

# INDIANA MASONIC HOME COMMUNITY CENTER PARKING LOTS

690 STATE STREET FRANKLIN, IN 46131

March 17, 2015

**BROWNING  
DAY MULLINS  
DIERDORF  
ARCHITECTS**

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SET NUMBER

# ABBREVIATIONS

AC	-	air conditioning	FLG	-	flooring	OC	-	on center
ACOUS	-	acoustical	FT	-	foot, feet	OD	-	outside diameter
AD	-	area drain	FTG	-	footing	OH	-	overhead door
AF	-	above finished floor	GA	-	gauge	OHD	-	opposite hand
AHU	-	air handling unit	GALV	-	galvanized	OPNG	-	opening
ALT	-	alternate	GB	-	grab bar	OPP	-	opposite
ALUM	-	aluminum	GCT	-	glazed ceramic tile	ORD	-	overflow roof drain
AP	-	access panel	GFRC	-	glass fiber reinforced concrete	P	-	paint
APC	-	acoustical panel ceiling	GR	-	glass fiber reinforced gypsum	PC	-	precast concrete
ARCH	-	architectural	GI	-	galvanized iron	PERF	-	perforated
ASSY	-	assembly	GL	-	glass	PERP	-	perpendicular
BOC	-	bottom of curb	GL BLK	-	glass block	PL	-	plate
BO	-	board	GLZ	-	glazing	PLA	-	plaster
BLDG	-	building	GND	-	ground	PLWD	-	plywood
BLK	-	block(ing)	GWB	-	gypsum wallboard	PP	-	power pole
BM	-	beam or benchmark	GYP	-	gypsum	PR	-	pair
BRK	-	brick	HB	-	hose bibb	PRECAST	-	precast
BRZ	-	bronze	HCD	-	hollow core door	PREFAB	-	prefabricated
BSMT	-	basement	HCM	-	hollow core metal	PSF	-	pounds per square foot
BTM	-	bottom	HCV	-	hollow core wood	PSI	-	pounds per square inch
BOW	-	bottom of wall	HD	-	head	PTD	-	pointed
CAB	-	cabinet	HDW	-	hardware	QT	-	quarry tile
CER	-	ceramic	HST	-	hollow metal	R	-	riser
CHW	-	chilled water	HM	-	hollow metal	RA	-	return air
CI	-	cast iron	HORIZ	-	horizontal	RAD	-	radius
CP	-	cast in place	HPL	-	high pressure laminate	RIB	-	root drain
CJ	-	control joint	HVAC	-	heating/ventilation/air conditioning	REF	-	refer(ence)
CLG	-	ceiling	ID	-	inside diameter	REFIN	-	refinished
CMU	-	concrete masonry unit	IN	-	inch	REQD	-	required
CO	-	clean out	INSUL	-	insulation	RES	-	resilient
COL	-	column	INT	-	interior	REV	-	revision
CONC	-	concrete	INV	-	invert	RH	-	right hand
CONST	-	construction	JAN	-	janitor	RHR	-	right hand reversed
CONT	-	continuous	JST	-	joint	RM	-	room
CONR	-	conjugated	JT	-	joint	RO	-	rough opening
CPT	-	carpet	KIT	-	kitchen	S	-	south
CT	-	ceramic tile	LAB	-	laboratory	SCHED	-	schedule
CTSK	-	countersink	LAM	-	laminated	SCW	-	solid core wood
CW	-	curtain wall	LAV	-	lavatory	SECT	-	section
DBL	-	double	LF	-	lineal foot	SF	-	square feet
DET	-	detail	LH	-	left hand	SHT	-	sheet
DIAM	-	diameter	LHR	-	left hand reverse	SIM	-	similar
DIAG	-	diagonal	LL	-	live load	SPEC	-	specification(s)
DM	-	dimension	LLG	-	lighting	SQ	-	square
DMY	-	dimension	LVR	-	louwer	SQ FT	-	square feet
DL	-	dead load	M	-	meter	SQ IN	-	square inch
DN	-	down	MACH	-	machine	SST	-	stainless steel
DS	-	downspout	MAINT	-	maintenance	STD	-	standard
DWG	-	drawing	MAR	-	marble	STL	-	steel
E	-	east	MAS	-	masonry	STOR	-	storage
EA	-	each	MATL	-	material	STRUCT	-	structural
EF	-	each face	MAX	-	maximum	SUSP	-	suspended
EJ	-	expansion joint	MCH	-	mechanical	T	-	thead
ELEC	-	electrical	MEZZ	-	mezzanine	T&G	-	tee and groove
ELEV	-	elevation, elevator	MFR	-	manufacturer	TEL	-	telephone
EPDM	-	ethylene propylene diene monomer	MIN	-	minimum	TOC	-	top of curb
EQ	-	equipment	MISC	-	miscellaneous	TOW	-	top of wall
EQUIP	-	equipment	MM	-	millimeter	TYP	-	typical
EV	-	extruded vinyl	MNTD	-	mounted	VB	-	vinyl base
EW	-	each way	MUL	-	mullion	VCT	-	vinyl composition tile
EWIC	-	electric water cooler	N	-	north	VERT	-	vertical
EX	-	exposed	NIC	-	not in contract	VWC	-	vinyl wall covering
EXH	-	exhaust	NO	-	number	W	-	west
EXIST	-	existing	NOM	-	nominal	W/	-	with
EXP	-	expansion	NRC	-	noise reduction coefficient	WCO	-	without
EXT	-	exterior	NTS	-	not to scale	WW	-	wall to wall
FD	-	floor drain				WC	-	water closet
FDW	-	foundation				WD	-	wood
FE	-	fire extinguisher				WF	-	wide flange
FEC	-	fire extinguisher cabinet				WGL	-	wire glass
FIN	-	finished				WFT	-	welding point
FIX	-	fixture				WWF	-	welded wire fabric
FL	-	floor				YD	-	yard, yard drain

# GENERAL NOTES

- ALL DIMENSIONS ARE TAKEN TO FACE OF METAL STUD, FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXISTING FINISHES, OR FROM CENTER LINE OF EXISTING COLUMNS UNLESS NOTED AS CLEAR (CLR). CLEAR DIMENSIONS INDICATE FINISH SURFACE TO FINISH SURFACE SPANS BETWEEN WALLS OR FROM FINISH SURFACE OF WALL TO LATCHING OF ADJACENT DOOR.
- CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND PROMPTLY NOTIFY THE OWNER AND THE ARCHITECT OF ANY CONDITIONS THAT ARE IN CONFLICT WITH THE PROPOSED WORK OR ARE IN VARIANCE WITH THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL PROTECT EXISTING MATERIALS, COMPONENTS, AND FEATURES DESIGNATED TO REMAIN. BE SALVAGED/AND/OR REUSED. (SEE DEMOLITION DRAWINGS.)
- CONTRACTOR SHALL COORDINATE WITH THE OWNER AND GOVERNING AUTHORITIES TO ESTABLISH CONSTRUCTION TRAFFIC ACCESS TO THE SITE AND DESIGNATED CONSTRUCTION THROUGHOUT THE BUILDING.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, AND THE MAJOR ARCHITECTURAL ELEMENTS. AS GRAPHIC DOCUMENTS THE DRAWINGS DO NOT INDICATE OR DESCRIBE THE WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE CONTRACT DOCUMENT. THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED THE CONTRACTOR SHALL STUDY THE DRAWINGS AND THEIR GENERAL INFERENCE TO FURNISH THE ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- ALL DESIGN TEAM DRAWINGS SHALL BE USED TO LOCATE BUILDING ELEMENTS. CONTACT THE ARCHITECT WITH CONFLICTS, DISCREPANCIES, AND OMISSIONS PRIOR TO COMMENCEMENT OF WORK. WRITTEN DOCUMENTATION SHALL BE PROVIDED BY CONTRACTOR REGARDING SUCH ITEMS.

# LOCATION MAP



## SITE

**690 STATE STREET  
FRANKLIN, IN 46131**

# GRAPHIC SYMBOLS

	SIM DETAIL NUMBER SHEET NUMBER
	EXTERIOR ELEVATION NUMBER
	SHEET NUMBER
	EXTERIOR ELEVATION NUMBER
	SHEET NUMBER
	SECTION NUMBER SHEET NUMBER
	WALL TYPE. REFER TO SHEET A005
	CEILING TYPE CEILING HEIGHT
	KEYNOTE/PLAN NOTE
	KEYNOTE
	DEMOLITION KEYNOTE
	WALL FINISH TAG
	EQUIPMENT/FIXTURE TAG
	GRID BUBBLE
	ROOM TAG
	LEVEL TAG

# SHEET INDEX

SHEET INDEX	
SHEET #	NAME
G001	COVER SHEET X
G002	INDEX SHEET X

01 - GENERAL	
G001	COVER SHEET X
G002	INDEX SHEET X

02 - CIVIL	
C101	Utility Demolition Plan X
C102	Utility Demolition Plan X
C301	Grading Plan X
C302	Grading Plan X
C401	Stormwater Pollution Prevention Plan X
C402	Stormwater Pollution Prevention Plan X
C402A	Stormwater Pollution Prevention Plan X
C403	Stormwater Pollution Prevention Plan Details X
C404	Stormwater Pollution Prevention Plan Notes X
C501	Utility Plan X
C502	Utility Plan X
C503	Utility Details X
C504	Utility Details X

03 - LANDSCAPE ARCHITECTURE	
L001	Landscape Abbreviations, Symbols & Notes X
L002	General Details X
L003	General Details X
L004	General Details X
L100	Key Plan X
L111	Site Materials Plan - Area A X
L112	Site Materials Plan - Area B X
L121	Site Layout Plan - Area A X
L122	Site Layout Plan - Area B X
L141	Site Planting Plan - Area A X
L142	Site Planting Plan - Area B X
L151	Irrigation Plan X

04 - SITE ELECTRICAL	
E001	Site Electrical Plan X
E002	Site Photometric Plan X

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CERTIFICATION

**FOR CONSTRUCTION  
ISSUE**

**INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOTS  
690 STATE STREET  
FRANKLIN, IN 46131**

Project No.: 13044  
Drawn By: Author  
Checked By: Checker  
Scale: See Drawing  
Issue Date: 17 March 2015

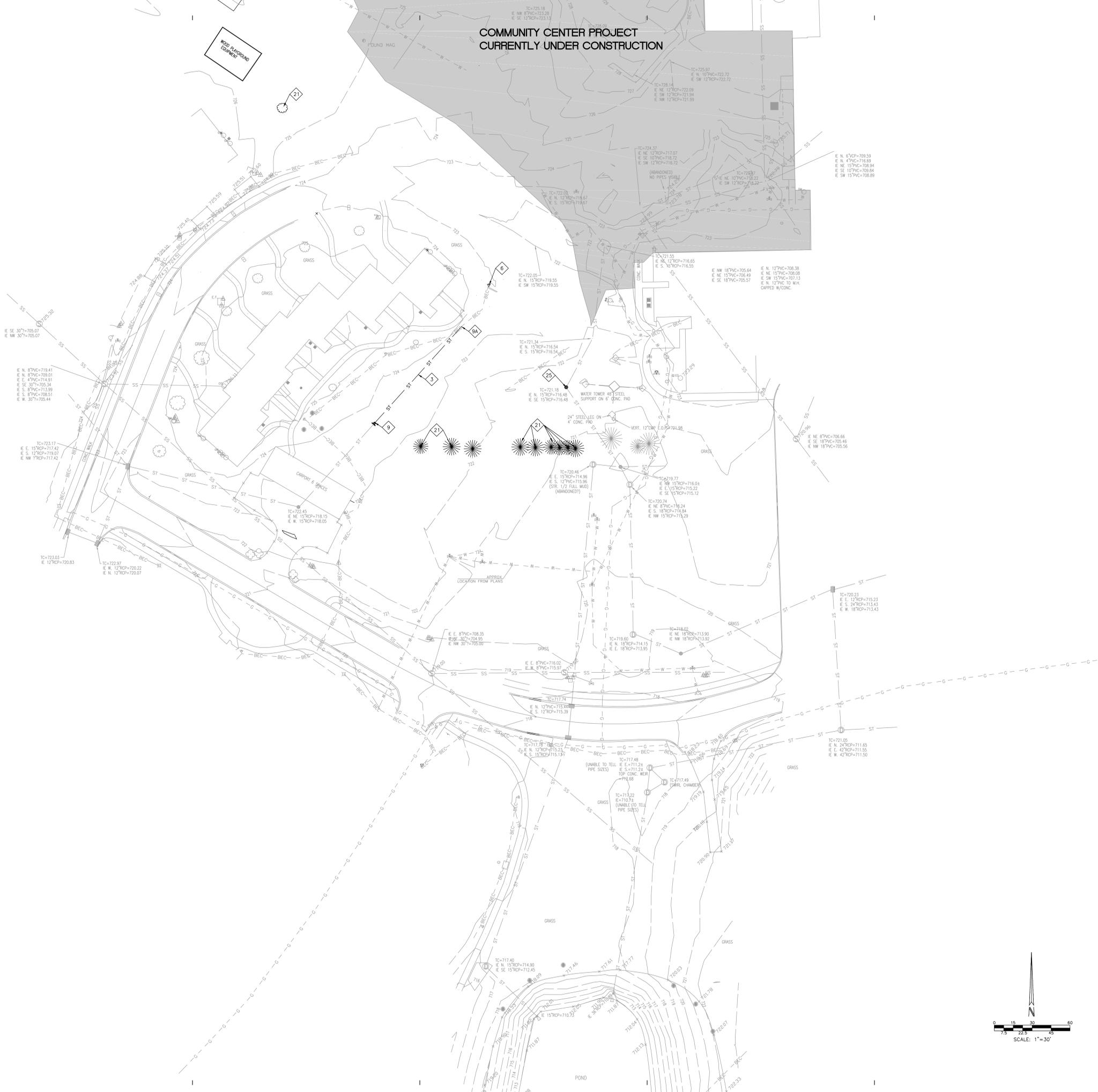
REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

INDEX SHEET

# G002



**COMMUNITY CENTER PROJECT  
CURRENTLY UNDER CONSTRUCTION**



**EXISTING FEATURES LEGEND**

- SS SANITARY SEWER & MANHOLE
- ST STORM SEWER, END SECTION, INLET & M.H.
- G GAS LINE
- W WATER LINE
- E ELECTRIC LINE (AERIAL)
- CTV CABLE TELEVISION (AERIAL)
- BTC BURIED TELE. CABLE
- BEC BURIED ELEC. CABLE
- BCTV BURIED CABLE TV
- QUADRAL
- PROPERTY LINE
- EASEMENT LINE
- CENTER LINE
- SMILE LINE
- POWER POLE
- UTILITY RISER, TELEPHONE, ELECTRIC & CABLE TV
- ELECTRIC TRANSFORMER
- AIR CONDITIONER UNIT
- STREET LIGHT
- LIGHT POLE
- FLOOD LIGHT
- TRAFFIC MANHOLE AND SIGNAL POLE
- FIRE HYDRANT
- VALVE, GAS & WATER
- STREET SIGN
- WATER, TELEPHONE AND ELECTRIC MANHOLE
- SEWER CLEANOUT
- ELECTRIC, GAS AND WATER METER
- PIPELINE MARKER POST
- MALBOX
- GUARD POST
- SPRINKLER HEAD
- IRRIGATION CONTROL BOX
- SPOT GRADE
- TOP CURB/GUTTER GRADE
- MONITORING WELL
- FIRE SERVICE STAND PIPE
- GAS VENT PIPE
- SEPTIC TANK LID
- WELL CAP
- AIR RELIEF VALVE
- UNDERGROUND TANK
- FLEXIBLE PIPE
- 123 SITE ADDRESS

D. DEED DIMENSION  
M. MEASURED DIMENSION  
P. PLAT DIMENSION  
R. RADIUS  
L. ARC LENGTH  
H.H. HANDHOLE  
FND. FOUND  
CONC. CONCRETE  
ASPH. ASPHALT  
TC TOP OF CASTING ELEVATION  
IE INVERT ELEVATION  
FFE FINISH FLOOR ELEVATION  
TBM TEMPORARY BENCHMARK

● DENOTES A 5/8" DIA. REBAR WITH YELLOW PLASTIC CAP SET.  
CAP STAMPED "CRIFE FIRM NO. 0055" UNLESS OTHERWISE NOTED.  
○ DENOTES A MAG NAIL WITH WASHER SET, WASHER STAMPED "CRIFE FIRM NO. 0055" UNLESS OTHERWISE NOTED.

**UTILITY DEMOLITION PLAN LEGEND**

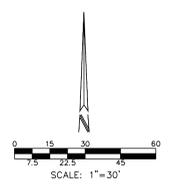
- CONSTRUCTION LIMITS
- CONSTRUCTION LIMITS

**UTILITY DEMOLITION PLAN NOTES:**

- SITE DEMOLITION UNDER SEPARATE PACKAGE.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK ASSOCIATED WITH THE REMOVAL, RELOCATION, AND DEMOLITION OF EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
- ALL DEMOLISHED MATERIAL TO BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED, AND SHALL BE LEGALLY DISPOSED OF OFF-SITE.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PER SHEET C401-C403 PRIOR TO COMMENCING DEMOLITION.
- MAINTAIN PROPER DRAINAGE IN DEMOLITION AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO EXISTING BUILDINGS AND/OR SITE ENTITIES THAT ARE TO REMAIN.
- REMOVAL OR RELOCATION OF ALL EXISTING LANDSCAPING MUST BE COORDINATED WITH OWNER.
- EXISTING UNDERGROUND ELECTRIC AND TELEPHONE CABLES THAT ARE SHOWN TO BE ABANDONED IN PLACE MAY BE CUT AS NECESSARY TO FACILITATE NEW CONSTRUCTION. CONTRACTOR SHALL ENSURE THAT LINES ARE NOT ACTIVE PRIOR TO CUTTING.
- EXISTING WATER LINES SHALL NOT BE ABANDONED OR DEMOLISHED UNTIL PROPOSED WATER MAINS HAVE BEEN INSTALLED TO A POINT SUCH THAT ONLY MINIMAL DISRUPTION IN WATER SERVICE TO THE EXISTING OCCUPIED BUILDINGS WILL OCCUR.
- ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

**KEYNOTE LEGEND**

- REMOVE EXISTING STORM STRUCTURE
- REMOVE EXISTING SANITARY SEWER STRUCTURE AND LATERALS
- REMOVE STORM PIPE
- ELECTRIC TRANSFORMER TO BE RELOCATED (SEE ELECTRICAL PLANS)
- REMOVE RADIO TOWER COORDINATE WITH OWNER FOR RELOCATION/STORAGE
- REMOVE EXISTING LIGHT. SEE BDMO LIGHTING PLAN FOR NEW LOCATION.
- SEAL AND CAP END OF STORMPIPE
- DISCONNECT STORM SEWER AND ABANDON IN PLACE WITH BULKHEAD
- SAWCUT PIPE AND ABANDON IN PLACE WITH BULKHEAD
- IF BULKHEAD IN PLACE, REMOVE PIPE DOWNSTREAM TO NEW BULKHEAD LOCATION. IF NOT IN PLACE, DO NOT INSTALL. SANITARY SEWER TO BE RELOCATED AROUND PROPOSED BUILDING. CONTRACTOR TO PUMP AROUND TO FACILITATE SEWER CONNECTION (SEE SHEET C501). BULKHEAD AT SEAL END OF SANITARY PIPE TO BE ABANDONED IN PLACE. RECONNECT TO NEW TRANSFORMER. SEE ELECTRICAL PLANS
- REMOVE BURIED ELECTRIC. SEE ELECTRICAL PLANS
- ADJUST CASTING TO GRADE
- PROTECT UNDERGROUND UTILITY DURING CONSTRUCTION
- REPLACE CASTING WITH SOLID LID
- REMOVE OVERHEAD ELECTRIC
- REMOVE ABANDONED WATER LINE. SEAL AT DISCONNECT. CLOSE VALVE AND INSTALL PLUG. CONTRACTOR TO VERIFY WATER LINE SIZE IN FIELD.
- SURFACE REPLACEMENT, ASPHALT ROAD REPAIR
- REMOVE CURB
- STORM SEWER TO REMAIN
- REMOVE TREE
- RELOCATE 8" WATERLINE. CONTRACTOR TO VERIFY WATER LINE LOCATION PRIOR TO DISCONNECT. PROVIDE INSERTA-VALVE IF VALVE IS NOT AVAILABLE TO ISOLATE LINE.
- RELOCATE EXISTING FIRE HYDRANT. CONTRACTOR TO VERIFY LOCATION
- REMOVE STORM STRUCTURE. MAINTAIN ROOF DRAINAGE UNTIL NEW STRUCTURE IN PLACE.
- REMOVE CASTING. ADJUST CASTING TO GRADE. SEE SHEET C501
- REMOVE CONCRETE SIDEWALK
- REMOVE WATER METER AND LINE. CONTRACTOR TO VERIFY WATERLINE LOCATION.
- SANITARY STRUCTURE TO BE ABANDONED IN PLACE. CUT MANHOLE DOWN TO A MINIMUM 1' BELOW FURNISHING STONE BASE. FILL MANHOLE AND OUTLET PIPE WITH FLOREABLE FILL.
- REMOVE SITE LIGHTING ELECTRIC. COORDINATE WITH LIGHTING PLAN FOR ADDITIONAL INFORMATION
- REMOVE ELECTRIC METER
- REMOVE SPOT AND WATERLINE. SEAL AT DISCONNECT. CLOSE VALVE AND INSTALL PLUG
- REMOVE SANITARY CLEANOUT
- REMOVE RISER AND INSTALL GOST BOX FROM OLD CASTLE OR APPROVED EQUIVALENT. COORDINATE WITH UTILITY



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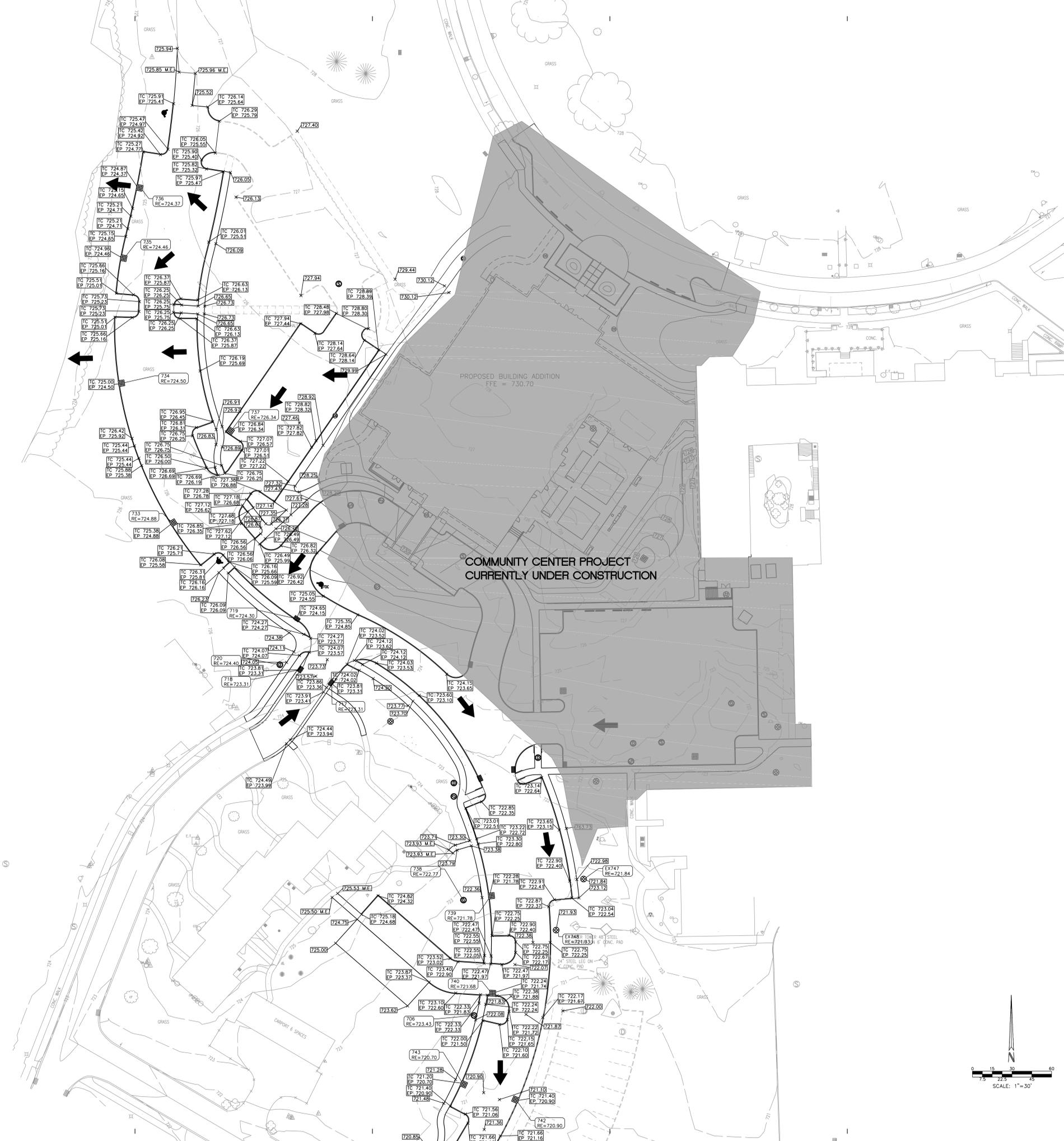
INDIANA MASONIC HOME  
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Project No.: 13LD44  
Drawn By: JCL/JL  
Checked By: DL  
Scale: See Drawing  
Issue Date: 17 MARCH 2015

