD<br>9. ALL PROPOSED S<br>WITH CHAPTER S<br>EDITION. DISCREF<br>CONTRACTOR FR<br>PLAN NOTES:<br>(a) CONNECT TO EX<br>SPECIFICATIONS<br>(b) PROVIDE AND IN<br>REQUIRED AT THE<br>LOCATION AND E<br>(c) PROPOSED LIGH<br>(c) PROPOSED LIGH<br>(c) PROPOSED LIGH<br>(c) PROPOSED LIGH<br>(c) PROPOSED LIGH<br>(c) CONNECT TO EX<br>STANDARDS AND<br>(c) PROPOSED LIGH<br>(c) CONNECT TO EX<br>STANDARDS AND<br>(c) PROPOSED LIGH<br>(c) CONNECTION AND<br>(c) PROPOSED LIGH<br>(c) CONTRACTOR SI<br>INSPECTION OF S<br>PRIOR TO BEGIN<br>(c) PROVIDE AND IN<br>CUTOFF AND BE<br>(c) CONTRACTOR SI<br>INSPECTION OF S<br>PRIOR TO BEGIN<br>(c) PROVIDE AND IN<br>CONTRACTOR SI<br>INSPECTION OF S<br>PRIOR TO BEGIN<br>(c) PROVIDE AND IN<br>DRILL STRUCTUF<br>FRANKLIN STANL<br>AROUND STORM | S:<br>RESPONSIBILITY OF EACH CONTRACTOR TO VERS<br>S PERTAINING TO THEIR PHASE OF WORK. IT SI<br>RESPONSIBILITY TO CONTACT THE OWNERS OF<br>JOCATIONS FOR EACH UTILITY BEFORE WORK IS<br>IVARITING THE OWNER OR THE ENGINEER OF AN<br>ON THESE PLANS OR IN THE FIELD BEFORE WOR<br>SIFICATIONS FOR THE CITY OF FRANKLIN AND AQ<br>EWERS, STORM SEWERS, AND WATER MAINS.<br>E SANITARY OR STORM SEWER TRENCHES RUNN<br>TO TOP OF PIPE.<br>IS TO HAVE A 54 <sup>+</sup> MINIMUM COVER OVER GRANUL<br>IF WATER MAIN SHALL BE IN ACCORDANCE WITH<br>EQUIREMENTS.<br>SEPONSIBLE TO INSTALL ALL UNDERGROUND CO<br>OFFICATIONS.<br>SEPONSIBLE TO RESTORATION TO ALL AREAS A<br>REFER TO THE CITY OF FRANKLIN -CODE OF OF<br>9 PECIFICATIONS, AND THE I.N.D.O.T. STREET ST<br>OLICATE ALL EXISTING UTILITIES AT ANY PROPE<br>PIPE ELEVATIONS WITHIN 10 DAYS OF NOTICE TO<br>DE AS REQUIRED FOR ANY VERTICAL SEPARATION<br>STORM SEWER AND DRAINAGE APPURTENANCES<br>INFORM THE BUILDING TRADES PRIOR TO<br>REGROUND ELECTRIC SERVICE PER AQUA INDIAN<br>INFORMATION WITH BUILDING TRADES PRIOR TO<br>DERGROUND ELECTRIC SERVICE CONNECTION WITH<br>RESCOMPOSITION OT THE REQUIREMENTS AS SET INFORMATION<br>INFORMATION WITH BUILDING TRADES PRIOR TO<br>DERGROUND ELECTRIC SERVICE CONNECTION<br>INFORMATION ON THE BUILDING TRADES PRIOR TO<br>DERGROUND ELECTRIC SERVICE CONNECTION<br>INFORMATION ON THE BUILDING TRADES PRIOR TO<br>DERGROUND ELECTRIC SERVICE CONNECTION<br>INFORMATION ON THE BUILDING TRADES PRIOR TO<br>DESCRIPTION ON THE BUILDING TRADES PRIOR TO<br>DESCRIPTION ON THE BUILDING CONSTRUCTION. ALL<br>INFORMATION ON TH | SEA Group   Land Surveyors & Civil Design<br>Construction Layout   494 Gradle Drive Carmel, Indiana 46032   Phone: 317.844.3333   WWW.seagrouplic.com   Info@seagrouplic.com   PROPOSED NEW IMCU BRANCH<br>1073 W. JEFFERSON STREET<br>FRANKLIN, IN 46131   PROJECT LOCATED IN:<br>SECTION 15 - TOWNSHIP 12 NORTH-<br>RANGE 4 EAST<br>FRANKLIN TOWNSHIP,<br>JOHNSON COUNTY   UTILITY PLAN   PREPARED FOR:<br>MEMBERS Credit Union<br>S103 MADISON AVENUE<br>INDIANAPOLIS, IN 46227<br>317.248.8556   REV. # DATE   UGE UNDERGROUND ELECTRIC   UGE UNDERGROUND TELEPHONE   SAN PROPOSED SANITARY LATERAL |   |  |  |  |
| /s/Mark A. Miller       09/02/08         Chiler       09/02/08         Chiler       DATE    Know what's below. Call before you dig. Sheet Number :   | NOTES<br>ste may be used.<br>ture<br>block structure<br>mere inlet pipe is required,<br>2 shall be increased or decreased<br>in bottom of curb to inlet.<br>ed around inlet end of pipe.<br>t open for drainage of<br>il surface is placed.<br>MENT OF TRANSPORTATION<br>ET TYPE A<br>EMBER 2008<br>IG NO. E 720- INST-01<br>/s/ Richard L. VanCleave 09/02/08<br>DESIGN STANDARDS ENGINEER DATE<br>/s/Mark A. Miller 09/02/08<br>CHIEF HIGHWAY ENGINEER DATE  | 811. Knor  | <b>v what's below.</b>  | CERTIFIED BY:<br>CERTIFIED BY:<br>No. 10911288<br>STATE OF<br>No. 1091288<br>STATE OF<br>NO. 1091288<br>STATE OF<br>NO. 1091288<br>STATE OF<br>NO. 10912019<br>STATE OF<br>NO. 10912019<br>STATE OF<br>NO. 10912019<br>Date Plotted: 08/09/2019<br>Reference #: C19-4943<br>Project Number:<br>N119-49444<br>Sheet Number : |  |  |  |