Rev. #	REVISION SCHEDULE	Issue Date
	Revision Description	

**UTILITY DEMOLITION PLAN  
C102**

DATE PLOTTED: 03/17/2015 10:28 AM  
PLOT FILE: C:\Users\jclach\OneDrive\Documents\13LD44\Utility Demolition Plan.dwg



### GRADING PLAN LEGEND

	PROPOSED 1' CONTOUR		PROPOSED GRADE
	PROPOSED 5' CONTOUR		MATCH EXISTING GRADE
	PROPOSED SLOPE		PROPOSED TOP OF CURB
	PROPOSED SLOPE WITH SUB-SURFACE DRAIN		PROPOSED EDGE OF PAVEMENT
	CONSTRUCTION LIMITS		PROPOSED TOP OF WALL
	FLOOD ROUTE		PROPOSED BOTTOM OF WALL
			FINISHED FLOOR ELEVATION
			RAW ELEVATION
			BASE FLOOD ELEVATION

- ### GRADING PLAN NOTES
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - TOPOGRAPHIC AND PLANIMETRIC INFORMATION FROM PHOTOGRAPHIC COMPILED HAS BEEN PROVIDED BY OTHERS. THE ACCURACY HAS NOT BEEN CONFIRMED BY CRIBE ARCHITECTS + ENGINEERS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD.
  - ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
  - RAW ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CATCHINGS. IF CATCHING HAS SOLID LID, THE RE IS THE LID ELEVATION.
  - BUILDING PAD AREAS AND PAVED AREAS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS SHALL BE STRIPPED OF TOPSOIL.
  - THE INTENT OF THESE PLANS ARE TO USE ALL EXCESS FILL MATERIAL ON-SITE. BORROW PITS IN NONSTRUCTURAL FILL AREAS MAY BE UTILIZED TO OBTAIN SUITABLE FILL MATERIAL AND TO DISPOSE OF TOPSOIL.
  - TOPSOIL SHALL BE PLACED IN MOUNDING AREAS AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF MASS EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR TO SIX (4 TO 6) INCHES IN AREAS TO BE SEEDING SUCH AS STAGING AREA, GRASS AREAS, AND DISTURBED AREAS OUTSIDE OF BUILDING AND PARKING AREAS.
  - CONTRACTOR SHALL PRESERVE EXISTING TREES WHEREVER POSSIBLE. CLEARING LIMITS SHALL CONSIST OF ALL TREES WITHIN PAVED AREAS, UTILITY INSTALLATION LIMITS, AND CUT/FILL AREAS.
  - A GEOTECHNICAL REPORT HAS BEEN PROVIDED FOR THIS PROJECT FOR REFERENCE. CONTRACTOR TO REVIEW PRIOR TO START OF CONSTRUCTION.
  - ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REVISION MAY OCCUR.
  - CONTOURS SHOWN FOR REFERENCE TO MEET JURISDICTIONAL REQUIREMENTS. CONTRACTOR SHOULD GRADE SITE PER SPOT GRADE ELEVATIONS.
  - THE FLOOD PROTECTION GRADE FOR THE BUILDING IS 717.05, TWO FEET ABOVE THE 100 YR. W.S.E. IN THE POND. THE BUILDING FFE IS 730.

- ### FLOODPLAIN NOTES
- THE 100 YEAR BASE FLOOD ELEVATION FOR THIS SITE WAS DETERMINED TO BE 713.00 FEET HWGD USING THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 18081002310, REVISED AUGUST 2, 2007.
  - THE ENTIRE SITE IS LOCATED WITHIN THE FLOOD HAZARD ZONE "X" PER THE FLOOD INSURANCE RATE MAP. THESE AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

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CERTIFICATION  
 03-17-2015

**FOR CONSTRUCTION ISSUE**

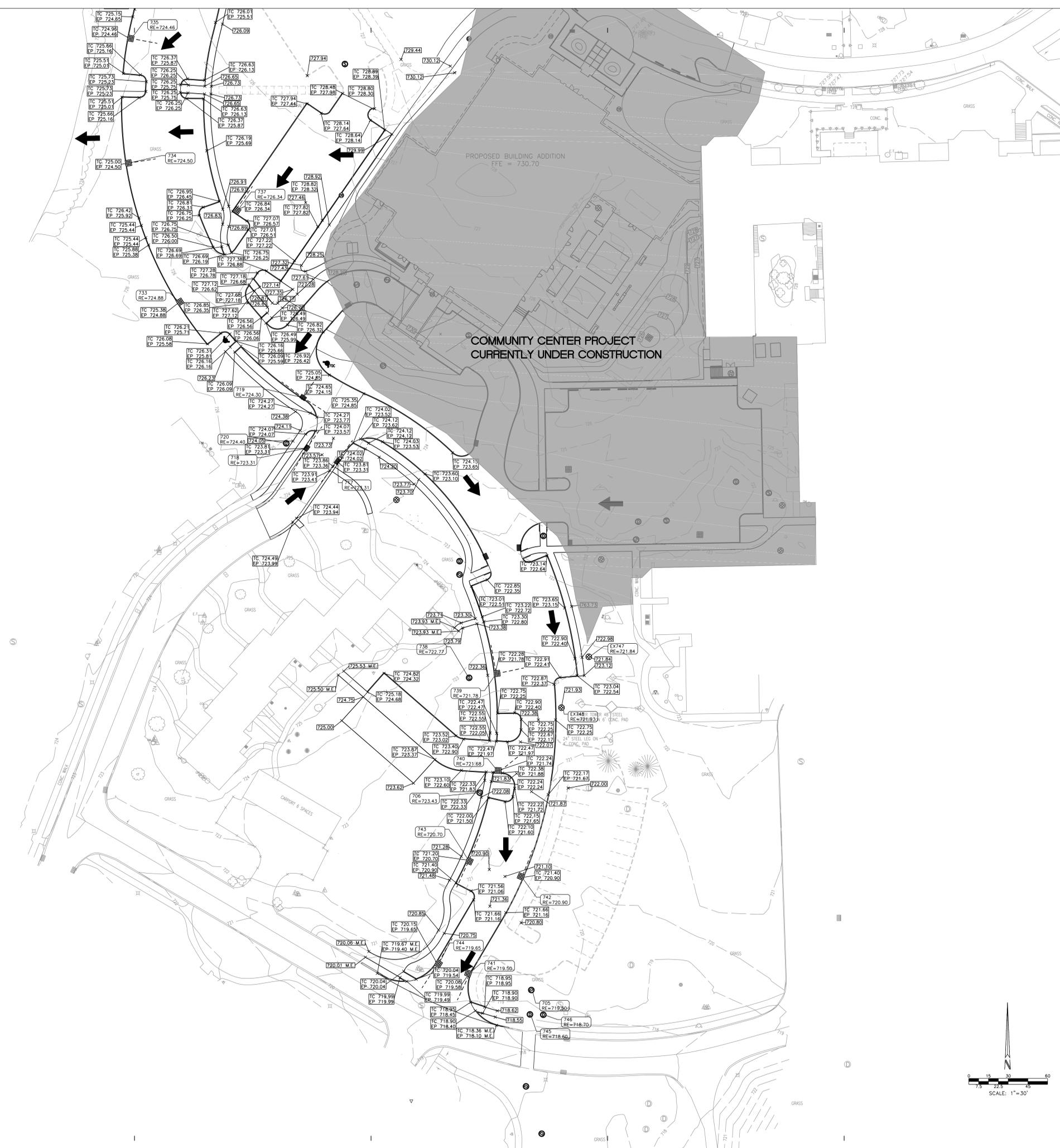
INDIANA MASONIC HOME  
 COMMUNITY CENTER  
 PARKING LOTS  
 690 STATE STREET  
 FRANKLIN, IN 46131

Project No.: 18L044  
 Drawn By: JCL/JL  
 Checked By: DL  
 Scale: See Drawing  
 Issue Date: 17 MARCH 2015

Rev. #	REVISION SCHEDULE	Issue Date
	Revision Description	

## GRADING PLAN C301

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### GRADING PLAN LEGEND

- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED SWALE
- SWALE @ 1.0%
- PROPOSED SWALE WITH SUB-SURFACE DRAIN
- CONSTRUCTION LIMITS
- FLOOD ROUTE
- PROPOSED GRADE
- MATCH EXISTING GRADE
- PROPOSED TOP OF CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED TOP OF WALL
- PROPOSED BOTTOM OF WALL
- FINISHED FLOOR ELEVATION
- RIM ELEVATION
- BASE FLOOD ELEVATION

- ### GRADING PLAN NOTES
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - TOPOGRAPHIC AND PLANNING INFORMATION FROM PHOTOGRAPHIC COMPILED HAS BEEN PROVIDED BY OTHERS. THE ACCURACY HAS NOT BEEN CONFIRMED BY CRIBE ARCHITECTS + ENGINEERS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD.
  - ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
  - RIM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
  - BUILDING PAD AREAS AND PAVED AREAS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS SHALL BE STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
  - THE INTENT OF THESE PLANS ARE TO USE ALL EXCESS FILL MATERIAL ON-SITE. BORROW PITS IN NONSTRUCTURAL FILL AREAS MAY BE UTILIZED TO OBTAIN SUITABLE FILL MATERIAL AND TO DISPOSE OF TOPSOIL.
  - TOPSOIL SHALL BE PLACED IN MOUNDING AREAS AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF MASS EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR TO SIX (4 TO 6) INCHES IN AREAS TO BE SEEDING SUCH AS STAGING AREA, GRASS AREAS, AND DISTURBED AREAS OUTSIDE OF BUILDING AND PARKING AREAS.
  - CONTRACTOR SHALL PRESERVE EXISTING TREES WHEREVER POSSIBLE. CLEARING LIMITS SHALL CONSIST OF ALL TREES WITHIN PAVED AREAS, UTILITY INSTALLATION LIMITS, AND CUT/FILL AREAS.
  - A GEOTECHNICAL REPORT HAS BEEN PROVIDED FOR THIS PROJECT FOR REFERENCE. CONTRACTOR TO REVIEW PRIOR TO START OF CONSTRUCTION.
  - ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REVISION MAY OCCUR.
  - CONTOURS SHOWN FOR REFERENCE TO MEET JURISDICTIONAL REQUIREMENTS. CONTRACTOR SHOULD GRADE SITE PER SPOT GRADE ELEVATIONS.
  - THE FLOOD PROTECTION GRADE FOR THE BUILDING IS 717.05, TWO FEET ABOVE THE 100 YR. W.S.E. IN THE POND. THE BUILDING FFE IS 730.

### FLOODPLAIN NOTES

- THE 100 YEAR BASE FLOOD ELEVATION FOR THIS SITE WAS DETERMINED TO BE 713.00 FEET HWGD USING THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 18081002310, REVISED AUGUST 2, 2007.
- THE ENTIRE SITE IS LOCATED WITHIN THE FLOOD HAZARD ZONE "X" PER THE FLOOD INSURANCE RATE MAP. THESE AREAS ARE DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

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**FOR CONSTRUCTION ISSUE**

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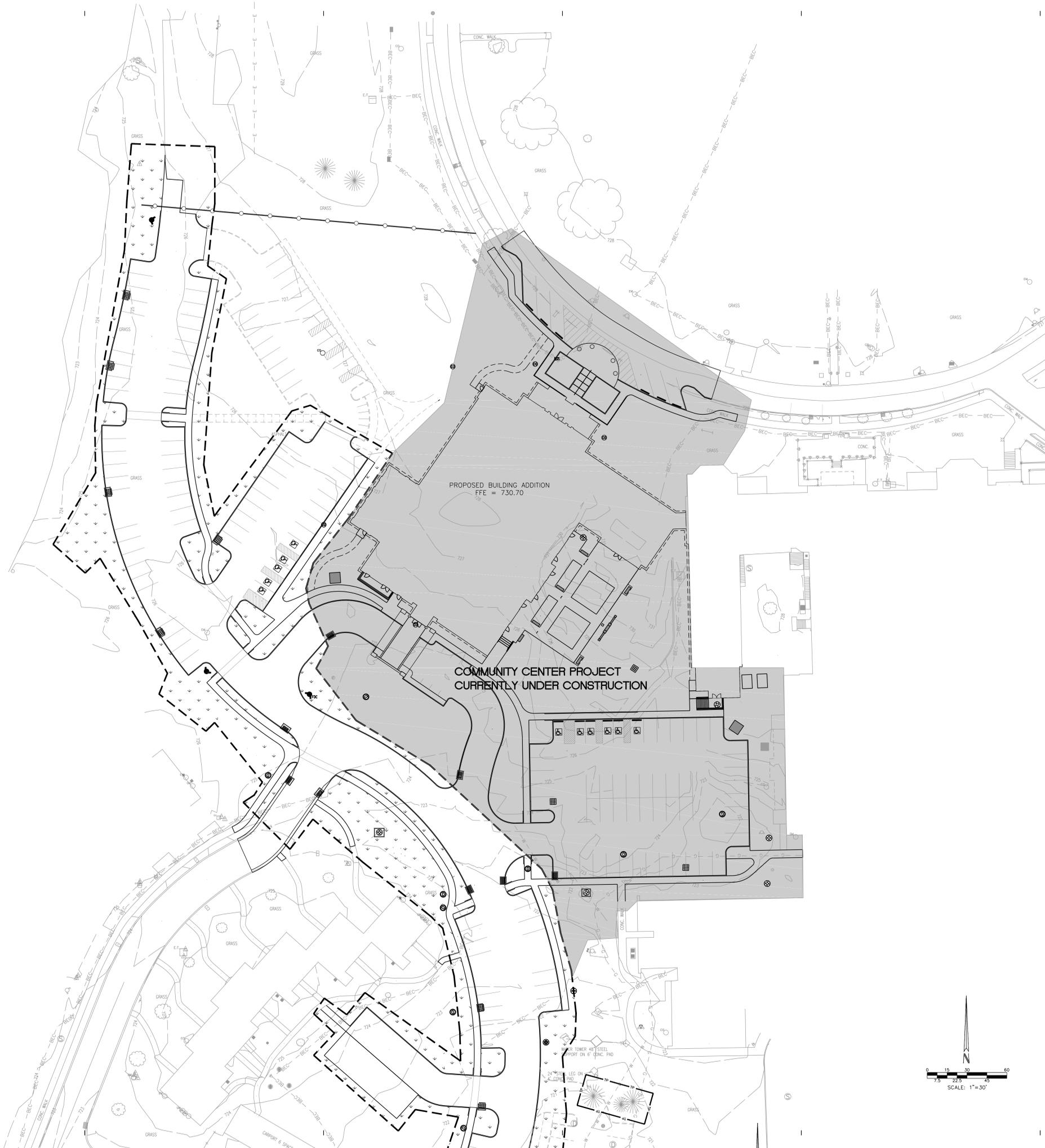
Project No.: 18L044  
 Drawn By: JCLM  
 Checked By: DL  
 Issue Date: See Drawing  
 17 MARCH 2015

Rev. #	REVISION SCHEDULE	Revision Description	Issue Date

## GRADING PLAN

# C302

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### EROSION CONTROL LEGEND

	CONSTRUCTION FENCE		TREE/SHRUB PRESERVATION AND PROTECTION
	SILT FENCE BARRIER INSTALLATION		CONSTRUCTION LIMITS
	PERMANENT SEEDING WITH EROSION CONTROL BLANKET (SC150)		TEMPORARY CONSTRUCTION INGRESS/EGRESS DRIVE. ONCE CONSTRUCTION IS COMPLETE, CONTRACTOR SHALL REMOVE STONE, RESPADE TOPSOIL, AND SEED ENTIRE AREA.
	PERMANENT SEEDING (SEE LANDSCAPE PLANS FOR DETAILS)		CONTRACTOR STAGING AREA SHALL UTILIZE THE EXISTING ASPHALT AREA. CONTRACTOR SHALL REPAIR ALL DAMAGED ASPHALT WITHIN THE AREA UPON COMPLETION OF THE PROJECT AND SHALL MEET THE STANDARDS AS DICTATED ON DETAILS.
	INSERT (BAG) INLET PROTECTION		RECYCLING DUMPSTER
	INSERT (BAG) CURB INLET PROTECTION WITH CURB FILTER		CONCRETE WASHOUT AREA
	CONCRETE END SECTION RIPRAP DETAIL (UPPER AND LOWER INV)		CONSTRUCTION DUMPSTER
	GRAVEL DONUT INLET PROTECTION DETAIL		ROCK CHECK DAM

- ### EROSION CONTROL PLAN NOTES
- SEE SHEET C404 FOR SOILS MAP AND SOIL CHARACTERISTICS.
  - SEE SHEET C403 FOR EROSION CONTROL DETAILS.
  - SILT FENCE BARRIER TO BE INSTALLED PRIOR TO CONSTRUCTION.
  - EROSION CONTROL MEASURES TO BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
  - SEE EROSION CONTROL SPECIFICATIONS FOR ALL EROSION CONTROL MEASURES, SCHEDULES, AND SEQUENCES.
  - CONTRACTOR TO PROVIDE A STABLE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT CONDITION FROM THE CONSTRUCTION SITE TO KEEP MUD AND SEDIMENT OFF PUBLIC ROADS.
  - EROSION CONTROL MAINTENANCE - SITE TO BE INSPECTED AT LEAST ONCE A WEEK AND MAKE REPAIRS IMMEDIATELY AFTER PERIODS OF RAINFALL.
  - STORMWATER DISCHARGE WILL NOT ENTER THE GROUNDWATER FOR THIS PROJECT.
  - THE 100 YEAR FLOODPLAIN FLOODWAYS ARE PRESENT AND LABELED ON THIS SITE.
  - PRESENCE OF HYDRIC SOILS.
  - CONTRACTOR SHALL PROVIDE THE OFFICE OF CODE ENFORCEMENT OF THE CITY OF FRANKLIN WITH A NARRATIVE DESCRIBING THE CONSTRUCTION SEQUENCE, INCLUDING START DATES FOR EACH LAND DISTURBING ACTIVITY.
  - SHEL SEXTON SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL. SHEL SEXTON SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. ONCE DETERMINED, CRPE SHALL COORDINATE WITH THE CITY.
  - ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR REVISION MAY OCCUR.
  - DISTURBED AREA FOR PARKING LOT ADDITION - 2.48 ACRES

- ### EROSION AND SEDIMENT CONTROL SEQUENCE AND IMPLEMENTATION
- INSTALL CONSTRUCTION FENCING AND GATES AS ILLUSTRATED.
  - INSTALL SILT FENCING AS SHOWN ON C401-C402 (SEE DETAIL ON SHEET C403). DUST SHALL BE KEPT TO A MINIMUM BY UTILIZING SPRINKLING, CALCIUM CHLORIDE, VEGETATIVE COVER, SPRAY ON ADHESIVE OR OTHER APPROVED METHODS.
  - IDENTIFY CONSTRUCTION STAGING, CONCRETE WASHOUT AREAS, MATERIAL STORAGE AND TOPSOIL STOCKPILE AREAS. EACH AREA SHALL BE PROPERLY PROTECTED AND DELIMITED PRIOR TO CONSTRUCTION.
  - THE NOI AND CONTACT INFORMATION FOR THE PERSON WITH ONSITE RESPONSIBILITIES MUST BE POSTED.
  - IDEM AND CITY OF FRANKLIN MUST BE NOTIFIED WITHIN 48 HOURS OF COMMENCING CONSTRUCTION.
  - CONTACT INDIANA UNDERGROUND PLANNED PROTECTION SYSTEMS, INC. ("INDIANA 811") FOR UNDERGROUND UTILITY LOCATIONS. (1-800-382-5544).
  - BEFORE OPENING UP THE SITE, FIRST EVALUATE, MARK AND PROTECT IMPORTANT TREES AND ASSOCIATED ROOT ZONES, UNIQUE AREAS TO BE PRESERVED (I.E. WETLANDS), OR EXISTING VEGETATION SUITABLE FOR USE AS FILTER STRIPS (ESPECIALLY IN PERMETER AREAS).
  - FIRST, STRIP AND STOCKPILE ANY EXISTING TOPSOIL ON-SITE. STOCKPILE AREA SHOWN ON C402A. PROVIDE EROSION PROTECTION AROUND STOCKPILE.
  - BEGIN MASS EARTHWORK FOR IMPROVEMENTS FOR PRELIMINARY GRADING. SEE "GENERAL SEEDING AND SURFACE STABILIZATION PROCEDURES" FOR TEMPORARY SEEDING GUIDELINES ON THIS SHEET.
  - REPAIR ANY SILT FENCING IF DAMAGED. IF SILT IS 1/2 HEIGHT OF FABRIC, REMOVE SILT AND REPLACE TO ORIGINAL CONDITION. SEE DETAIL ON SHEET C403.
  - INSTALL POST CONSTRUCTION BMP MEASURES. INCLUDES FINAL GRADING AND STABILIZATION, IF ANY OF THESE AREAS WERE USED AS TEMPORARY SEDIMENT CONTROL DEVICES DURING CONSTRUCTION, REMOVE AND DESTABILIZE FOR POST CONSTRUCTION USE.
  - IMMEDIATELY AFTER GRADING, APPLY SURFACE STABILIZATION PRACTICES ON ALL GRADED AREAS, USING PERMANENT MEASURES IN ACCORDANCE WITH THE EROSION CONTROL PLAN. HOWEVER, IF WEATHER DELAYS PERMANENT STABILIZATION, TEMPORARY SEEDING AND/OR MULCHING MAY BE NECESSARY AS A PROVISIONAL MEASURE. ALSO STABILIZE (USING TEMPORARY SEEDING/MULCHING OR OTHER SUITABLE MEANS) ANY DISTURBED AREA WHERE ACTIVE CONSTRUCTION WILL NOT TAKE PLACE FOR 15 WORKING DAYS.
  - AFTER CONSTRUCTION AND FINAL GRADING, PERMANENTLY STABILIZE ALL DISTURBED AREAS. ALSO REMOVE TEMPORARY RUNOFF CONTROL STRUCTURES, ANY UNSTABLE SEDIMENT AROUND THEM, AND STABILIZE THOSE AREAS WITH PERMANENT SEEDING AND EROSION CONTROL BLANKET IF NECESSARY.
  - MAINTAIN ALL EROSION AND SEDIMENT CONTROL PRACTICES UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

### KEYNOTE LEGEND

CONSTRUCTION ENTRANCE AND GATE

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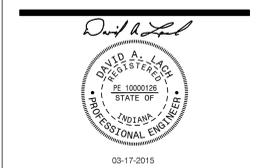
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CERTIFICATION  
 FOR CONSTRUCTION  
 ISSUE

INDIANA MASONIC HOME  
 COMMUNITY CENTER  
 PARKING LOTS  
 690 STATE STREET  
 FRANKLIN, IN 46131

Project No.: 13L044  
 Drawn By: JCL  
 Checked By: DL  
 Scale: See Drawing  
 Issue Date: 17 MARCH 2015

Rev. #	REVISION SCHEDULE	Issue Date
	Revision Description	

# STORMWATER POLLUTION PREVENTION PLAN

## C401

CAD FILE: C:\WORK\2015\20150301\20150301.dwg  
 PLOT DATE/TIME: 3/16/2015 2:36pm  
 PLOT DEVICE: HP DesignJet 5000 Series Plotter







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Johnson County, Indiana (IN081)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Br	Brookston silty clay loam, 0 to 2 percent slopes	2.6	15.3%
CrA	Crosby silt loam, fine-loamy subsoil, 0 to 2 percent slopes	12.7	75.9%
Ge	Genesee loam	0.0	0.2%
HeF	Hennepin loam, 25 to 50 percent slopes	0.5	2.9%
MtD3	Miami clay loam, 12 to 18 percent slopes, severely eroded	0.0	0.0%
ObaA	Oakley loam, 0 to 2 percent slopes	1.0	5.7%
<b>Totals for Area of Interest</b>		<b>16.8</b>	<b>100.0%</b>



SOILS MAP

**Person Responsible for Installation and Maintenance of Erosion and Sediment Control Practices:**  
WJ Shugart  
Shiel Sexton Co., Inc.  
Ph: NA  
Mobile: (317) 428-8083  
Fax: (317) 423-6300  
Email: wshugart@shielsexton.com

## CONSTRUCTION/STORMWATER POLLUTION PREVENTION PLAN

### ASSESSMENT OF CONSTRUCTION PLAN ELEMENTS (SECTION A)

**A1 Plan Index Showing Locations of Required Items:**  
See Cover Sheet.

**A2 Best Management Practices (BMPs) and Stormwater Pollution Prevention Practices (SWPPP):**  
Not completed. See existing conditions plan.

**A3 Narrative Describing Project Nature and Purpose:**  
The Masonic Home is preparing parking improvements, walks, and associated utilities. The parking lots will include a new storm sewer network and water quality treatment which tie into the trunk line installed during the Community Center project. The parking lot additions are within the previous master plan for the existing detention basin located south of the proposed building.

**A4 Activity Map Showing Project Location:**  
See Cover Sheet.

**A5 Legal Description Of The Project Site:**  
Call Township: Westham  
Quarter: SE  
Section: 23  
Township: 12N  
Range: 4E  
Longitude: 86° 10' 23" W  
Latitude: 39° 47' 44" N

**A6 Location Of Lots And Proposed Site Improvement:**  
See Sheet C01.

**A7 Hydrologic Unit Code-14 Digit:**  
0510204920003 - Young Creek

**A8 National Air Quality Criteria Review Water Quality Permit:**  
State water quality permits include DEM Rule 5 and subject to DEM Rule 13.

**A9 Specific Points Where Stormwater Discharge Will Leave The Site:**  
The proposed stormwater drainage system discharge to the on-site retention pond that outlets to Young Creek.

See sheets C501-C502 for the extents of the Stormwater Management Plan components.

**A10 Location And Name Of All Wetlands, Lakes And Water Courses On And Adjacent To The Site:**  
The closest water course to the site is Young Creek.

**All Identification Of All Receiving Waters:**  
Young Creek

**A12 Identification Of Potential Discharge To Groundwater:**  
None

**A13 100 Year Floodlines, Floodways, And Floodway Prisms:**  
See Sheet C301 for FIRM map.

**A14 Pre-construction And Post Construction Estimate Of Peak Discharge:**  
Maximum:  
Allowable 10 yr. = 2.84 cfs 10 yr. Post = 2.72 cfs  
Allowable 100 yr. = 10.07 cfs 100 yr. Post = 8.91 cfs

**A15 Adjacent Land Use, Including Upstream Watershed:**  
The project site is surrounded by the existing Masonic Home campus.

**A16 Locations And Approximate Boundaries Of All Disturbed Areas:**  
See sheets C401-C402.

**A17 Identification Of Existing Vegetative Cover:**  
See sheets C101-C102.

**A18 Soil Map Including Descriptions And Limitations:**  
See this sheet for soils descriptions and limitations and how the limitations will be overcome.

**A19 Location, Size And Dimensions Of Proposed Stormwater Detention:**  
See sheets C501-C502.

**A20 Plan For Any Off-site Construction Activities Associated With The Project:**  
The contractor shall be responsible for disposal of any exported soil material.

**A21 Locations Of Proposed Soil Stockpiles, Borrow And/Cr Disposal Areas:**  
See Sheet C401.

**A22 Erosion Risk Topography At An Interval Appropriate To Showing Detailed Drainage Patterns:**  
See sheets C101-C102.

**A23 Proposed Final Topography At An Interval Appropriate To Showing Detailed Drainage Patterns:**  
See sheet C301.

### ASSESSMENT OF STORMWATER POLLUTION PREVENTION PLAN-CONSTRUCTION COMPONENT (SECTION B)

**B1 Description Of Potential Pollutant Sources Associated With Construction Activities:**  
The primary pollutant associated with construction activities is sediment. Additional pollutants may be generated by contractor vehicle operation and maintenance (e.g. fueling, changing hydraulic fluids and oils), concrete washout, improper storage of construction materials, improper disposal of construction trash and debris, improper application or over application of fertilizers and pesticides, and improper storage, application, and disposal of soluble materials or other materials that may be mobilized by storm water runoff. Equipment and fuel will be stored in a central location and the contractor shall institute methods and procedures to prevent discharge of pollutants.

**B2 Sequence Describing Stormwater Quality Measure Implementation Relative To Land Disturbing Activities:**  
See erosion and sediment control specifications and implementation on this sheet.

**B3 Stable Construction Entrance Location And Specifications:**  
See sheet C401 for location. See sheet C402 for details.

**B4 Sediment Control Measures For Sheet Flow Areas:**  
Preliminary grading and stabilization must be completed to ensure adequate drainage to the temporary or permanent runoff conveyance facilities. Silt fencing must also be implemented prior to any construction activity to ensure silt collection. Stabilize disturbed areas directly after earth disturbing activities, temporary seed areas scheduled to be idle for up to one year. Permanently seed all areas that are of final grade, those projects where each subsequent phase will not begin for 8 months or more, and areas to be idle for more than one year. Erosion control measures to be installed in Sheet Flow Area. See sheet C403 for details as well as installation and maintenance procedures. See this sheet for seeding guidelines.

**B5 Sediment Control Measures For Concentrated Flow Areas:**  
Kerosene erosion control measures must be installed within these areas prior to opening for runoff operation. If it is a steep slope, an erosion control blanket should be installed prior to opening. Stabilize disturbed areas directly after earth disturbing activities. Temporary seed areas scheduled to be idle for up to 15 days. Permanently seed all areas that are of final grade, those projects where each subsequent phase will not begin for 8 months or more, and areas to be idle for more than one year. See sheet C403 for details as well as installation and maintenance procedures.

**B6 Sediment Control Measures For Storm Sewer Intake Protection:**  
See sheet C401 for location & type, and C403 for details.

**B7 Runoff Control Measures:**  
See sheets C401-C402.

**B8 Stormwater Outlet Protection Specifications:**  
See sheet C402 for location & type, and C403 for details.

**B9 Grade Stabilization Structure Locations And Specifications:**  
N/A

**B10 Location, Dimensions, Specifications And Construction Details For Each Stormwater Quality Measure:**  
See sheets C401-C402 and associated erosion control details on sheet C403.

**B11 Temporary Surface Stabilization Methods Appropriate For Each Season:**  
See "GENERAL SEEDING & SURFACE STABILIZATION PROCEDURES" on this sheet.

**B12 Permanent Surface Stabilization Specifications:**  
See "GENERAL SEEDING & SURFACE STABILIZATION PROCEDURES" on this sheet.

**B13 Material Handling And Soil Prevention Measures:**  
Expected construction materials on site may include vehicle lubricants, oils, vehicle fuels, concrete wash-out, acids, curing compounds, paints, mulch, pesticides, herbicides, fertilizer, and trash. Any toxic waste materials are to be disposed of according to local and state laws.

Small spills and leaks of these materials onto non-paved areas will be shoveled into containers or dumpsters for proper disposal.

Fueling trucks will be equipped with spill prevention kits for smaller fuel spills. All vehicular maintenance shall be performed in the same designated area throughout the construction time frame. If possible, vehicular maintenance shall be done at a site at a facility that is designed to contain any material spillage. This shall include fueling of vehicles whenever possible. The Franklin Fire Department (888) 736-3650 or 911, Indiana Department of Environmental Management, Office of Emergency Response (800) 233-7745, shall be notified immediately for larger spills or leaks. The National Response Center (800) 424-8802 shall be notified and provided with the following information: Time of Spill, Location of Spill, Material, Source of Spill, Approximate Volume and Length of Spillage, Weather Conditions at Time of Spill, Personal Present at Time of Spill, and All Action Taken for Post-Spill Cleanup.

Contractor shall contact a waste recovery agency immediately for removal of contaminants and coordination of monitoring the site during cleanup until all of the hazardous material has been removed. Contractor shall cooperate with them during and after the spill to insure all required cleanup and filing reports are properly submitted.

The Developer shall be continually informed of any contamination concerns occurring on the site. The construction manager shall keep a site a list of qualified contractors for spill remediation. All site personnel, including maintenance employees, shall be made aware of proper spill prevention and remediation techniques. All materials used to absorb spills shall be properly disposed of in an approved manner with local and state laws. Do not flush spill materials with water unless directed to do so by a governing agency. It is important that all manufacturer's instructions be followed when using or applying all herbicides, fertilizers, and pesticides.

**B14 Monitoring And Maintenance Guidelines For Each Proposed Storm Water Quality Measure:**  
See sheet C403 for details containing monitoring requirements for each storm water quality measure.

**B15 Erosion And Sediment Control Specifications For Individual Building Lots:**  
See sheets C401-C402.

**TOXIC WASTE MATERIALS**  
INSURE THAT TOXIC LIQUID WASTES SUCH AS USED OILS, SOLVENTS, AND PAINTS AND CHEMICALS SUCH AS ACIDS, PESTICIDES, ADDITIVES, AND CURING COMPOUNDS ARE NOT DISPOSED IN DUMPSTERS DESIGNATED FOR CONSTRUCTION DEBRIS BUT ARE PROPERLY DISPOSED OF ACCORDING TO LOCAL AND STATE LAWS.

### ASSESSMENT OF STORMWATER POLLUTION PREVENTION PLAN-CONSTRUCTION COMPONENT (SECTION C)

**C1 Description Of Pollutants And Their Sources Associated With The Proposed Land Use:**  
Potential post-construction pollutant sources include assorted fuels, oils and liquids associated with vehicular traffic used in field maintenance. There are downstream water quality effects due to conveying discharges to a single point. This can result in bank erosion, down cutting of the channel bottom.

**C2 Sequence Describing Stormwater Quality Measure Implementation:**  
The post-construction stormwater quality measure implementation shall begin after substantial completion of the construction activities for the proposed project. This is the appropriate time to install the proposed stormwater BMP. The location of these structures can be found on sheets C501-C502. Details can be found on sheets C503. Following construction, all erosion control measures shall be inspected and maintained until all permanent measures and vegetation has been established and construction is complete.

After installation of the post-construction BMP structures are in place, individual erosion control measures may be removed, including following permanent silt protection seeding and after sufficient vegetation has been established in an area to prevent silt and soil erosion into the storm sewer system.

Inspection and maintenance of all BMP structures are the responsibility of the owner.

**C3 Description Of Proposed Post-Construction Stormwater Quality Measure:**  
Post construction stormwater quality measures to be installed in the amount of pollutants include the construction of a hydrodynamic separator (mechanical BMP). An Aqua-Swirl AS-2 is proposed for water quality treatment. The above BMP should provide 80% TSS removal from the proposed site.

**C4 Location, Dimensions, Specifications, and Construction Details of Each Stormwater Quality Measure:**  
The stormwater quality measures for post construction activities are indicated on this sheet. Location and details can be found on sheets C501 & C503.

**C5 Description Of Maintenance Guidelines For Post-Construction Stormwater Quality Measure:**  
Please refer to the Operation & Maintenance Manual for information regarding the post-construction water quality measures.

Grass areas will be maintained on a regular mowing cycle. Trash and debris will be removed from seeded and grooved areas.

The Hydrodynamic Separator Water Quality BMP structure will be inspected and maintained as follows:  
Sediment is to be removed when inspection reveals a top of sediment depth within 6 in. of the dry-weather water surface elevation in the structure. Sediment depths can be easily determined by measuring the distance from the top of the manhole to the dry weather surface elevation and then measuring the distance from the top of the manhole to the top of the sediment pile. This can be done with a steel tape or stadia rod. The system should be pumped clean using a high velocity vacuum truck.

For free-floating oil and floatable debris, use a high velocity vacuum truck to clean the pollutants. After recording the measurements on the Inspection Data Sheet (attached in Appendix B), the vacuum hose is lowered through the access opening and the floating debris, the oil may be taken to the pump using an absorbent pad. Usually, confined space entry can be avoided by inspecting from the manhole entrance and cleaning the system by using a vacuum hose.

**EROSION AND SEDIMENT CONTROL, SEQUENCE AND IMPLEMENTATION**

1. Post the NOI and contact information for the person with onsite responsibilities.

2. Install temporary construction entrance as shown on plans. See sheet C401.

3. Install silt fencing along property lines and along construction limits as shown on sheets C401-C402. (See detail on sheet C403). Dust shall be kept to a minimum by utilizing sprinkling, calcium chloride, vegetation cover, spray on adhesive or other approved methods.

4. Identify construction staging, concrete washout areas, material storage and areas. Each area shall be properly protected and defined prior to construction.

5. EDM and the City of Franklin must be notified within 48 hours of commencing construction.

6. Before opening up the site, first evaluate, mark and protect important trees and associated root zones, and existing vegetation suitable for use as filter strips (especially in perimeter areas).

7. Begin mass earthwork for preliminary grading. See "General Seeding and Surface Stabilization Procedures" for temporary seeding guidelines on this sheet.

8. Repair any silt fencing if damaged. If silt fence is 1/3 height of fabric, remove silt and replace to original condition. See detail on Sheet C403.

9. Immediately after grading, apply surface stabilization practices on all graded areas, using permanent measures in accordance with the erosion control plan. However, if weather delays permanent stabilization, temporary seeding and/or mulching may be necessary as a provisional measure. Also stabilize (using temporary seeding/mulching or other suitable means) any disturbed area where active construction will not take place for 15 working days.

10. Install Post Construction BMP structures. Includes final grading and stabilization. If any of these areas were used as temporary sediment control devices during construction, remove and rehabilitate for post construction use.

12. After construction and final grading, landscape and permanently stabilize all disturbed areas, including borrow and disposal areas. Also remove temporary runoff control structures and any unstable sediment around them, and stabilize those areas with permanent seeding and erosion control blanket if necessary.

13. Maintain all erosion and sediment control practices until all disturbed areas are permanently stabilized.

### (I) TEMPORARY SEEDING

Table 1 Temporary Seeding Specifications

Seed Species 1	Rate per Acre	Planting Depth	Optimum Dates 2
Wheat or Rye	150 lbs.	1 to 1-1/2 inches	Sept. 15 – Oct. 30
Spring Oats	100 lbs.	1 inch	March 1 – April 15
Annual Ryegrass	40 lbs.	1-1/4 inch	March 1 – May 1 Aug. 1 – Sept. 1
German Millet	40 lbs.	1 to 2 inches	May 1 – June 1
Sudangrass	35 lbs.	1 to 2 inches	May 1 – July 30
Buckwheat	60 lbs.	1 to 2 inches	April 15 – June 1
Corn (broadcast)	300 lbs.	1 to 2 inches	May 11 – Aug. 10
Sorghum	35 lbs.	1 to 2 inches	May 1 – July 15

1. Perennial species may be used as a temporary cover, especially if the area to be seeded will remain idle for more than one year (See Permanent Seeding).

2. Seeding done outside the optimum seeding dates increases the chance of seeding failure. Dates may be extended or shortened based on the location of the project site within the state.

Notes: Mulch alone is an acceptable temporary cover and may be used in lieu of temporary seeding, provided that it is appropriately anchored. A high potential for fertilizer, seed, and mulch to wash exists on steep banks, cuts, and in channels and areas of concentrated flow.

### Application

**Seeded Preparation**

- Test soil to determine pH and nutrient levels.
- Apply soil amendments as recommended by the soil test. If testing is not done, apply 400 to 600 pounds per acre of 12-12-12 analysis fertilizer, or equivalent.
- Work the soil amendments into the upper two to four inches of the soil with a disk or rake operated across the slope.

**Seeding**

- Select a seed species or an appropriate seed mixture and application rate from Table 1.
- Apply seed uniformly with a drill or cultipacker seeder or by broadcasting. Plant or cover seed to the depth shown in Table 1.

Notes:

- If drilling or broadcasting the seed, ensure good seed-to-soil contact by firming the seeded with a roller or cultipacker after completing seeding operations. Do not seed when the soil is moist as it will result in poor seed-to-soil contact.
- If seeding is done with a hydroseeder, fertilizer and mulch can be applied with the seed in a slurry mixture.
- Apply mulch (See Mulching and Compost Mulching Requirements below) and anchor it in place.

**Maintenance**

Inspect within 24 hours of each rain event and at least once every seven calendar days. Check for erosion or movement of mulch and repair immediately. Monitor for erosion damage and adequate cover (90 percent desired), reseed, fertilize, and apply mulch where necessary. If nitrogen deficiency is apparent, top-dress fall seeded wheat or rye seeding with 50 pounds per acre of nitrogen in February or March.

**(II) PERMANENT SEEDING**

**Application**

- Grade the site to achieve positive drainage.
- Add topsoil or compost mulch to achieve needed depth for establishment of vegetation. (Compost material may be added to improve soil moisture holding capacity, soil friability, and nutrient availability).

**Seeding Preparation**

- Test soil to determine pH and nutrient levels.
- Apply soil amendments as recommended by the soil test and work into the upper two to four inches of soil. If testing is not done, apply 400 to 600 pounds per acre of 12-12-12 analysis fertilizer, or equivalent.
- Use the soil to obtain a uniform seeded. Use a disk or rake, operated across the slope, to work the soil amendments into the upper two to four inches of the soil.

**Seeding**

Optimum seeding dates are March 1 to May 10 and August 10 to September 30. Permanent seeding done between May 10 and August 10 may need to be irrigated. Seeding outside or beyond optimum seeding dates is still possible with the understanding that reseeding or overseeding may be required if adequate surface cover is not achieved. Reseeding or overseeding can be easily accomplished if the soil surface remains well protected with mulch.

1. Select a seeding mixture and rate from Table 1 Permanent Seeding Recommendations. Select seed mixture based on site conditions, soil pH, intended land use, and expected level of maintenance.

2. Apply seed uniformly with a drill or cultipacker seeder or by broadcasting. Plant or cover the seed to a depth of one-fourth to one-half inch. If drilling or broadcasting the seed, ensure good seed-to-soil contact by firming the seeded with a roller or cultipacker after completing seeding operations. (If seeding is done with a hydroseeder/fertilizer and mulch can be applied with the seed in a slurry mixture.)

3. Mulch all seeded areas and use appropriate methods to anchor the mulch in place. Consider using erosion control blankets on sloping areas and concrete channels.

**Maintenance**

Inspect within 24 hours of each rain event and at least once every seven calendar days until the vegetation is successfully established.

• Characteristics of a successful stand include vigorous dark green or bluish-green seedlings with a uniform vegetative cover density of 90 percent or more.

• Check for erosion or movement of mulch.

• Repair damaged, bare, galled, or sparsely vegetated areas and then fertilize, reseed, and apply and anchor mulch.

• If plant cover is sparse or patchy, evaluate the plant materials chosen, soil fertility, moisture condition, and mulch application; repair affected areas either by overseeding or preparing a new seeded and reseeding. Apply and anchor mulch on the newly seeded areas.

• If vegetation fails to grow, consider soil testing to determine soil pH or nutrient deficiency problems. (Contact your soil and water conservation district or cooperative extension office for assistance.)

• If additional fertilization is needed to get a satisfactory stand, do so according to soil test recommendations.

• Add fertilizer the following growing season. Fertilize according to soil test recommendations.

• Fertilize fall areas annually. Apply fertilizer in a split application. For cool-season grasses, apply one-half of the fertilizer in late spring and one-half in early fall. For warm-season grasses, apply one-third in early spring, one-third in late spring, and the remaining one-third in middle summer.

**Table 1 Permanent Seeding Recommendations**

This table provides several seed mixture options. Additional seed mixtures are available commercially. When selecting a mixture, consider intended land use and site conditions, including soil properties (e.g., soil pH and drainage), slope aspect, and the tolerance of each species to shade and drought.

**Open-Low Maintenance Area Planting (Use here as a model)**

Seed Mixtures	Rate per Acre Pure Live Seed	Optimum Soil pH
1. Perennial ryegrass – white clover 1	70 lbs. 2 lbs.	5.6 to 7.0
2. Perennial ryegrass – tall fescue 2	70 lbs. 50 lbs.	5.6 to 7.0
3. Tall fescue 2 – white clover 1	70 lbs. 20 lbs.	5.5 to 7.5

**Shrub Beds and Oak, Low Maintenance Area (not needed)**

Seed Mixtures	Rate per Acre Pure Live Seed	Optimum Soil pH
1. Smooth bromegrass – red clover 1	35 lbs. 20 lbs.	5.5 to 7.0
2. Tall fescue 2 – white clover 1	50 lbs. 2 lbs.	5.5 to 7.5
3. Tall fescue 2 – white clover 1	50 lbs. 20 lbs.	5.5 to 7.5
4. Orchard grass – red clover 1	30 lbs. 20 lbs.	5.6 to 7.0
5. Crownvetch 1 – tall fescue 2	12 lbs. 30 lbs.	5.6 to 7.0

## GENERAL SEEDING and SURFACE STABILIZATION PROCEDURES

### Lawn and High-Maintenance Areas

Seed Mixtures	Rate per Acre Pure Live Seed	Optimum Soil pH
1. Bluegrass	140 lbs.	5.5 to 7.0
2. Perennial ryegrass (lure type)	60 lbs. 90 lbs.	5.6 to 7.0
3. Tall fescue (lure type)2	170 lbs. 30 lbs.	5.6 to 7.5

### Channels and Areas of Concentrated Flow

Seed Mixtures	Rate per Acre Pure Live Seed	Optimum Soil pH
1. Perennial ryegrass – white clover	150 lbs. 20 lbs.	5.5 to 7.0
2. Kentucky bluegrass – smooth bromegrass	10 lbs. 3 lbs.	5.5 to 7.5
– timothy	4 lbs.	
– perennial ryegrass	10 lbs.	
– white clover	2 lbs.	
3. Tall fescue 1 – white clover 1	150 lbs. 2 lbs.	5.5 to 7.5
4. Tall fescue 2 – perennial ryegrass	150 lbs. 20 lbs.	5.5 to 7.5
– Kentucky bluegrass1	20 lbs.	