![](_page_9_Figure_0.jpeg)

![](_page_10_Picture_0.jpeg)

|                 | $\backslash$ |       |             |             |       |            |                 |
|-----------------|--------------|-------|-------------|-------------|-------|------------|-----------------|
| Luminaire Sched | lule         |       |             |             |       |            |                 |
| Symbol          | Qty          | Label | Arrangement | Lum. Lumens | LLF   | Lum. Watts | Description     |
|                 | 6            | S4    | SINGLE      | 14081       | 0.900 | 136.4      | XDLM-FT-LED-SS- |
| ⇒               | 4            | С     | SINGLE      | 5631        | 0.900 | 58.5       | XSPS-S-LED-HO-C |
|                 | 4            | S     | SINGLE      | 5349        | 0.900 | 38.4       | SDL4-LED-50L-FL |

| Calculation | Summary |
|-------------|---------|
|             |         |

| Calculation Summary |             |       |       |      |     |         |         |  |  |
|---------------------|-------------|-------|-------|------|-----|---------|---------|--|--|
| Label               | CalcType    | Units | Avg   | Max  | Min | Avg/Min | Max/Min |  |  |
| Paved Areas         | Illuminance | Fc    | 2.28  | 8.6  | 0.2 | 11.40   | 43.00   |  |  |
| Under Canopy        | Illuminance | Fc    | 14.72 | 20.2 | 8.8 | 1.67    | 2.30    |  |  |

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and /or IECC Energy Codes.

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![](_page_10_Figure_7.jpeg)

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.

![](_page_10_Picture_9.jpeg)

Contractor to check and verify all dimensions on site before commencing any work shown.

| -CW             |
|-----------------|
| CW-120V-GWT-DFL |
|                 |

# -50

# LIGHTING NOTES:

- Mounting Height = 24'

- Light Loss Factor = 0.90

- Footcandle Values Calculated @ Grade - Reflectance Values - 80/50/20 (office spaces)

50/30/20 (warehouse areas)

# National Lighting Vendor:

For pricing and technical assistance contact: Todd Hacker of CBMC INC, tel# 317-698-9077, thacker@cbmcinc.com

# IMCU - Franklin, IN

## SITE LAYOUT

| Scale:    | 1/16" = 1'-0" | Drawing No: | LP1 |   |
|-----------|---------------|-------------|-----|---|
| Date:     | 8/7/19        | Project No: |     |   |
| Drawn By: | SJM           | CB15516-SI  | ITE | _ |