1. For best results: (a) legume seed should be inoculated; (b) seeding mixtures containing legumes should preferably be spring-seeded, although the grass may be fall-seeded and the legume frost-seeded (see Dormant Seeding and Frost Seeding on page 41); and (c) if legumes are fall-seeded, do so in early fall.

2. A high potential for fertilizer, seed, and mulch to wash exists on steep banks, cuts, and in channels and areas of

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902 North Capitol Ave.  
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INDIANA MASONIC HOME  
 COMMUNITY CENTER  
 PARKING LOTS  
 690 STATE STREET  
 FRANKLIN, IN 46131

Project No.: 13L044  
 Drawn By: SJUL  
 Checked By: DL  
 Issue Date: See Drawing  
 17 MARCH 2015

CERTIFICATION  
 FOR CONSTRUCTION  
 ISSUE

INDIANA MASONIC HOME  
 COMMUNITY CENTER  
 PARKING LOTS  
 690 STATE STREET  
 FRANKLIN, IN 46131

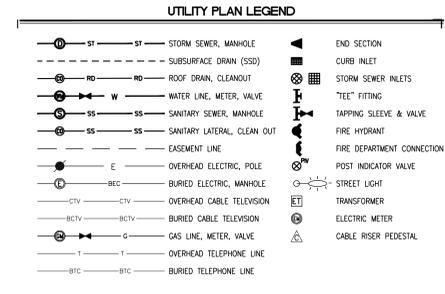
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REVISION SCHEDULE

Rev. #	Revision Description	Issue Date

UTILITY PLAN

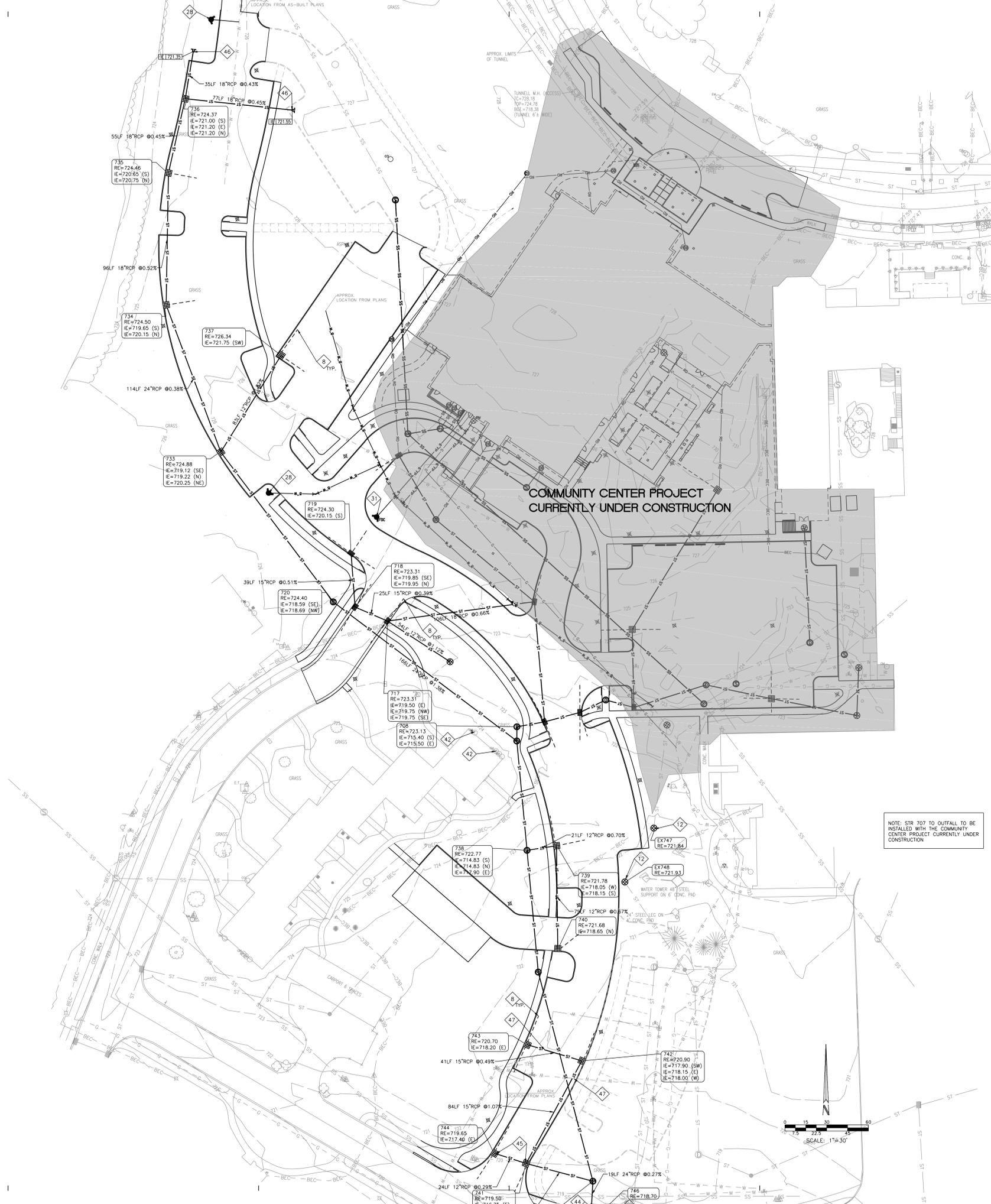
## C501



- ### UTILITY PLAN NOTES
- SEE ARCHITECTURAL PLUMBING PLANS FOR PLUMBING DETAILS TO AREAS FIVE (5) FEET OUTSIDE AND INSIDE OF THE PROPOSED STRUCTURE.
  - EXISTING UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE AND FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
  - RM ELEVATION (RE) SHALL INDICATE THE ELEVATION THAT WATER WOULD ENTER THE GRATE FOR ALL CASTINGS. IF CASTING HAS SOLID LID, THE RE IS THE LID ELEVATION.
  - WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH TEN STATE STANDARDS AND LOCAL CODES.
  - WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
  - PLASTIC WATER LINES SHALL BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
  - ALL SUB-SURFACE DRAIN (SSD) SHALL BE 6" PERFORATED DUAL WALL HDPE UNLESS NOTED OTHERWISE.
  - REFER TO SHEETS C503 THRU C504 FOR BACKFILL REQUIREMENTS FOR ALL UTILITIES.
  - REFER TO SHEET C504 FOR SANITARY SEWER DETAILS.
  - REFER TO SHEET C503 FOR STORM SEWER DETAILS.
  - REFER TO SHEETS C503 THRU C504 FOR ALL OTHER UTILITY DETAILS.
  - SEE STRUCTURE DATA TABLES DETAIL ON SHEETS C503 AND C504 FOR STRUCTURE AND CASTING TYPE AND SIZE.
  - CONNECTIONS TO EXISTING STRUCTURES REQUIRE THAT THE STRUCTURE BE REHABILITATED TO CURRENT DPW DESIGN STANDARDS.
  - ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY SO THAT CLARIFICATION OR DECISION MAY OCCUR.

- ### KEYNOTE LEGEND
- 1 SEWER CLEANOUT IN PAVEMENT LOCATED 3' FROM BUILDING EXTERIOR
  - 2 4" SANITARY SEWER LATERAL
  - 3 6" SANITARY SEWER LATERAL
  - 4 SEWER CLEANOUT IN UNPAVED AREAS LOCATED 3' FROM BUILDING EXTERIOR
  - 5 6" FIRE PROTECTION LINE
  - 6 4" DOMESTIC WATER LINE
  - 7 SANITARY SEWER DROP MANHOLE
  - 8 20 LF OF 6" PERFORATED DUAL WALL HDPE @ 0.50/SW WITH END CAP
  - 9 EXISTING LIGHT BASE TO REMAIN
  - 10 WATER QUALITY DIVERSION STRUCTURE - STR-708 - OMITTED
  - 11 AQUA-SWIRL AS-2 - STR-725 - OMITTED
  - 12 ADJUST CASTING TO GRADE
  - 13 REPLACE EXISTING MANHOLE CASTING WITH SOLID CASTING AND ADJUST TO GRADE
  - 14 COORDINATE WITH ELECTRICAL / TECHNOLOGY PLANS
  - 15 INSPECT STORM LINE FOR DEBRIS, CLEAN AND VACUUM DEBRIS FROM THE EXISTING SEWER INLETS, STRUCTURES, AND PIPES IF NEEDED.
  - 16 GROUT VOID IN STORM STRUCTURE AND RESEAL INSIDE OF STRUCTURE IN ITS ENTIRETY
  - 17 TRANSFORMER (SEE ELEC PLAN)
  - 18 TRENCH DRAIN (SEE BOND PLAN FOR DETAIL)
  - 19 END SECTION WITH RIPRAP
  - 20 GAS VALVE BOXES. SEE MEP PLANS FOR CONNECTION OF GAS LINE TO BUILDING
  - 21 12" NYLOPLAST INLINE DRAIN WITH DOME GRATE
  - 22 12" NYLOPLAST DRAIN BASIN WITH DOME GRATE
  - 23 12" NYLOPLAST INLINE DRAIN WITH PEDESTAL-GRATE-OMITTED
  - 24 CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR SITE LIGHTING POLES, BASES, NUMBER OF CONDUITS, AND WIRE SPECIFICATIONS, BUT REFER TO THIS SHEET FOR THE INSTALLED ROUTE.
  - 25 3" GAS LINE
  - 26 PERFORATED UNDERDRAIN (SSD) WITH GRAVEL BACKFILL
  - 27 RELOCATED 8" WATERLINE
  - 28 RELOCATED FIRE HYDRANT. PROVIDE NEW HYDRANT IF EXISTING HYDRANT IS IN POOR CONDITION OR DOES NOT MEET CURRENT CODE.
  - 29 INSTALL ROOF DRAINS USING SDR-26 1-1 HEAVY WALL PIPE FROM CLEANOUT TO CLEANOUT
  - 30 POST INDICATOR VALVE LOCATION
  - 31 FIRE DEPARTMENT CONNECTION
  - 32 REPLACE CURB, MATCH EXISTING.
  - 33 SURFACE REPLACEMENT - ASPHALT DRIVE REPAIR.
  - 34 REPLACE SIDEWALK.
  - 35 SEE MEP PLANS FOR CONNECTION AT BUILDING.
  - 36 109" x 75" CHILLERS
  - 37 2" STORM SUMP PUMP FORCE MAIN
  - 38 2" SANITARY SUMP PUMP FORCE MAIN
  - 39 CONTRACTOR TO LOWER WATERLINE BELOW STORM. PROVIDE MIN 12" SEPARATION SEE DETAIL SHEET C503
  - 40 CONTRACTOR TO LOWER SANITARY AND RECONNECT WITH FITTING
  - 41 FUTURE CASTING ELEVATION 718.29. PROVIDE RISER RINGS TO ADJUST TO 719.50 AND ALLOW FOR FUTURE ADJUSTMENT OF ELEVATION.
  - 42 CONTRACTOR TO LOCATE ELECTRIC AND GAS UTILITIES PRIOR TO INSTALLATION OF STORM
  - 43 AQUASWIRL AS-4 STR 746
  - 44 WATER QUALITY DIVERSION STRUCTURE STR 745
  - 45 CONTRACTOR TO LOCATE WATER LINE IN THIS VICINITY PRIOR TO INSTALLING STORM. 18" SEPARATION TO BE PROVIDED BETWEEN STORM SEWER AND WATER.
  - 46 CONTRACTOR TO INSTALL AND CAP STORM SEWER STUB FOR FUTURE DEVELOPMENT.
  - 47 CONTRACTOR TO VERIFY DEPTH OF WATER LINE IN THIS LOCATION. IF THERE IS A CONFLICT, INSTALL A NEW MANHOLE OVER EXISTING PIPE BETWEEN STR 741 AND STR 745.

LIGHTING SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.



NOTE: STR 707 TO OUTFALL TO BE INSTALLED WITH THE COMMUNITY CENTER PROJECT CURRENTLY UNDER CONSTRUCTION

COMMUNITY CENTER PROJECT  
CURRENTLY UNDER CONSTRUCTION



NOTE: STR 707 TO OUTFALL TO BE INSTALLED WITH THE COMMUNITY CENTER PROJECT CURRENTLY UNDER CONSTRUCTION

UTILITY PLAN LEGEND

- ST - ST - STORM SEWER, MANHOLE
- SS - SS - SUBSURFACE DRAIN (SSD)
- RD - RD - ROOF DRAIN, CLEANOUT
- W - W - WATER LINE, METER, VALVE
- SS - SS - SANITARY SEWER, MANHOLE
- SS - SS - SANITARY LATERAL, CLEAN OUT
- E - E - EASEMENT LINE
- E - E - OVERHEAD ELECTRIC, POLE
- BEC - BEC - BURIED ELECTRIC, MANHOLE
- CTV - CTV - OVERHEAD CABLE TELEVISION
- BCTV - BCTV - BURIED CABLE TELEVISION
- G - G - GAS LINE, METER, VALVE
- T - T - OVERHEAD TELEPHONE LINE
- BTC - BTC - BURIED TELEPHONE LINE
- END SECTION
- CURB INLET
- STORM SEWER INLETS
- "TEE" FITTING
- TAPPING SLEEVE & VALVE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE
- STREET LIGHT
- TRANSFORMER
- ELECTRIC METER
- CABLE RISER PEDESTAL

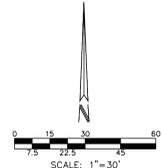
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5. WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 54 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
6. PLASTIC WATER LINES SHALL BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
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9. REFER TO SHEET CS04 FOR SANITARY SEWER DETAILS.
10. REFER TO SHEET CS03 FOR STORM SEWER DETAILS.
11. REFER TO SHEETS CS03 THRU CS04 FOR ALL OTHER UTILITY DETAILS.
12. SEE STRUCTURE DATA TABLES DETAIL ON SHEETS CS03 AND CS04 FOR STRUCTURE AND CASTING TYPE AND SIZE.
13. CONNECTIONS TO EXISTING STRUCTURES REQUIRE THAT THE STRUCTURE BE REHABILITATED TO CURRENT DPW DESIGN STANDARDS.
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- 6 4" DOMESTIC WATER LINE
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- 8 20 LF OF 6" PERFORATED DUAL WALL HDPE @ 0.50% WITH END CAP
- 9 EXISTING LIGHT BASE TO REMAIN
- 10 WATER-QUALITY DIVERSION STRUCTURE - STR 708 - OMITTED
- 11 AQUASWIRL AS-2 STR 725 - OMITTED
- 12 ADJUST CASTING TO GRADE
- 13 REPLACE EXISTING MANHOLE CASTING WITH SOLID CASTING AND ADJUST TO GRADE
- 14 COORDINATE WITH ELECTRICAL / TECHNOLOGY PLANS
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- 33 SURFACE REPLACEMENT - ASPHALT DRIVE REPAIR.
- 34 REPLACE SIDEWALK.
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- 36 10 1/2" x 7 1/2" CHILLERS
- 37 2" STORM SUMP PUMP FORCE MAIN
- 38 2" SANITARY SUMP PUMP FORCE MAIN
- 39 CONTRACTOR TO LOWER WATERLINE BELOW STORM. PROVIDE MIN 12" SEPARATION SEE DETAIL SHEET CS03
- 40 CONTRACTOR TO LOWER SANITARY AND RECONNECT WITH FITTING
- 41 FUTURE CASTING ELEVATION 718.29. PROVIDE RISER RINGS TO ADJUST TO 719.50 AND ALLOW FOR FUTURE ADJUSTMENT OF ELEVATION.
- 42 CONTRACTOR TO LOCATE ELECTRIC AND GAS UTILITIES PRIOR TO INSTALLATION OF STORM
- 43 AQUASWIRL AS-4 STR 746
- 44 WATER QUALITY DIVERSION STRUCTURE STR 745
- 45 CONTRACTOR TO LOCATE WATER LINE IN THIS VICINITY PRIOR TO INSTALLING STORM. 18" SEPARATION TO BE PROVIDED BETWEEN STORM SEWER AND WATER.
- 46 CONTRACTOR TO INSTALL AND CAP STORM SEWER STUB FOR FUTURE DEVELOPMENT.
- 47 CONTRACTOR TO VERIFY DEPTH OF WATER LINE IN THIS LOCATION. IF THERE IS A CONFLICT, INSTALL A NEW MANHOLE OVER EXISTING PIPE BETWEEN STR 741 AND STR 745.

LIGHTING SHOWN FOR REFERENCE ONLY. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.



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CERTIFICATION 03-17-2015

FOR CONSTRUCTION  
ISSUE

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOTS  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13LD44  
Drawn By: JCL/JL  
Checked By: DL  
Scale: See Drawing  
Issue Date: 17 MARCH 2015

Rev. #	REVISION SCHEDULE Revision Description	Issue Date

UTILITY PLAN  
**C502**

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CERTIFICATION 03-17-2015

FOR CONSTRUCTION  
ISSUE

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOTS  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13L044  
Drawn By: JCL/JL  
Checked By: DL  
Scale: See Drawing  
Issue Date: 17 MARCH 2015

Rev. #	REVISION SCHEDULE	Issue Date
	Revision Description	

UTILITY DETAILS  
**C503**

STORM STRUCTURE DATA TABLE				
STR. #	TYPE	SIZE	CASTING	NOTES
701	CONCRETE END SECTION	30"		
702	MANHOLE	48"	R-1972CVIT	
703	MANHOLE	48"	R-1972CVIT	
704	MANHOLE	48"	R-1972CVIT	
705	MANHOLE	48"	R-1972CVIT	
706	MANHOLE	48"	R-1972CVIT	
707	MANHOLE	60"	R-1972CVIT	
708	WATER QUALITY DIVERSION STR.	60"	R-1972CVIT	OMITTED
709	CURB INLET	24" x 36"	R-3287-SB 10	
710	CURB INLET	24" x 36"	R-3287-SB 10	
711	MANHOLE	48"	R-1972CVIT	
712	CURB INLET	24" x 36"	R-3287-SB 10	
713	CURB INLET	24" x 36"	R-3287-SB 10	
713A	MANHOLE	48"	R-1972CVIT	
714	CURB INLET	24" x 36"	R-3287-SB 10	
715	SQUARE INLET	24" x 24"	R-3405	
716	SQUARE INLET	24" x 24"	R-3560	
717	CURB INLET	24" x 36"	R-3501-TR	
718	CURB INLET	24" x 36"	R-3501-TR	
719	CURB INLET	24" x 36"	R-3287-SB 10	
720	MANHOLE	48"	R-1972CVIT	
721	SQUARE INLET	24" x 24"	R-3405	
722	NYLOPLAST DRAIN BASIN WITH DOME GRATE	12"	-	CASTING PER MANUFACTURER
723	NYLOPLAST INLINE DRAIN WITH DOME GRATE	12"	-	CASTING PER MANUFACTURER
724		6"	R-4937-C	
725	WATER QUALITY UNIT	AS-4	R-1972CVIT	OMITTED
726	MANHOLE	48"	R-1972CVIT	
727	NYLOPLAST INLINE DRAIN WITH PED. GRATE	12"	-	CASTING PER MANUFACTURER
728	EXISTING STRUCTURE	-	-	RAISE TO GRADE
729	MANHOLE	60"	R-1972CVIT	
730	EXISTING STRUCTURE	48"	R-1972CVIT	REPLACE WITH SOLID CASTING
731	NYLOPLAST INLINE DRAIN WITH DOME GRATE	12"	-	CASTING PER MANUFACTURER
732	ROUND INLET	24" x 24"	R-1972CVIT	

NOTE: (1) ALL CASTINGS SHALL BE STAMPED WITH ENVIRONMENTAL LABEL INDICATING "NO DUMPING - DRAINS TO RIVER"

**STORM STRUCTURE DATA TABLE  
(FROM COMMUNITY CENTER PROJECT)**

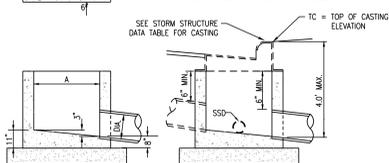
NOT TO SCALE

733	MANHOLE	48"	R-3472-A	"A" GRATE
734	CURB INLET	24" x 36"	R-3455C	
735	CURB INLET	24" x 36"	R-3455C	
736	CURB INLET	30" x 30"	R-3472-A	"A" GRATE
737	CURB INLET	24" x 24"	R-3472-A	"A" GRATE
738	MANHOLE OVER EXISTING LINE	48"	R-1972CVIT	
739	CURB INLET	24" x 24"	R-3472-A	"A" GRATE
740	CURB INLET	24" x 24"	R-3472-A	"A" GRATE
741	CURB INLET	24" x 36"	R-3455C	
742	CURB INLET	24" x 36"	R-3455C	
743	CURB INLET	24" x 24"	R-3472-A	"A" GRATE
744	CURB INLET	24" x 24"	R-3472-A	"A" GRATE
745	WATER QUALITY DIVERSION STR.	60"	R-1972CVIT	
746	WATER QUALITY UNIT	AS-4	-	CASTING PER MANUFACTURER
EX747	EXISTING STRUCTURE	-	-	RAISE TO GRADE
EX748	EXISTING STRUCTURE	-	-	RAISE TO GRADE

**STORM STRUCTURE DATA TABLE  
FROM PARKING LOT ADDITIONS**

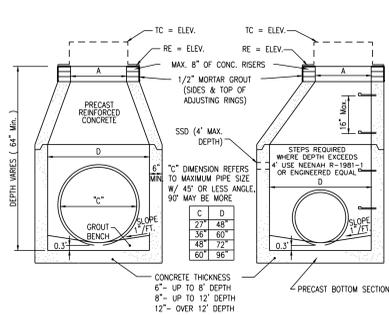
NOT TO SCALE

BOX INLET SCHEDULE					
INLET TYPE	A	B	MAX PIPE Ø	MIN. SPACING	MIN. SPACING
TYPE A	24"	24"	15"	15"	15"
TYPE AM	24"	24"	18"	18"	18"
TYPE B	30"	46"	21"	21"	21"
TYPE E	30"	30"	21"	21"	21"
TYPE J	24"	36"	18"	18"	27"
TYPE S	15"	61"	0"	36"	36"



**BOX INLET DETAIL**

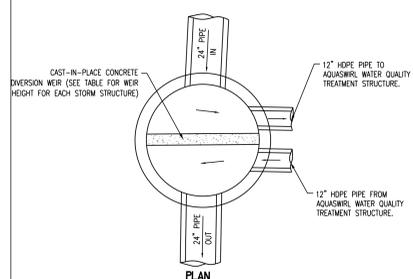
NOT TO SCALE



EJW	NEENAH	TYPE	USE	A
1022-1	HD	R-1772-A	MANHOLE	24"
1022-3	HD	R-1772-C	MANHOLE	24"
-	-	R-2501	GRATE	28"
-	-	R-2560-C2	BERMINE	24"
6489	R-4342	DITCH GRATE	SWALES	24"

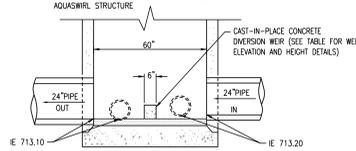
**STORM MANHOLE  
WITH CONE TYPE REDUCER**

NOT TO SCALE



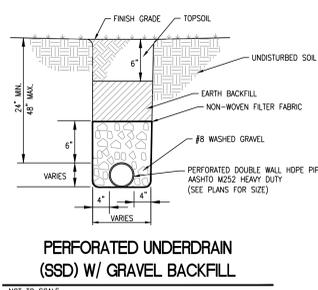
DIVERSION WEIR TABLE			
STRUCTURE (NUMBER)	TOP OF WEIR ELEV. (FEET)	WEIR HEIGHT (FEET)	
745	713.85	7.81	

NOTE: ALL INCOMING PIPE FLOWS SHALL BE DIVERTED TO ADJACENT STRUCTURE



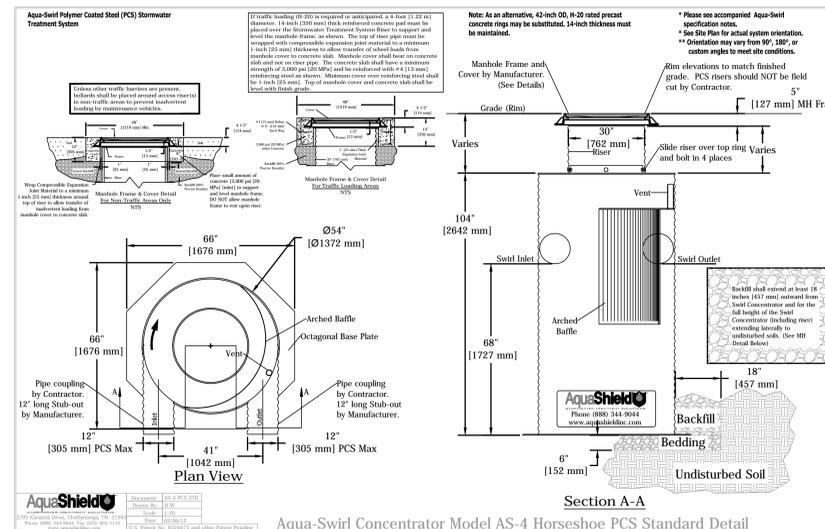
**WATER QUALITY  
DIVERSION STRUCTURE 745**

NOT TO SCALE



**PERFORATED UNDERDRAIN  
(SSD) W/ GRAVEL BACKFILL**

NOT TO SCALE



**Aqua-Swirl Concentrator Model AS-4 Horseshoe PCS Standard Detail**

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CERTIFICATION

**FOR CONSTRUCTION  
ISSUE**

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOTS  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13L044  
Drawn By: JCL/JL  
Checked By: DL  
Issue Date: See Drawing  
17 MARCH 2015

Rev. #	PRECISION SCHEDULE	Issue Date
	Revision Description	

UTILITY DETAILS

**C504**

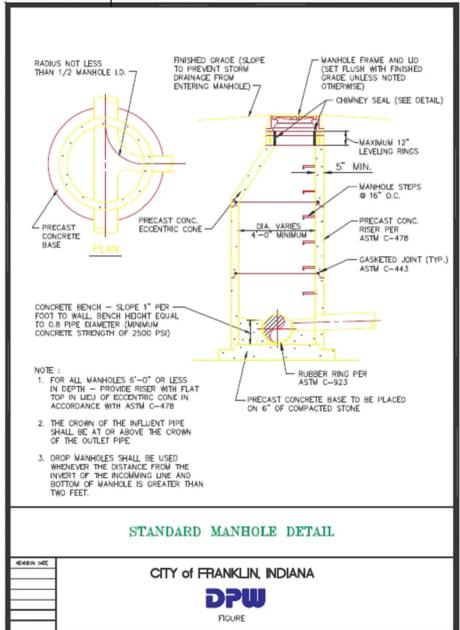


Illustration 5-1

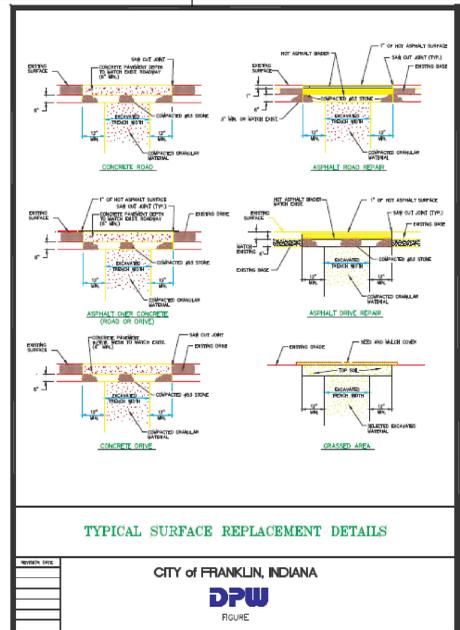


Illustration 8-1

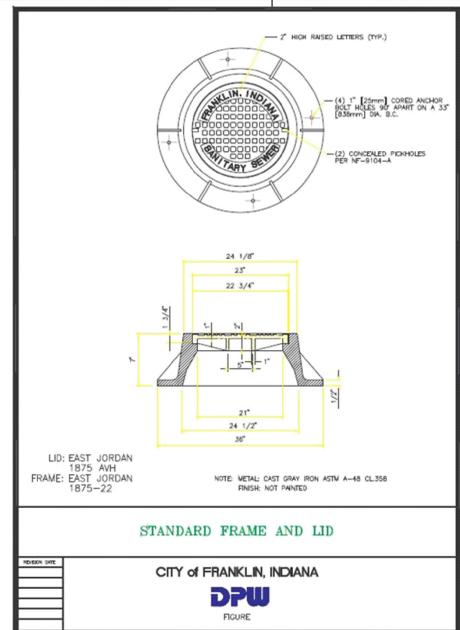


Illustration 5-8

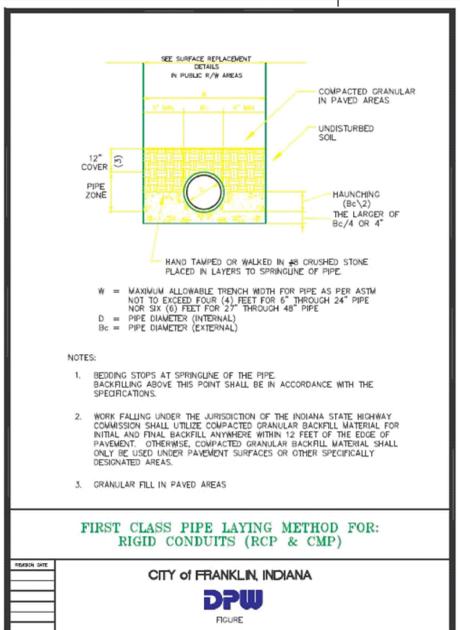


Illustration 7-2

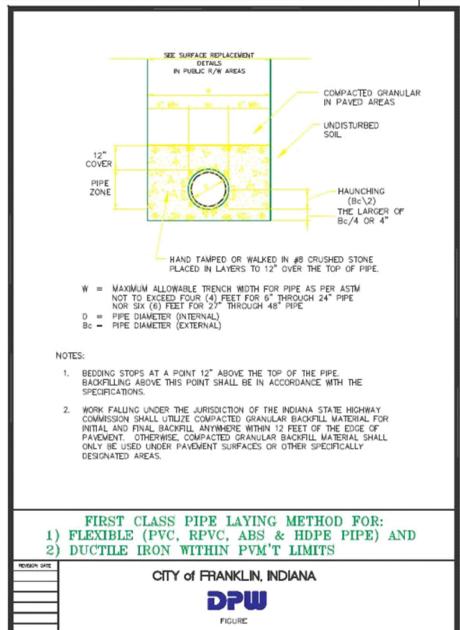


Illustration 7-1

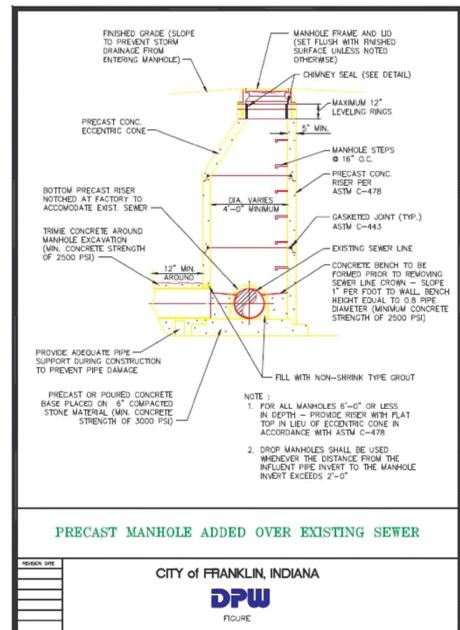


Illustration 5-2

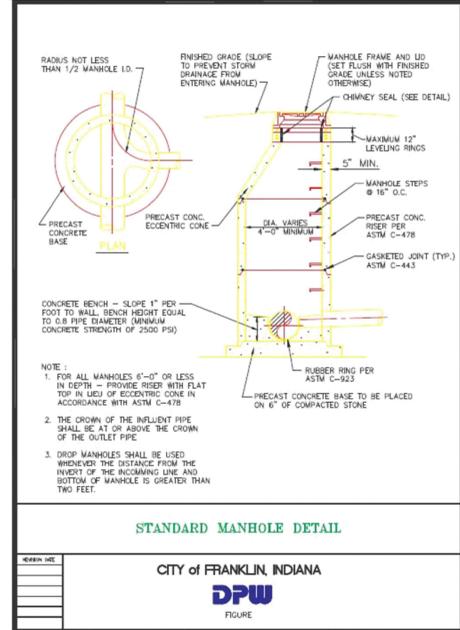
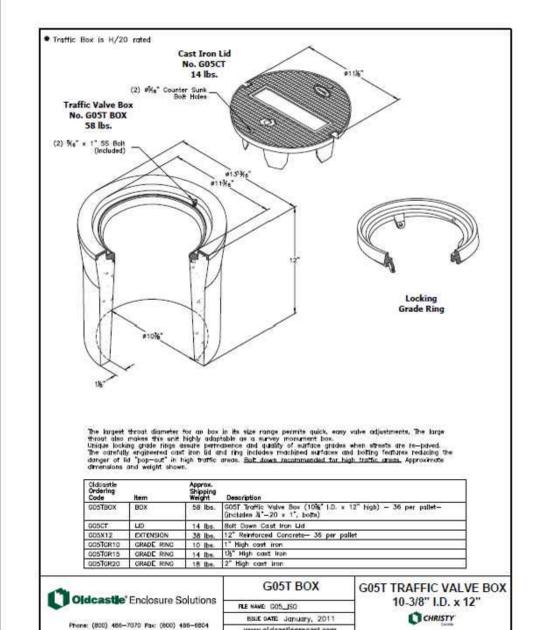


Illustration 5-1



## SITE PLANTING NOTES:

- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND PLANT LIST, THE PLAN SHALL DICATE. IF PLANT IDENTIFICATION BOX QUANTITY SHOWN ON PLAN DIFFERS FROM GRAPHIC PLANT CIRCLE COUNT, THE GRAPHIC CIRCLE COUNT SHALL DICATE. IF IN QUESTION CONTACT THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT WILL APPROVE FINAL PLACEMENT OF PLANT MATERIAL BEFORE PLANTING OPERATIONS ARE TO PROCEED. MARK TREE LOCATIONS WITH WOODEN STAKES INDICATING TREE VARIETY AND SIZE. DESIGNATE GROUND COVER AND MULCH BED LINES WITH A WOOD STAKE FOR REFERENCE. STAKES SHALL BE REMOVED FOLLOWING PLANTING OPERATIONS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT LOCATIONS ON SITE. REINSTALL ANY PLANT MATERIAL LOCATED INCORRECTLY (IN THE JUDGMENT OF THE LANDSCAPE ARCHITECT) UPON THE CONTRACTOR'S DISREGARD FOR STAKING, AT NO COST TO THE OWNER.
- NO SUBSTITUTION OF PLANT MATERIAL IS ALLOWED. IF PLANTS ARE SHOWN TO BE UNAVAILABLE, NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID DATE IN WRITING. PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTOR'S OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED AT THE JOB SITE.
- PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTS AND OTHER MATERIAL TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION OPERATIONS.
- PLANTING BEDS SHALL HAVE A SPADED EDGE TO A DEPTH EQUAL TO SPECIFIED MULCH THICKNESS, UNLESS OTHERWISE NOTED.

## DEMOLITION NOTES:

- IN AREAS WHERE PAVING OR CONCRETE SLABS ARE BEING REMOVED AND LAWN OR PLANTING AREAS ARE PROPOSED, THE CONTRACTOR SHALL EXCAVATE TO SUBGRADE MATERIAL. CONTRACTOR SHALL DISPOSE OF EXCAVATED MATERIAL OFF-SITE AT APPROVED DISPOSAL SITES ONLY, UNLESS OTHERWISE SHOWN.
- REMOVAL OF EXISTING CONCRETE AND ASPHALT PAVEMENT INDICATED ON PLANS SHALL INCLUDE AGGREGATE BASE AND SUBGRADE MATERIALS. SAWCUT EXISTING PAVED AREAS TO BE REMOVED. CUTS SHALL BE CLEAN NEAT AND TRUE TO LINE.
- REMOVE NON-ORGANIC MATTER THAT WOULD INTERFERE WITH PROPOSED PLANT MATERIAL. REPLACE EXCAVATED AREAS TO BE PLANTED WITH A MINIMUM OF 12" OF APPROVED TOPSOIL.
- DEMOLISH AND COMPLETELY REMOVE FROM SITE, EXISTING UNDERGROUND UTILITIES INDICATED TO BE REMOVED UNLESS OTHERWISE NOTED. COORDINATE WITH UTILITY COMPANIES AND OWNER FOR SHUT-OFF SERVICES IF LINES ARE ACTIVE.
- UNDERGROUND UTILITIES OR STRUCTURES IN PROPOSED PAVEMENT OR BUILDING AREAS REQUIRING REMOVAL SHALL BE BACKFILLED COMPLETELY WITH APPROVED ENGINEERED GRANULAR MATERIAL, SUITABLE TO THE LANDSCAPE ARCHITECT / ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES AND SHRUBS DESIGNATED TO REMAIN WITHIN THE LIMITS OF CONSTRUCTION TO THE EXTENT OF THE DRIP LINES. EXISTING TREES SHALL BE FENCED OFF AND NO MATERIALS OR HEAVY EQUIPMENT SHALL ENROACH FENCED AREAS DURING DEMOLITION AND CONSTRUCTION.
- REMOVE AND DISPOSE OF DEBRIS IN A LEGAL MANNER.
- MAINTAIN DUST CONTROL WITH WATER AT ALL TIMES. METER INSTALLATION AND WATER COSTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CATCH BASINS, SEWER INLETS, ETC. ARE TO BE PROTECTED FROM DEBRIS AND SEDIMENTATION DURING DEMOLITION. INSTALL FILTER FABRIC UNDER ANY INLET CASTINGS ON OR OFF SITE THAT RECEIVE STORM WATER FROM THE SITE BEFORE ANY DEMOLITION OR EARTHWORK ACTIVITIES COMMENCE.
- VERIFY TREES TO BE REMOVED WITH THE LANDSCAPE ARCHITECT IN FIELD PRIOR TO FELLING.
- IF ANY DISCREPANCIES OCCUR BETWEEN CONSTRUCTION DOCUMENTS AND SITE CONDITIONS DURING DEMOLITION CONTACT LANDSCAPE ARCHITECT IMMEDIATELY.

## SITE STAKING & LAYOUT NOTES:

- DO NOT SCALE DRAWING FOR DETERMINING EXACT LAYOUT INFORMATION.
- CONTRACTOR SHALL STAKE AND VERIFY ALL DIMENSIONS IN FIELD PRIOR TO INITIATION OF ANY CONSTRUCTION. REVIEW ANY DISCREPANCIES IMMEDIATELY WITH THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- LAYOUT COMPONENTS SHALL BE STAKED OUT IN THE FIELD BY THE CONTRACTOR. OBTAIN LANDSCAPE ARCHITECT APPROVAL BEFORE STARTING CONSTRUCTION.
- DIMENSIONS IN CURBED AREAS SHALL BE TO FACE OF CURB. DIMENSIONS IN AREAS WITHOUT CURBING SHALL BE TO EDGE OF PAVEMENT. DIMENSIONS AT INTEGRAL CURB AND WALK SHALL BE TO FACE OF CURB. DIMENSIONS FROM BUILDING SHALL BE FROM FACE OF BUILDING.
- DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO BASE LINES, PROPERTY LINES OR BUILDING LINES UNLESS OTHERWISE NOTED.
- RADI INDICATED SHALL BE FORMED AS CIRCULAR ARCS. CURVES AND ARCS SHALL INTERSECT OTHER CURVES AND LINES AT POINTS OF TANGENCY TO FORM SMOOTH TRANSITIONS UNLESS CLEARLY SHOWN OTHERWISE.
- ACCESSIBLE RAMPS AND SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY, AND LOCAL CODES WHICH EVER HAS JURISDICTION. SEE SITE PLANS FOR LOCATIONS AND SITE DETAILS FOR SPECIFICATIONS.
- PARKING STRIPING ASSOCIATED WITH ACCESSIBLE PARKING STALLS AND LOADING ZONES ARE TO BE 4" WIDE PAINTED BLUE, UNLESS OTHERWISE NOTED. OTHER STRIPES ARE TO BE 4" WIDE PAINTED WHITE, UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- REFER TO PLANTING PLANS FOR LAYOUT OF TREES, SHRUBS, PLANTING BEDS AND EXTENT OF ALL SODDING AND SEEDING.

## SITE GRADING & DRAINAGE NOTES:

- VERIFY GRADES IN FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT/ENGINEER.
- SEE SITE GRADING PLANS AND/OR EROSION CONTROL PLANS FOR EROSION CONTROL TO BE INCORPORATED DURING CONSTRUCTION, IF APPLICABLE (SEE CIVIL DRAWINGS).
- COORDINATE ALL EARTH MOVING ACTIVITIES WITH EXISTING AND NEW UTILITIES. VERIFY COVER REQUIREMENT WITH UTILITY COMPANIES SO AS TO NOT CAUSE DAMAGE.
- STABILIZE EARTHEN AREAS DISTURBED DURING CONSTRUCTION. SEE SEASONAL SOIL PROTECTION CHART AND EROSION CONTROL PLAN, IF APPLICABLE (SEE CIVIL DRAWINGS).
- THE EXCAVATING CONTRACTOR OR LANDSCAPE CONTRACTOR SHALL PREPARE THE FINISH GRADE AT 1/2" BELOW ADJACENT PAVED AREAS. FINISHED GRADES IN PLANTING AREAS SHALL BE 1" LOWER THAN ADJACENT PAVING AND ARE TO INCLUDE 3" MULCH OVER PLANTING SOIL.
- PRIOR TO FINISH GRADING, CONTRACTORS SHALL MAINTAIN WATER DRAINAGE OFF SITE CONSISTENT WITH DRAWINGS. NO WATER SHALL BE DIVERTED ONTO ADJOINING PROPERTIES DURING ANY PART OF THE GRADING PROCESS.

## GENERAL NOTES:

- BROWNING DAY MULLINS DIERDORF INC. CLAIMS NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THE SURVEYS. IF ANY DISCREPANCIES ARE FOUND ON THE SURVEY PLAN OR FROM ACTUAL FIELD CONDITIONS THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR CONTRACTORS TO OBTAIN FEDERAL, STATE, COUNTY, CITY AND LOCAL PERMITS FOR WORK REQUIRED UNLESS OTHERWISE NOTED. THE CONTRACTOR OR CONTRACTORS ARE RESPONSIBLE TO PAY FOR REQUIRED PERMITS BY AGENCIES MENTIONED ABOVE UNLESS OTHERWISE NOTED BY THE CONTRACT OR SPECIFICATIONS.
- SEED OR SOD DAMAGE TO EXCAVATED AREAS AFTER FINAL GRADING UNLESS OTHERWISE NOTED. SEE PLANTING PLAN AND/OR EROSION CONTROL PLAN FOR DIRECTION AND VERIFICATION.
- DAMAGE TO EXISTING IMPROVEMENTS, EXCAVATION AND/OR REMOVAL OF EXISTING IMPROVEMENTS SHALL BE RESTORED, RECONSTRUCTED, OR REPLACED DURING CONSTRUCTION BY THE CONTRACTOR AT HIS EXPENSE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE MULCH, DIRT, GRAVEL, AND ANY OTHER MATERIALS TRUCKED ONTO ANY PUBLIC OR PRIVATE STREETS OR SIDEWALKS ON OR OFF THE PROJECT SITE.
- PROVIDE SMOOTH TRANSITION FROM NEW AREAS TO EXISTING FEATURES AS NECESSARY.
- SUBMIT SAMPLES OF MATERIALS AND FINISHES TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION AS OUTLINED IN THE SPECIFICATIONS.

## UTILITY NOTES:

- KNOWN UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THE EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION. TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES CALL INDIANA UNDERGROUND CABLE LOCATIONS 1.800.382.5544.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF UTILITIES ON SITE OR CROSSING THE SITE TO SERVICE ADJACENT PROPERTIES. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY OWNER OR OTHERS, DURING OCCUPIED HOURS, EXCEPT WHEN PERMITTED.
- COSTS INCURRED IN COORDINATION OF NEW UTILITY SERVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- VERIFY CONNECTIONS TO EXISTING STORM, SANITARY, WATER, GAS, COMMUNICATION AND ELECTRIC UTILITIES WITH THE ENGINEER AND COORDINATED WITH RESPECTIVE UTILITY PRIOR TO BEGINNING WORK.
- MAINTAIN 10' (HORIZONTAL) AND 18" (VERTICAL) SEPARATION BETWEEN WATER MAINS AND STORM/SANITARY SEWERS. THIS MEASUREMENT SHALL BE OUTSIDE OF PIPES. RECONSTRUCT TO THEIR ORIGINAL CONDITION, OR AS REQUIRED OR DICATED BY FEDERAL, STATE, COUNTY, CITY OR LOCAL AGENCIES. AREAS WHERE THE EXISTING PAVEMENT OR PAVEMENTS ARE DAMAGED DURING CONSTRUCTION FROM HEAVY TRAFFIC OR EQUIPMENT, FUEL OIL, GAS/OIL, ETC. BY THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR SUPPLIERS. THIS RECONSTRUCTION AND REPAIR SHALL TAKE PLACE AT THE END OF THE PROJECT CONSTRUCTION OR DURING THE SCHEDULED GRADING AND PAVING OF THOSE AREAS.

## ABBREVIATIONS:

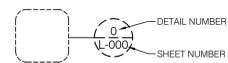
Special Characters	Abbreviation	Description	Abbreviation	Description	Abbreviation	Description	
&	and	DI	diameter	INT	interior	PTD	painted pavement
/	angle at	DIAG	diagonal	INV	invert	PVMT	paved pavement
@	centerline	DIW	dimension	JST	joint	QT	quarry tile
∅	diameter	DN	down	JT	joint	R	riser
±	plus or minus (approximate)	DS	drawn	KIT	kitchen	RAD	radius
ℓ	properly line	DWG	drawing	LAB	laboratory	RD	roof drain
		E	east	LF	lineal foot	REF	reference(s)
		EA	each	LH	left hand	REFN	reinforced
		EJ	each face	LHR	left hand reverse	REQ	required
		EJ	expansion joint	LP	low point	REV	revised
		ELEC	electric(al)	LTA	lighting	RG	rain garden
		ELEV	elevation	LVR	lower	RH	right hand
		EMB	embedment	M	meter	RHR	right hand reversed
		EQ	equal	MAINT	maintenance	R	rough opening
		EQUIP	equipment	MAS	masonry	S	south
		AD	area drain	MATL	material	SCHED	schedule
		AD	above finished floor	MAX	maximum	SECT	section
		ALT	alternate	MECH	mechanical	SF	square feet
		ALUM	aluminum	MEG	match existing grade	SH	sheet
		AP	access panel	MFR	manufacturer	SIM	similar
		ARCH	architect(ural)	MIN	minimum	SPEC	specification(s)
		ASSY	assembly	MISC	miscellaneous	SO FT	square feet
		BC	bottom of curb	MM	millimeter	SO IN	square inch
		BD	board	MO	masonry opening	SS	stainless steel
		BIO	biowale, bioretention	MTD	mounted metal	STD	standard
		BLDG	building	MUL	mulch	STL	steel
		BLK	block(ing)	N	north	STOR	storage
		BM	beam or benchmark	NO	not in contract	STRUCT	structural
		BT	bottom	NOM	nominal	SVS	square yards
		BRK	brick	NTS	not to scale	T	thead
		BRZ	bronze	OC	on center	T&G	tongue and groove
		BS	bottom of stairs	OD	outside diameter	TEL	telephone
		BSMT	basement	OPG	opposite hand opening	TC	top of curb, top of casing
		BW	bottom of wall	OPNG	opening	TD	top of drain
		CF	cubic feet	ORD	overflow roof drain	TI	top of pavement
		CHW	chilled water	OVHD	overhead	TS	top of stairs
		CI	cast iron	OVHG	overhang	TT	top of tread
		CL	centerline	P	paint	TW	top of wall
		CMU	concrete masonry unit	PA	planting area	TYP	typical
		CO	clean out	PC	precast concrete	UNO	unless noted otherwise
		COL	column	PERF	perforated	VERT	vertical
		CONC	concrete	PL	plate	VIF	verify in field
		CONSTR	construction	PLW	plywood	W	with
		CONT	continuous	POC	point of connection	WO	without
		CONR	concrete	PP	power pole	W/O	wall to wall
		COOR	coordinate	PR	pre	WD	working point
		CORR	corrugated	PRCST	precast	WPT	working point
		CPT	carpet	PREFAB	prefabricated	WWF	welded wire fabric
		CT	ceramic tile	PSP	pounds per square foot	YD	yard, yard drain
		CTS	countersink	PSI	pounds per square inch		
		CW	curtain wall				
		CYS	cubic yards				
		DBL	double detail				
		DET	detail				
		INSUL	insulation				

## GRAPHIC SYMBOLS:

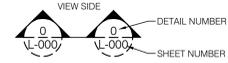
### North Arrow Reference



### Enlarged Detail Reference



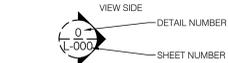
### Site Section Reference



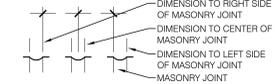
### Detail Section Reference



### Elevation Reference



### Masonry Joint Dimension Offset Reference



### Revision Reference



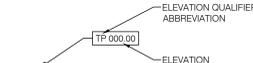
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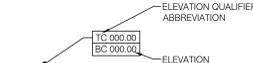
### Spot Elevation Reference - Existing



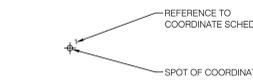
### Spot Elevation Reference - Proposed



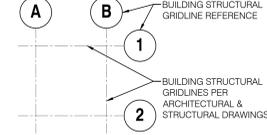
### Spot Elevation Reference - Curb Top/Bottom



### Coordinate Dimension Reference

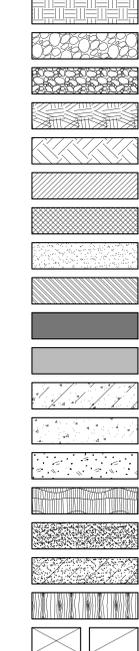


### Structural Grid Reference



## MATERIAL GRAPHICS:

### Material Hatches



Material Hatches	Symbols
EARTHWORK: COMPACTED BACKFILL/SUBGRADE	BREAK LINE
EARTHWORK: COMPACTED COARSE AGGREGATE	CENTER LINE
EARTHWORK: DRAINAGE FILL	CONSTRUCTION LIMITS LINE
EARTHWORK: STRUCTURAL SOIL	CONTOUR LINE - EXISTING
EARTHWORK: UNDISTURBED EARTH	CONTOUR LINE (PROPOSED) - 1' INTERVAL
MASONRY: BRICK/STONE	CONTOUR LINE (PROPOSED) - 5' INTERVAL
MASONRY: CMU	DIMENSION LINE - ANGULAR
MASONRY: GROUT/MORTAR	DIMENSION LINE - LINEAR
METAL: STEEL	DIMENSION LINE - RADIAL
PAVEMENT: ASPHALT, HEAVY-DUTY	EASMENT LINE
PAVEMENT: ASPHALT, STANDARD-DUTY	KEYNOTE REFERENCE LINE
PAVEMENT: CONCRETE, HEAVY-DUTY	MATCH LINE
PAVEMENT: CONCRETE, STANDARD-DUTY	NOTE/LABEL REFERENCE LINE
PAVEMENT: CRUSHED STONE	PROPERTY LINE
PLANTING: PLANTING SOIL MIX	SUBDRAINAGE/DRAIN TILE
PLANTING: LAWN/TURFGRASS SOD	
PLANTING: LAWN/TURFGRASS SEED	
WOOD: FINISH IN ELEVATION	
WOOD: FRAMING, BLOCKING	

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CERTIFICATION

## FOR CONSTRUCTION ISSUE

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT

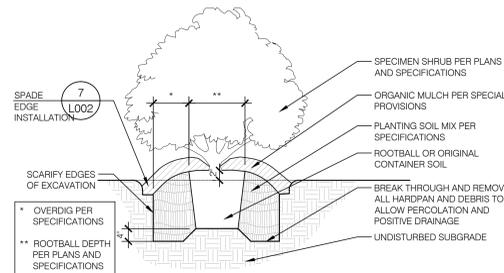
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13LD44  
Drawn By: DS/MB  
Checked By: DB  
Scale: See Drawing  
Issue Date: 17 March 2015

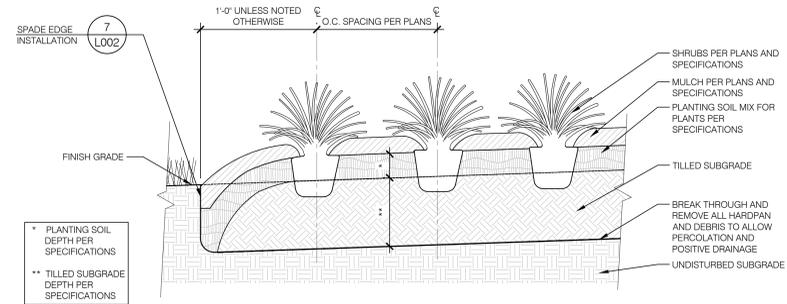
REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

## ABBREVIATIONS, SYMBOLS AND NOTES

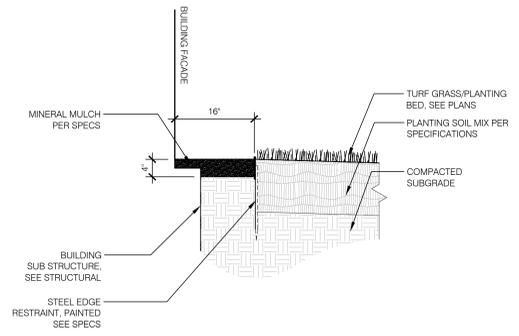
# L001



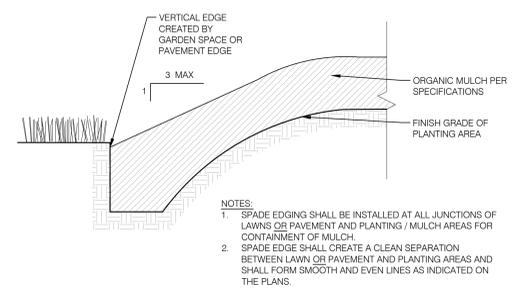
**8** SPECIMEN SHRUB INSTALLATION  
L002 NTS



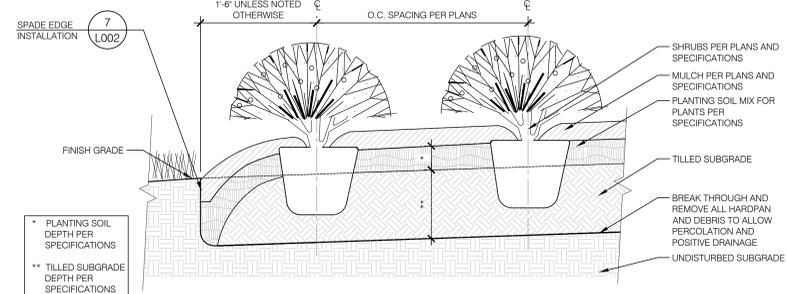
**4** SECTION - MASS GROUNDCOVER / PERENNIAL PLANTING  
L002 NTS



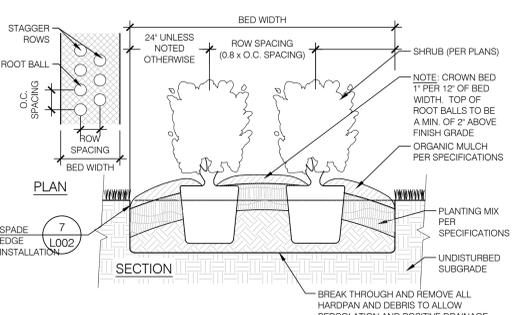
**11** AGG. MAINTENANCE STRIP  
L002 3/4" = 1'-0"



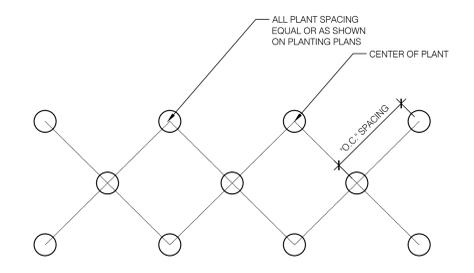
**7** Section - Spade Edge Installation  
L002 NTS



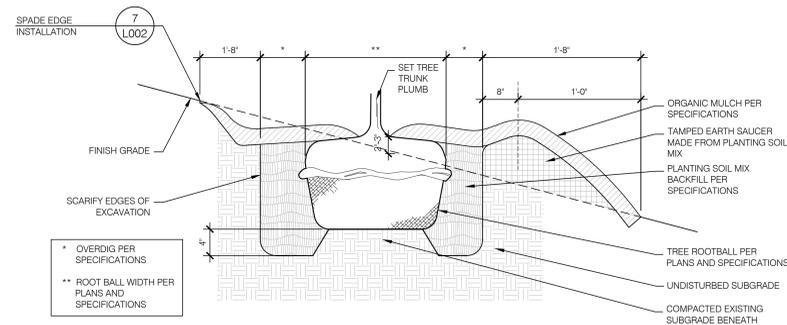
**3** SECTION - MASS SHRUB PLANTING  
L002 NTS



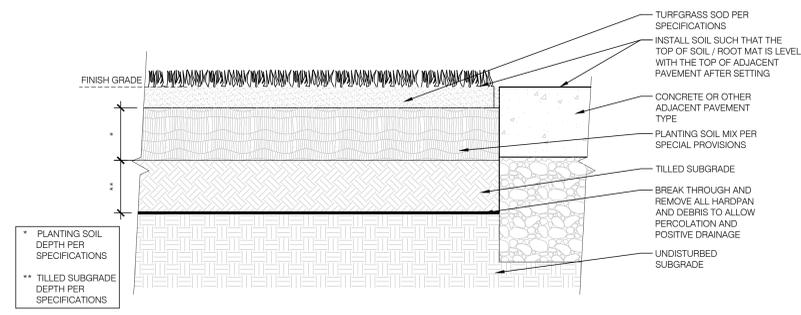
**10** SECTION - HEDGE INSTALL (DOUBLE)  
L002 NTS



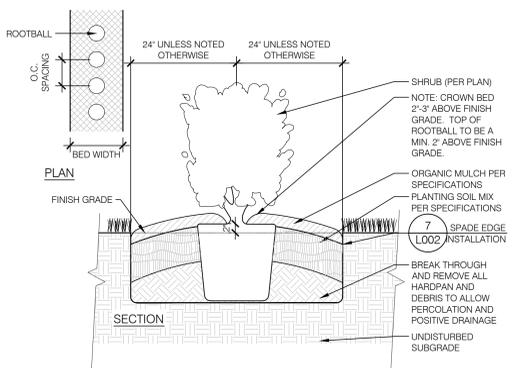
**6** Plant Spacing  
L002 NTS



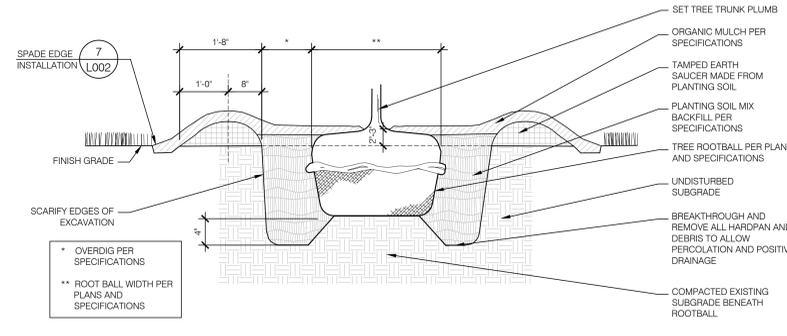
**2** SECTION - TREE PLANTING PIT (SLOPED GRADE)  
L002 NTS



**9** Section - Turfgrass Sod Installation (Imported Soil)  
L002 NTS



**5** SECTION - HEDGE INSTALL (SINGLE)  
L002 NTS



**1** SECTION - TREE PLANTING PIT (LEVEL GRADE)  
L002 NTS



CERTIFICATION

FOR CONSTRUCTION  
ISSUE

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13L044  
Drawn By: DSMB  
Checked By: DB  
Scale: See Drawing  
Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

GENERAL PLANTING  
DETAILS

**L002**

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W: www.cripe.biz

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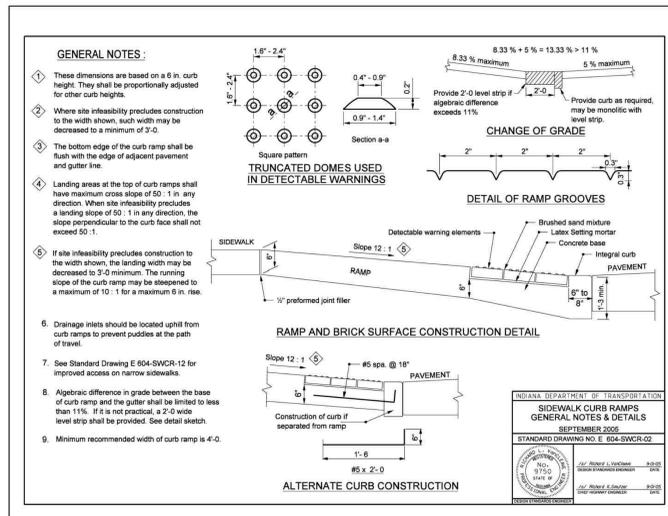
650 East Carmel Drive Suite 150  
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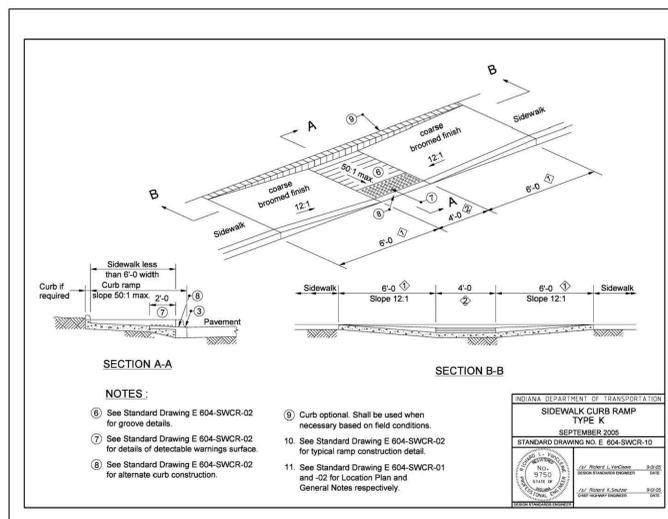
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Interior Design

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P: 513.894.2879  
F:  
W: www.jacobywilshdesign.com



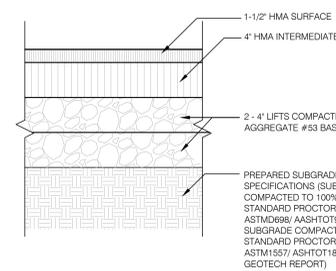
## 10 SIDEWALK CURB RAMP - GENERAL NOTES & DETAILS

L003 1/4" = 1'-0"



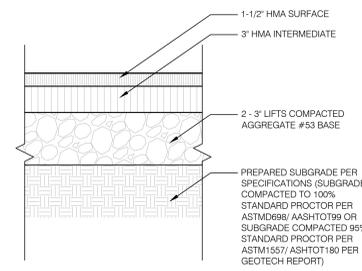
## 9 SIDEWALK CURB RAMP - TYPE K

L003 1/4" = 1'-0"



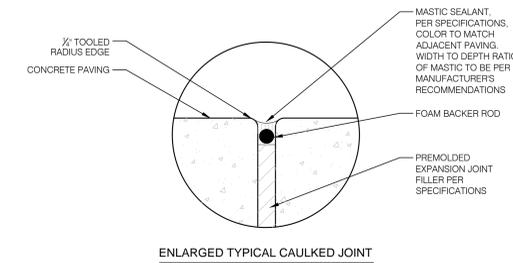
## 8 HEAVY DUTY ASPHALT

L003 1 1/2" = 1'-0"



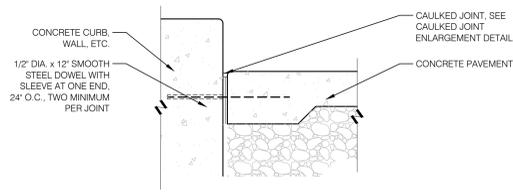
## 7 LIGHT DUTY ASPHALT PAVEMENT

L003 1 1/2" = 1'-0"



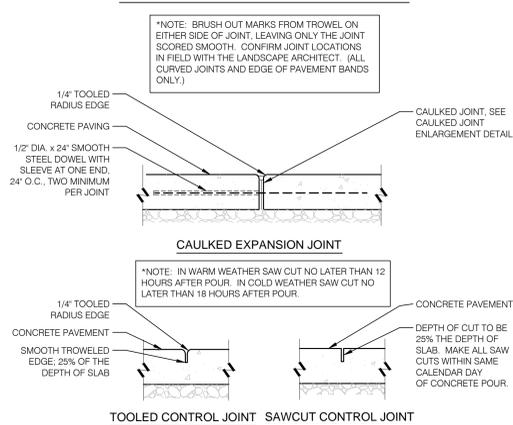
## 4 CURB AND PAVERS @ ENTRY DRIVE

L003 1" = 1'-0"



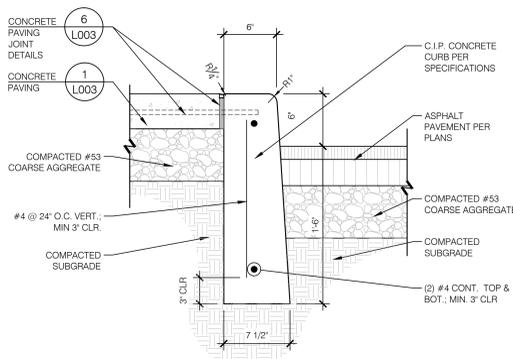
## 3 FLUSH CURB

L003 1" = 1'-0"



## 6 CONCRETE PAVING JOINT DETAILS

L003 1 1/2" = 1'-0"

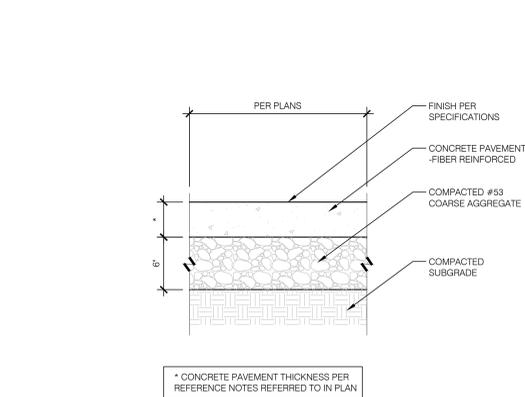


## 5 6" CONCRETE CURB @ PAVEMENT

L003 1 1/2" = 1'-0"

## 2 CONCRETE PVMT. THICKENED EDGE

L003 1 1/2" = 1'-0"



## 1 CONCRETE PAVING ON GRADE

L003 1 1/2" = 1'-0"



CERTIFICATION

FOR CONSTRUCTION ISSUE

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13LD44  
Drawn By: DS/MB  
Checked By: DB  
Scale: See Drawing  
Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

GENERAL DETAILS

# L003

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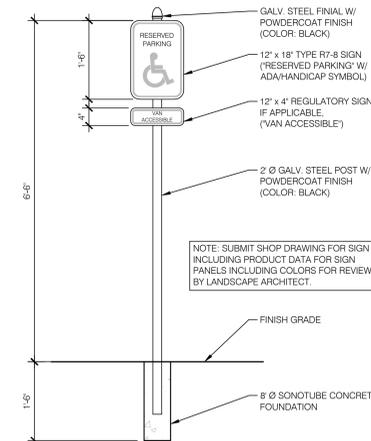
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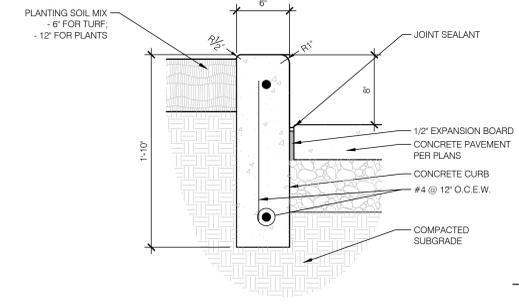
## 6 ACCESSIBLE PARKING SIGNAGE

L004 3/4" = 1'-0"



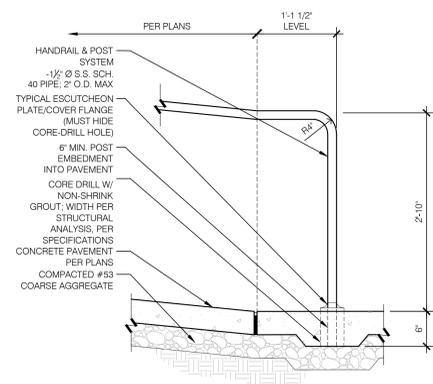
## 3 8" PLANTER CURB

L004 1/2" = 1'-0"



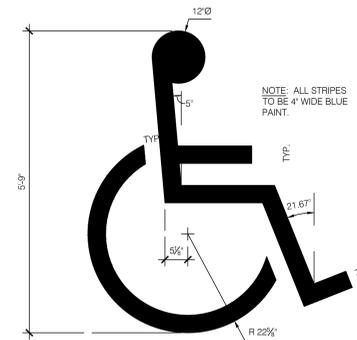
## 8 TYP. RAILING AT BOTTOM OF RAMP (SLAB - MOUNTED)

L004 1" = 1'-0"



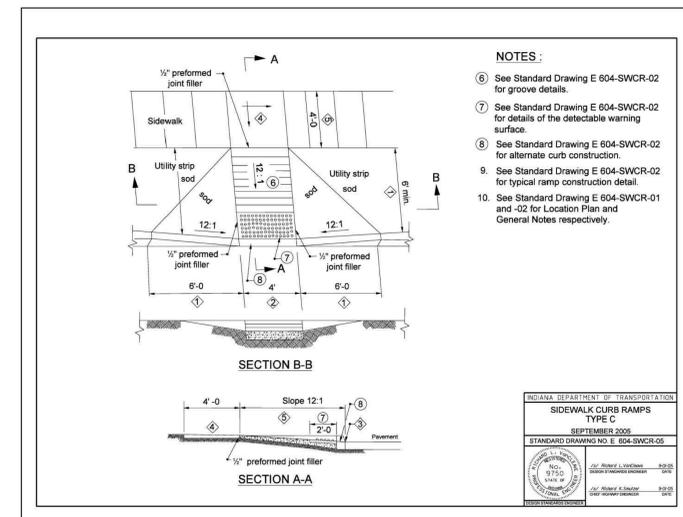
## 5 ACCESSIBLE SYMBOL DETAIL

L004 3/4" = 1'-0"



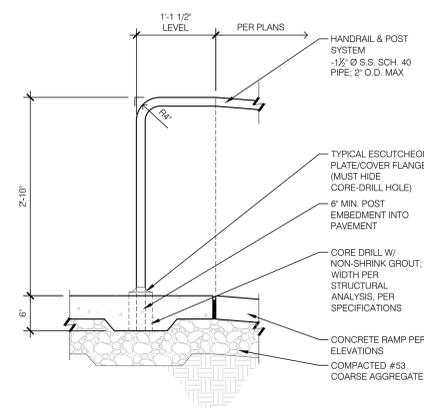
## 2 SIDEWALK CURB RAMP - TYPE C

L004 1/4" = 1'-0"



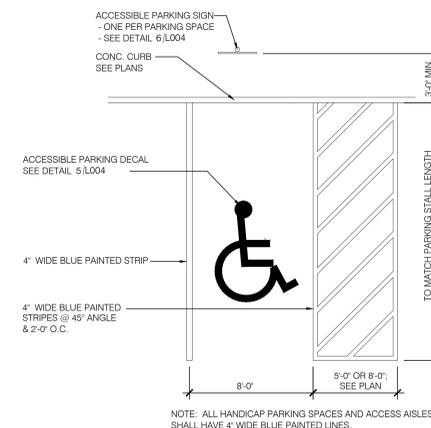
## 7 TYP. RAILING AT TOP OF RAMP (SLAB - MOUNTED)

L004 1" = 1'-0"



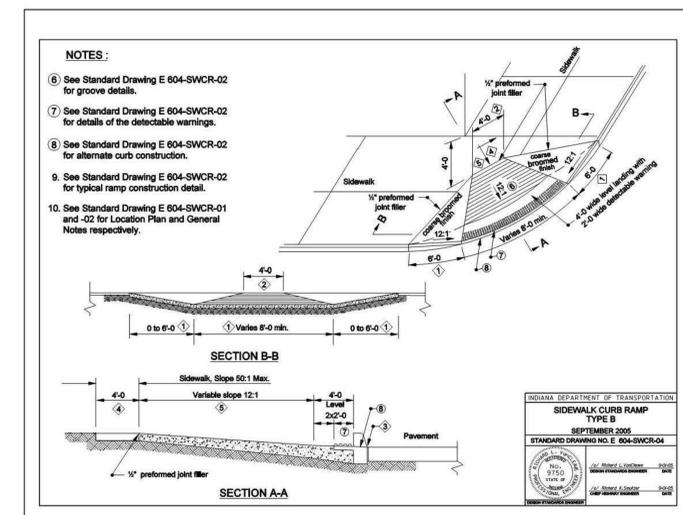
## 4 ACCESSIBLE PARKING STALL

L004 1/4" = 1'-0"



## 1 SIDEWALK CURB RAMP - TYPE B

L004 NTS



CERTIFICATION

FOR CONSTRUCTION ISSUE

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13LD44  
Drawn By: DB/MB  
Checked By: DB  
Scale: See Drawing  
Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

GENERAL DETAILS

# L004

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Structural Engineers

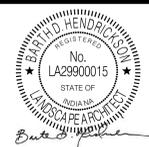
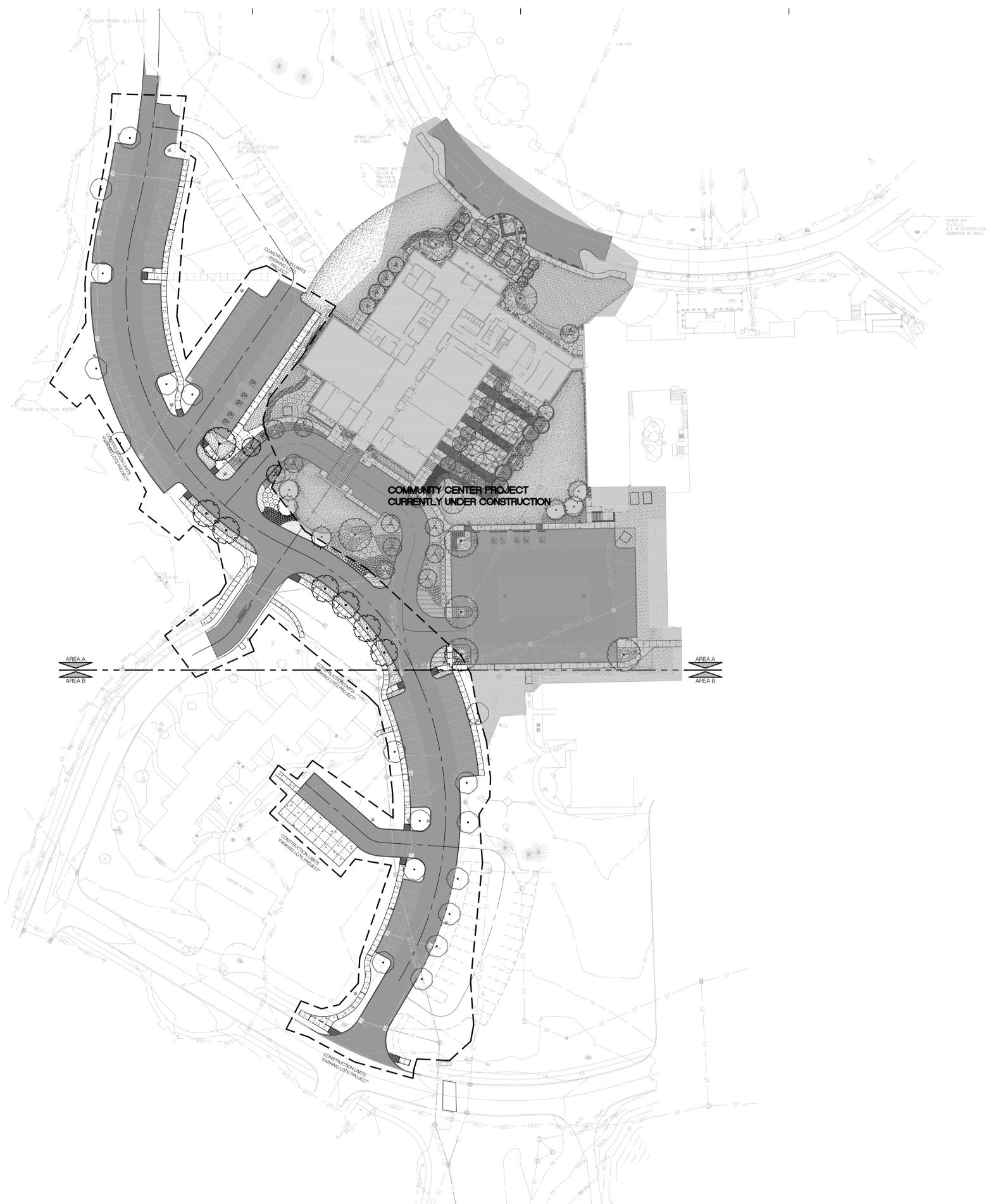
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CERTIFICATION

FOR CONSTRUCTION  
ISSUE

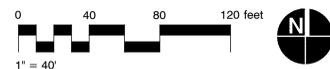
INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT  
690 STATE STREET  
FRANKLIN, IN 46131

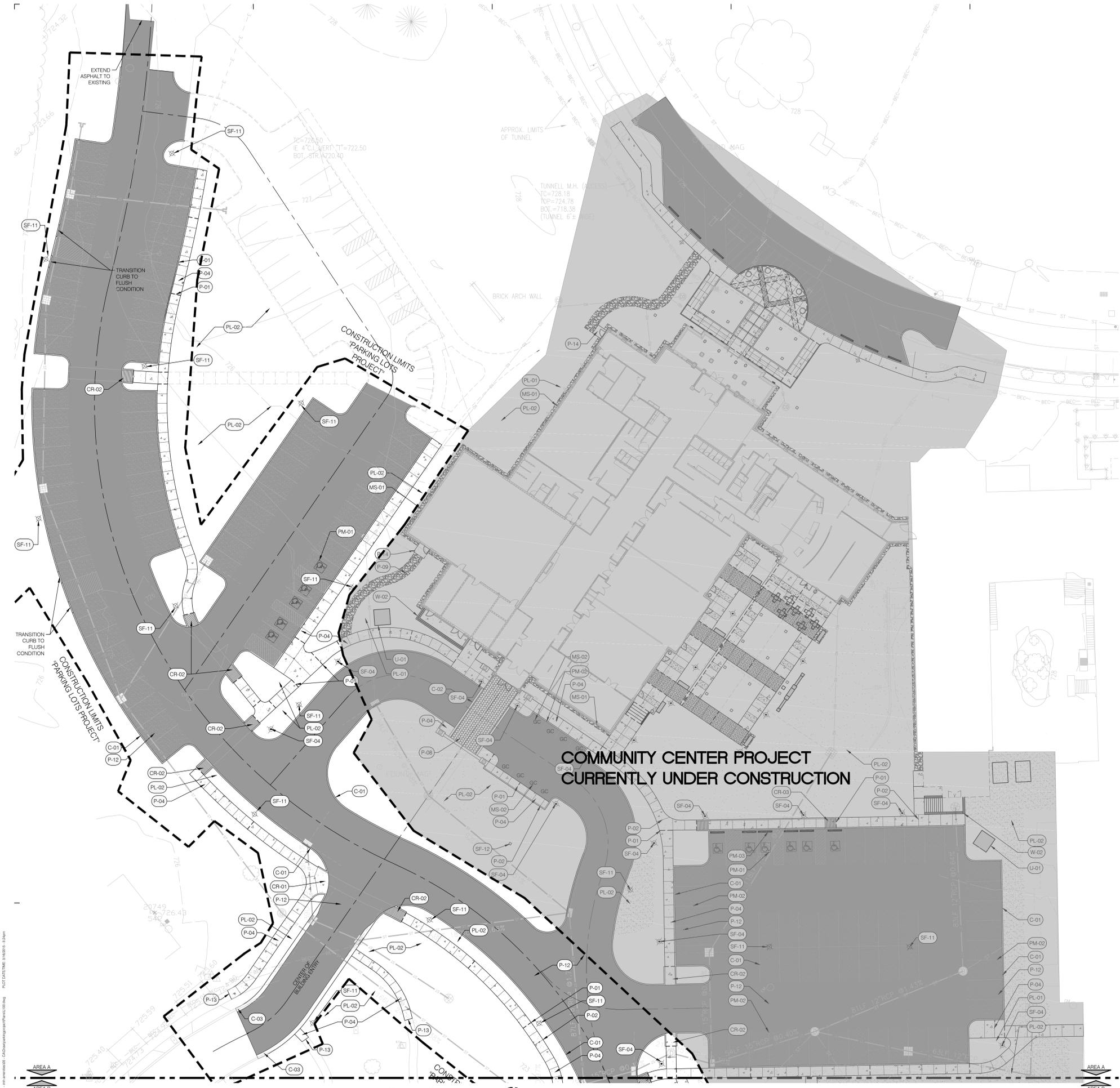
Project No.: 13LD44  
Drawn By: DS/MB  
Checked By: DS  
Scale: See Drawing  
Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

KEY PLAN

## L100





**COMMUNITY CENTER PROJECT  
CURRENTLY UNDER CONSTRUCTION**

**01** IMH Community Center Parking Lot  
Site Materials Plan - Area A



- SITE PLAN GENERAL NOTES**
- DO NOT SCALE DRAWINGS.
  - COORDINATE ALL WORK WITH OTHER DESIGN DISCIPLINES.
  - COORDINATE ALL WORK WITH SPECIFICATIONS.
  - PRESERVE AND PROTECT ALL EXISTING SITE IMPROVEMENTS INDICATED TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
  - SEE CIVIL PLANS FOR OVERALL SITE GRADING, UTILITY AND ROAD PROFILES.

**REFERENCE NOTES SCHEDULE**

SYMBOL	CURB DESCRIPTION	DETAIL
C-01	CURB, HEADER, CONCRETE	5/L003
C-02	CURB, 12" HEADER, FLUSH	4/L003
C-03	CURB, ROLLED CURB, MATCH EXISTING	
C-04	CURB, 8" CONCRETE PLANTER CURB @ GARDEN ENTRY	3/L004
SYMBOL	CURB RAMP DESCRIPTION	DETAIL
CR-01	CURB RAMP TYPE B (MODIFIED)	1/L004
CR-02	CURB RAMP TYPE C (MODIFIED)	2/L004
CR-03	CURB RAMP, TYPE K (MODIFIED)	9/L003
SYMBOL	MISC DESCRIPTION	DETAIL
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MS-02	GOLF CART PARKING	
SYMBOL	PAVING DESCRIPTION	DETAIL
P-01	PAVEMENT, EXPANSION JOINT	6/L003
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P-04	PAVEMENT, 4" CONCRETE, LIGHT BROOM FINISH	1/L003
P-05	PAVEMENT, 4" CONCRETE LIGHT SANDBLAST	1/L003
P-06	PAVEMENT, 4" CONCRETE MEDIUM SANDBLAST	1/L003
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P-08	PAVEMENT, 8x8 CONCRETE UNIT PAVERS AT ENTRY DRIVE, SEE SPECS	4/L003
P-09	PAVEMENT, COMPACTED #57 GRAVEL W/ STEEL EDGE	11/L002
P-10	PAVEMENT, CIP CONCRETE STEPS	3/L001
P-11	PAVEMENT, STENCILLED LETTERING OF MASONIC TENETS, PROVIDE SHOP DRAWINGS.	
P-12	PAVEMENT, ASPHALT; HEAVY DUTY @ DRIVES, LIGHT DUTY @ PARKING	7/L003
P-13	PAVEMENT, CONNECT TO EXISTING SIDEWALK	
P-14	PAVEMENT, 6" THICK CONCRETE STOOP AT EXIT	
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PL-01	PLANTING AREA, SEE PLANTING PLANS	
PL-02	TURF, SEED, ALL DISTURBED AREAS, SEE SPECS FOR MIX (ALTERNATE FOR SOD IN LIEU OF SEED)	
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SYMBOL	PAVEMENT MARKINGS DESCRIPTION	DETAIL
PM-01	SYMBOL, ACCESSIBLE PARKING	4/L004
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SYMBOL	RAIL DESCRIPTION	DETAIL
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SF-02	LIMESTONE BLOCK BENCH	4/L701
SF-03	LED UPLIGHT, FLUSH MOUNTED, SEE ELECTRICAL	
SF-04	LED LIGHT BOLLARD, SEE ELECTRICAL	
SF-05	TRENCH DRAIN, GRATE: POLYCAST INTERLOCKED SQUARE SPIRALS, BY HUBBELL POWER SYSTEMS, SEE CIVIL	7/L701
SF-06	RELOCATED BRICK ARCHWAY TO BE DISASSEMBLED AND RECONSTRUCTED WHERE INDICATED, BY OTHERS	
SF-07	LIMESTONE PEDESTAL W/ PLAQUE, CONTENT TBD BY OWNER	5/L702
SF-08	LITTER RECEPTACLE, 'PARC VUE' BY LANDSCAPE FORMS, SIDE OPENING WITH LINER, COLOR: RECEPTACLE SILVER, LINER BLACK	
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SF-11	16" LED PARKING LOT LIGHT, SEE ELECTRICAL	
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SYMBOL	UTILITIES DESCRIPTION	DETAIL
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SYMBOL	WALL DESCRIPTION	DETAIL
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W-02	WALL, CIP CONCRETE W/ BRICK VENEER AND LIMESTONE CAP	

**BROWNING  
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DIERDORF  
ARCHITECTS**

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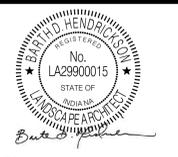
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CERTIFICATION  
**FOR CONSTRUCTION  
ISSUE**

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT  
**690 STATE STREET  
FRANKLIN, IN 46131**

Project No.: 13L044  
Drawn By: DS/MB  
Checked By: DB  
Scale: See Drawing  
Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

**SITE MATERIALS PLAN  
AREA A**

**L111**

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CERTIFICATION

**FOR CONSTRUCTION  
ISSUE**

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT

690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13LD44  
Drawn By: DS/MB  
Checked By: DS  
Scale: See Drawing  
Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

**SITE MATERIALS PLAN  
AREA B**

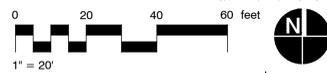
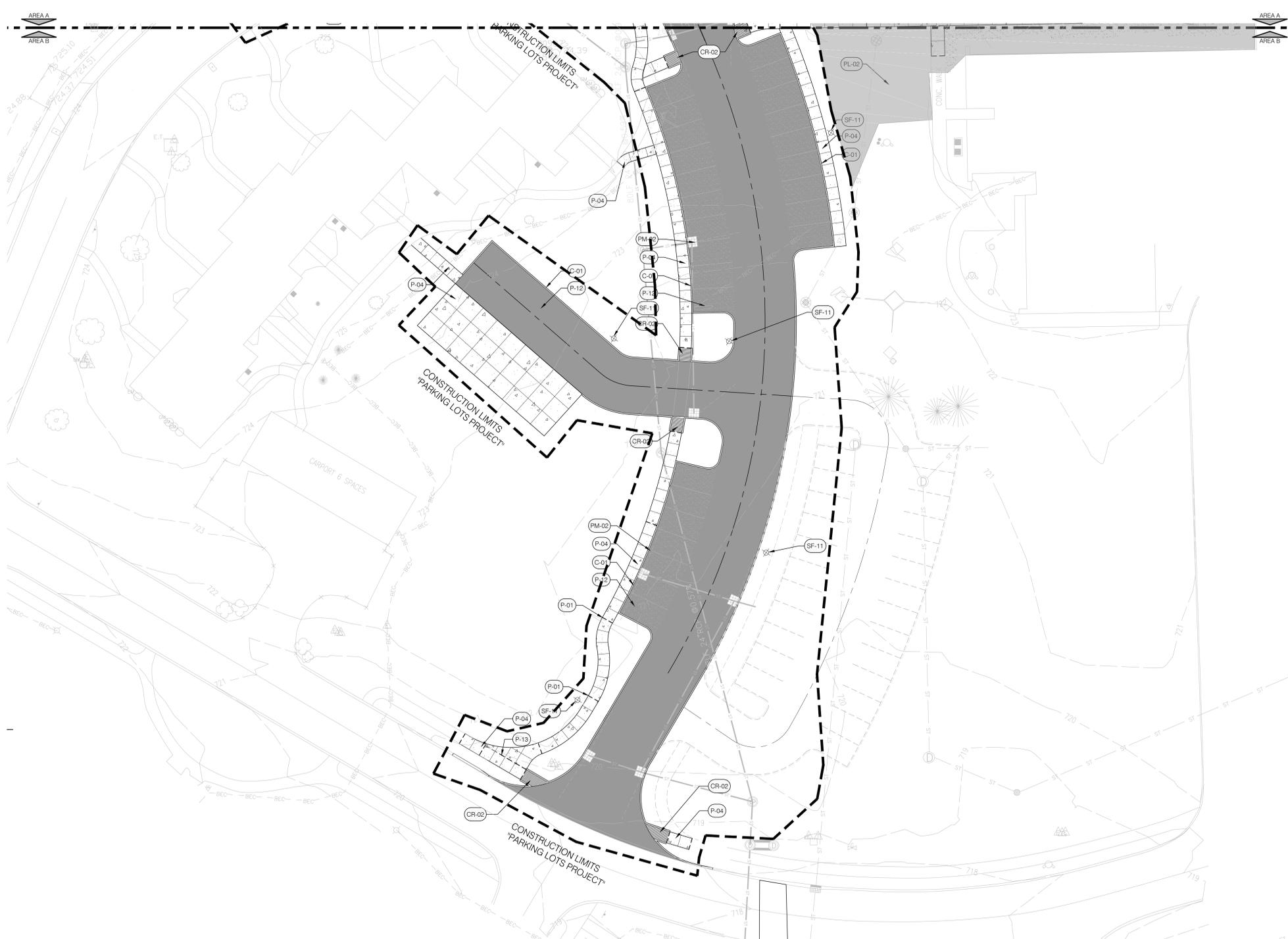
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**SITE PLAN GENERAL NOTES**

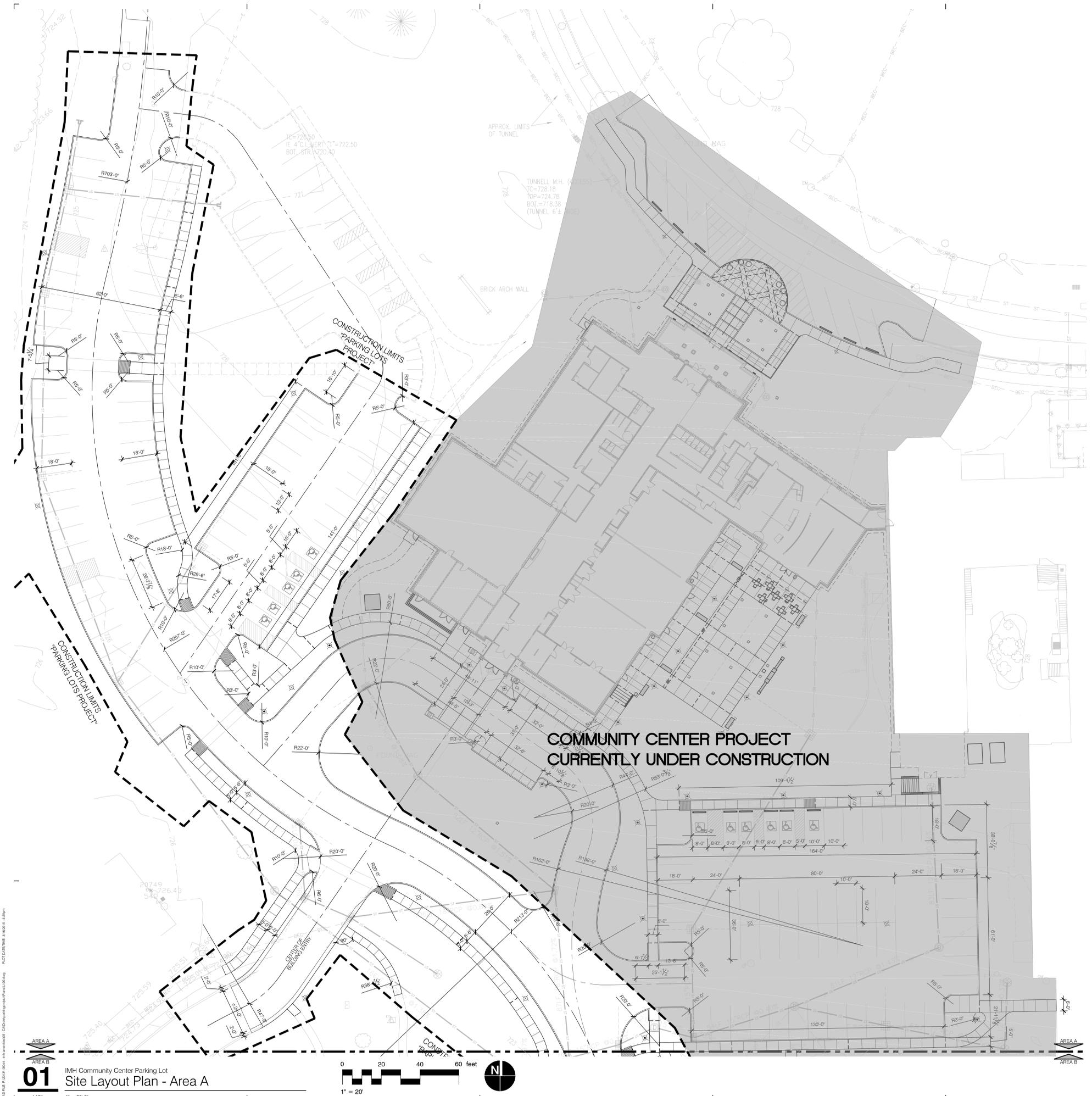
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DATE PLOTTED: 11/13/15 11:41 AM USER: dschneiders\dschneiders Job No. 13LD44



**01** IMH Community Center Parking Lot  
Site Layout Plan - Area A



**COMMUNITY CENTER PROJECT  
CURRENTLY UNDER CONSTRUCTION**

# BROWNING DAY MULLINS DIERDORF ARCHITECTS

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CERTIFICATION  
**FOR CONSTRUCTION  
ISSUE**

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13L044  
Drawn By: DS/MB  
Checked By: DB  
Scale: See Drawing  
Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

**SITE LAYOUT PLAN  
AREA A**

**L121**

# BROWNING DAY MULLINS DIERDORF ARCHITECTS

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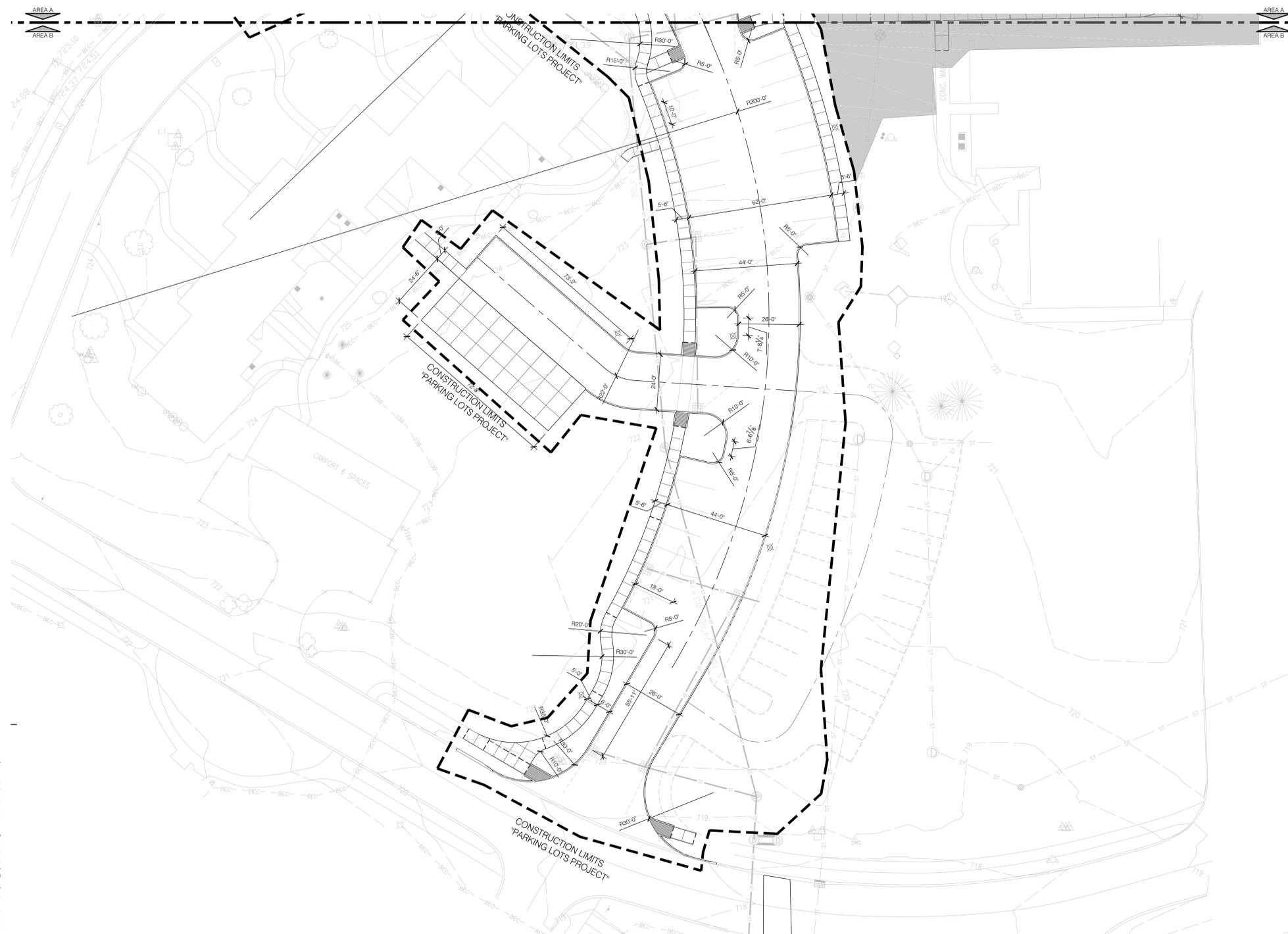
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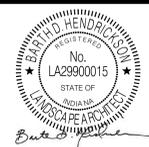
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**01** IMH Community Center Parking Lot  
Site Layout Plan - Area B



CERTIFICATION

FOR CONSTRUCTION  
ISSUE

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13L044  
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REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

SITE LAYOUT PLAN  
AREA B

**L122**

Browning Day Mullins Dierdorf Architects  
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Planning

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## PLANTING PLAN GENERAL NOTES

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## PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	HEIGHT
APB	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	B & B	4" CAL	7'-8" HT.	
ARa	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	B & B	4" CAL	14'-16" HT.	
Alc	AMELANCHIER LAEVIS 'SNOWCLOUD'	SNOWCLOUD ALLEGHENY SERVICEBERRY	B & B	MULTI-STEM	8'-10" HT.	
CKc	CORNUS KOUSA CHINENSIS	KOUSA DOGWOOD	B & B	3" CAL	8'-10" HT.	
CVw	CRATAEGUS VIRIDIS 'WINTER KING'	'WINTER KING' HAWTHORN	B & B	3.5" CAL		12' HT.
GTs	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	B & B	2.5" CAL	12'-14" HT.	
MJ	MAGNOLIA X 'JANE'	MAGNOLIA	B & B	7'-8" HT.		
PA	PICEA ABIES	NORWAY SPRUCE	B & B	6'-8" HT.		
QR	QUERCUS RUBRA	RED OAK	B & B	3" CAL	14'-16" HT.	
UAp	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	B & B	2.5" CAL	12'-14" HT.	
ZSg	ZELKOVA SERRATA 'GREEN VASE'	SAWLEAF ZELKOVA	B & B	3" CAL	12'-14" HT.	
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPACING	
BGM	BUXUS X 'GREEN MOUNTAIN'	'GREEN MOUNTAIN' BOXWOOD	B & B	18" HT.	18" O.C.	
CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL		24" O.C.	
CAS	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SUMMERSWEET CLETHRA	3 GAL	15" HT.	30" O.C.	
DEB	DRYOPTERIS ERYTHROSORA 'BRILLIANCE'	AUTUMN FERN	1 GAL	18" HT.	24" O.C.	
FGA	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	3 GAL	18" HT.	30" O.C.	
HLD	HOSTA X 'LAST DANCE'	'LAST DANCE' HOSTA	3 GAL	15" HT.		
HAA	HYDRANGEA ARBORESCENS 'ANNABELLE'	'ANNABELLE SMOOTH' HYDRANGEA	5 GAL	18" HT.	48" O.C.	
HOR	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	DWARF OAKLEAF HYDRANGEA	3 GAL	18" HT.	36" O.C.	
IVR	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	3 GAL			
IVL	ITEA VIRGINICA 'LITTLE HENRY' TM	VIRGINIA SWEETSPIRE	3 GAL	15" HT.	30" O.C.	
SAF	SEDUM X 'AUTUMN FIRE'	AUTUMN FIRE SEDUM	1 GAL	15" HT.	24" O.C.	
SMA	SEDUM X 'MATRONA'	MATRONA SEDUM	1 GAL	15" HT.	24" O.C.	
TMD	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	B & B	24'-30" HT.	48" O.C.	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	SPACING		
ARC	AJUGA REPTANS 'CHOCOLATE CHIP'	CHOCOLATE CHIP CARPET BUGLE	1 GAL	12" O.C.		
GMB	GERANIUM MACRORRHIZUM 'BEVAN'S VARIETY'	'BEVAN'S VARIETY' GERANIUM	1 GAL	18" O.C.		
HMA	HAKONECHLOA MACRA 'ALL GOLD'	JAPANESE FOREST GRASS	1 GAL	16" O.C.		
HOB	HELLEBORUS ORIENTALIS 'BLUE METALLIC LADY'	HELLEBORE	1 GAL	12" O.C.		
LMB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	16" O.C.		
PTG	PACHYSANDRA TERMINALIS 'GREEN CARPET'	JAPANESE SPURGE	FLAT	9" O.C.		
PAH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	1 GAL	24" O.C.		
SHE	SPOROBOOLUS HETEROLEPIS	PRAIRIE DROPSOED	1 GAL	24" O.C.		

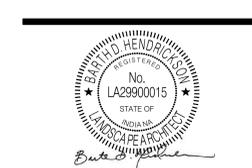
## PLANT MIXES

ANNUALS MIX CANNIA X 'BURNING EMBER' / CANNA LILY IPOMOEA X 'MARGARITA' / SWEET POTATO VINE	22 SF	
PERENNIAL / BULB MIX A ALLIUM X 'GLOBEMASTER' / ORNAMENTAL ONION HEUCHERA X 'CAN CAN' / CORAL BELLS NARCISSUS X 'BARRETT BROWNING' / DAFFODIL	1,695 SF 1,058 627 4,934	60% @ 12" oc 80% @ 18" oc 70% @ 6" oc
PERENNIAL / BULB MIX B TULIPA X 'FRINSES IRENE' / 'FRINSES IRENE' TULIP VIOLA CORNUTA 'BLUE MOON' / 'BLUE MOON' VIOLA	475 SF 1,184 285	60% @ 6" oc 40% @ 10" oc
PERENNIAL / BULB MIX C ACHILLEA MILLEFOLIUM 'PEACHY SEDUCTION' / 'PEACHY SEDUCTION' YARROW CROCUS CHRYSANTHUS 'ADVANCE' / ADVANCE CROCUS HEMEROCALLIS X 'INDIAN GIVER' / INDIAN GIVER DAYLILY NEPETA RACEMOSA 'WALKER'S LOW' / CATMINT	288 SF 67 719 57 34	50% @ 18" oc 60% @ 6" oc 75% @ 24" oc 70% @ 30" oc

\*ALTERNATE FOR SOD IN LIEU OF SEED



01 IMH Community Center Parking Lot  
Site Planting Plan - Area A



CERTIFICATION  
FOR CONSTRUCTION  
ISSUE

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13LD44  
Drawn By: DS/MB  
Checked By: DB  
Scale: See Drawing  
Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

SITE PLANTING PLAN  
AREA A

L141

Browning Day Mullins Dierdorf Architects  
Architecture  
Landscape Architecture  
Planning  
626 North Illinois Street  
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F:  
W: www.jacobywilshdesign.com

**PLANTING PLAN GENERAL NOTES**

1. DO NOT SCALE DRAWINGS.
2. COORDINATE ALL WORK WITH OTHER DESIGN DISCIPLINES.
3. COORDINATE ALL WORK WITH SPECIFICATIONS.
4. PRESERVE AND PROTECT ALL EXISTING SITE IMPROVEMENTS INDICATED TO REMAIN FROM DAMAGE DURING CONSTRUCTION.

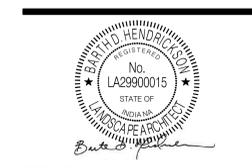
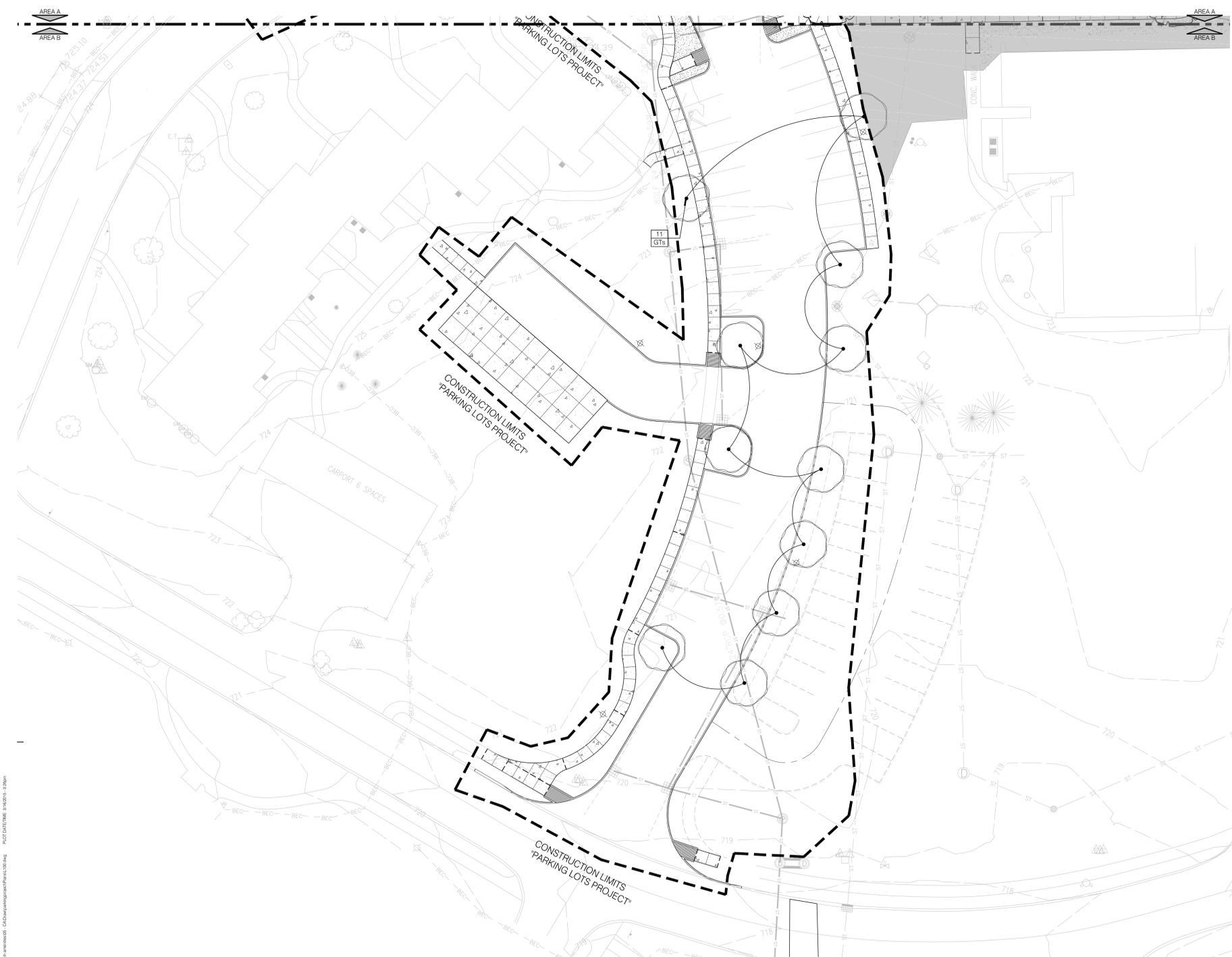
**PLANT SCHEDULE**

TREES	BOTANICAL NAME	COMMON NAME	CONT B & B	CAL MULTI-STEM	SIZE 7'-8' HT.	HEIGHT
APB	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	B & B	4'CAL	14'-16' HT.	
ARa	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	B & B	4'CAL	14'-16' HT.	
ALs	AMELANCHIER LAEVIS 'SNOWCLOUD'	SNOWCLOUD ALLEGHENY SERVICEBERRY	B & B	MULTI-STEM	8'-10' HT.	
KCc	CORNUS KOUSA CHINENSIS	KOUSA DOGWOOD	B & B	3'CAL	8'-10' HT.	
CVw	CRATAEGUS VIRIDIS 'WINTER KING'	'WINTER KING' HAWTHORN	B & B	3.5'CAL	12' HT.	
GTs	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	B & B	2.5'CAL	12'-14' HT.	
MJ	MAGNOLIA X 'JANE'	MAGNOLIA	B & B	7'-8' HT.		
PA	PICEA ABIES	NORWAY SPRUCE	B & B	6'-8' HT.		
QR	QUERCUS RUBRA	RED OAK	B & B	3'CAL	14'-16' HT.	
UAp	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	B & B	2.5'CAL	12'-14' HT.	
ZSg	ZELKOVA SERRATA 'GREEN VASE'	SAWLEAF ZELKOVA	B & B	3'CAL	12'-14' HT.	
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT B & B	HEIGHT	SPACING	
BGM	BUXUS X 'GREEN MOUNTAIN'	'GREEN MOUNTAIN' BOXWOOD	B & B	18' HT.	18' O.C.	
CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL		24' O.C.	
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LMB	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL	16" o.c.		
PTG	PACHYSANDRA TERMINALIS 'GREEN CARPET'	JAPANESE SPURGE	FLAT	9" o.c.		
PAH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	1 GAL	24" o.c.		
SHE	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	1 GAL	24" o.c.		

**PLANT MIXES**

	ANNUALS MIX CANNIA X 'BURNING EMBER' / CANNA LILY IPOMOEA X 'MARGARITA' / SWEET POTATO VINE	22 SF
	PERENNIAL / BULB MIX A ALLIUM X 'GLOBEMASTER' / ORNAMENTAL ONION HEUCHERA X 'CAN CAN' / CORAL BELLS NARCISSUS X 'BARRETT BROWNING' / DAFFODIL	1,696 SF 1,058 60% @ 12" oc 627 80% @ 18" oc 4,934 70% @ 6" oc
	PERENNIAL / BULB MIX B TULIPA X 'FRINSES IRENE' / 'FRINSES IRENE' TULIP VIOLA CORNUTA 'BLUE MOON' / 'BLUE MOON' VIOLA	475 SF 1,184 60% @ 6" oc 285 40% @ 10" oc
	PERENNIAL / BULB MIX C ACHILLEA MILLEFOLIUM 'PEACHY SEDUCTION' / 'PEACHY SEDUCTION' YARROW CROCUS CHRYSANTHUS 'ADVANCE' / ADVANCE CROCUS HEMEROCALLIS X 'INDIAN GIVER' / INDIAN GIVER DAYLILY HEPETA RACEMOSA 'WALKER'S LOW' / CATMINT	288 SF 67 50% @ 18" oc 719 60% @ 6" oc 57 75% @ 24" oc 34 70% @ 30" oc

\*ALTERNATE FOR SOD IN LIEU OF SEED



CERTIFICATION  
**FOR CONSTRUCTION  
ISSUE**

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOT  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13L044  
Drawn By: DS/MB  
Checked By: DB  
Scale: See Drawing  
Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

Browning Day Mullins Dierdorf Architects  
Landscape Architecture  
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626 North Illinois Street  
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MAJORITY OF IRRIGATION TO BE ASSOCIATED WITH COMMUNITY CENTER PROJECT

**LEGEND**

DESCRIPTION	APPROVED MANUFACTURERS
■ Multi-Stream Turf Rotor	Rain Bird 1804-SAM P45 Rotator-PC** K-Rain 78004-Pro-S-CV MP Rotator-PC**
■ Multi-Stream Turf Rotor	Rain Bird 1804-SAM P45 Rotator-FC** K-Rain 78004-Pro-S-CV MP Rotator-FC**
■ Multi-Stream Turf Rotor	Rain Bird 1804-SAM P45 Rotator-EST/SST** K-Rain 78004-Pro-S-CV MP Rotator-EST/SST**
▼ Intermediate Turf Rotor	Rain Bird 5004-PL-PC-RS-1.5-Q-2.0-H*** K-Rain RPS75-CV-PC-0.5-Q-1.0-H***
▼ Intermediate Turf Rotor	Rain Bird 5004-PL-FC-RS-4.0-F*** K-Rain RPS75-CV-FC-4.0-F***
⊕ Remote Control Valves	Rain Bird 100 PGA Series K-Rain Pro Series 100
⊕ Controller	Rain Bird ESP12-LXME Modular K-Rain 3200 Modular
⊕ Rain Sensor	Rain Bird WR2-RC
⊕ Backflow Preventer	Wilkins 720A 1.5" PVB
⊕ Quick Couple Valve	Rain Bird 5RC
⊕ Drip Remote Control Valves	Rain Bird XCZ-100-PRF (LF as required)
⊕ Dripline	Rain Bird XFD-06-18

—	1" 200 PSI SDR 21 PVC Lateral Pipe
—	1.25" 160 PSI SDR 26 PVC Lateral Pipe
—	1.5" 200 PSI SDR 21 PVC Mainline Pipe

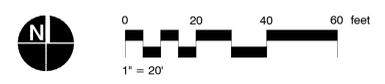
116 SHADOWLAWN DRIVE  
FISHERS, IN 46038  
(317) 585-0167  
www.irrigationdesignsource.com

# OF ZONE  
GPM  
VALVE SIZE

116 SHADOWLAWN DRIVE FISHERS, IN 46038  
317/842-3122 800/842-3911 Fax 317/842-9977  
www.automaticirrigation.com

\*\* Multi-Stream Rotors (8'-15') provide appropriate nozzle selection and adjustment to provide 100% coverage as they exist on site.  
\*\*\* When using the same nozzles in the full & part circle Intermediate Turf Rotors, run the full circles twice as long as the part circles.

- GENERAL IRRIGATION NOTES:**
- This irrigation design is diagrammatic. Actual layout of piping, sprinkler heads, valves, controllers and related equipment shall be determined on site. Minor field adjustments shall be made at no additional cost to the Owner.
  - It is the responsibility of the irrigation contractor to be familiar with all grades difference, locations of walls, structures and utilities and make the necessary adjustments to accommodate the irrigation system as designed. Do not willfully install the irrigation system as shown on the drawings when it is obvious in the field that unknown obstructions, grades or dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the Owner's authorized representative. In the event that this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions and cost necessary.
  - The irrigation system design is based on running irrigation zones at a minimum operating pressure of 60psi @ the p.o.c. and a maximum flow demand of 19gpm. The irrigation contractor shall verify water pressures prior to construction. Report differences between requirements and actual readings to the Owner's authorized representative. The point of connection location is approximate. Verify exact location in the field with the Owner's representative.
  - The Owner shall provide 120V-AC power source at the controller location. The irrigation contractor shall make the final connection from the electrical source to the controller. A Rain Sensor shall be installed in the vicinity of the controller. Coordinate mounting location with the Owner.
  - Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
  - Final location of the backflow preventer and the automatic controller shall be approved by the Owner's representative per local codes.
  - A quick coupling valve shall be located at the irrigation water supply point of connection to provide for a point of injection of compressed air to purge the system of retained water for winterization.
  - Pipe size shall conform to those shown on drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions for larger sizes may be approved. Minimum pipe shall be 1".
  - All pipe and communication wire under hard surfaces shall be placed in separate sleeving. All wire shall run, whenever possible with the mainline.
  - All lateral zones shall be connected to the mainline with PVC pipe and sized as follows:  
1" Class 200=0-17gpm
  - All sprinkler heads shall be set perpendicular and flush to finish grade and with a clearance of 2" (min.) from the edge of any hardscape unless otherwise specified.
  - All sprinkler heads and valves shall be flushed and adjusted for optimum coverage with minimum over spray on hardscapes or buildings.
  - All irrigation equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
  - Refer to the specifications for additional detailed information.

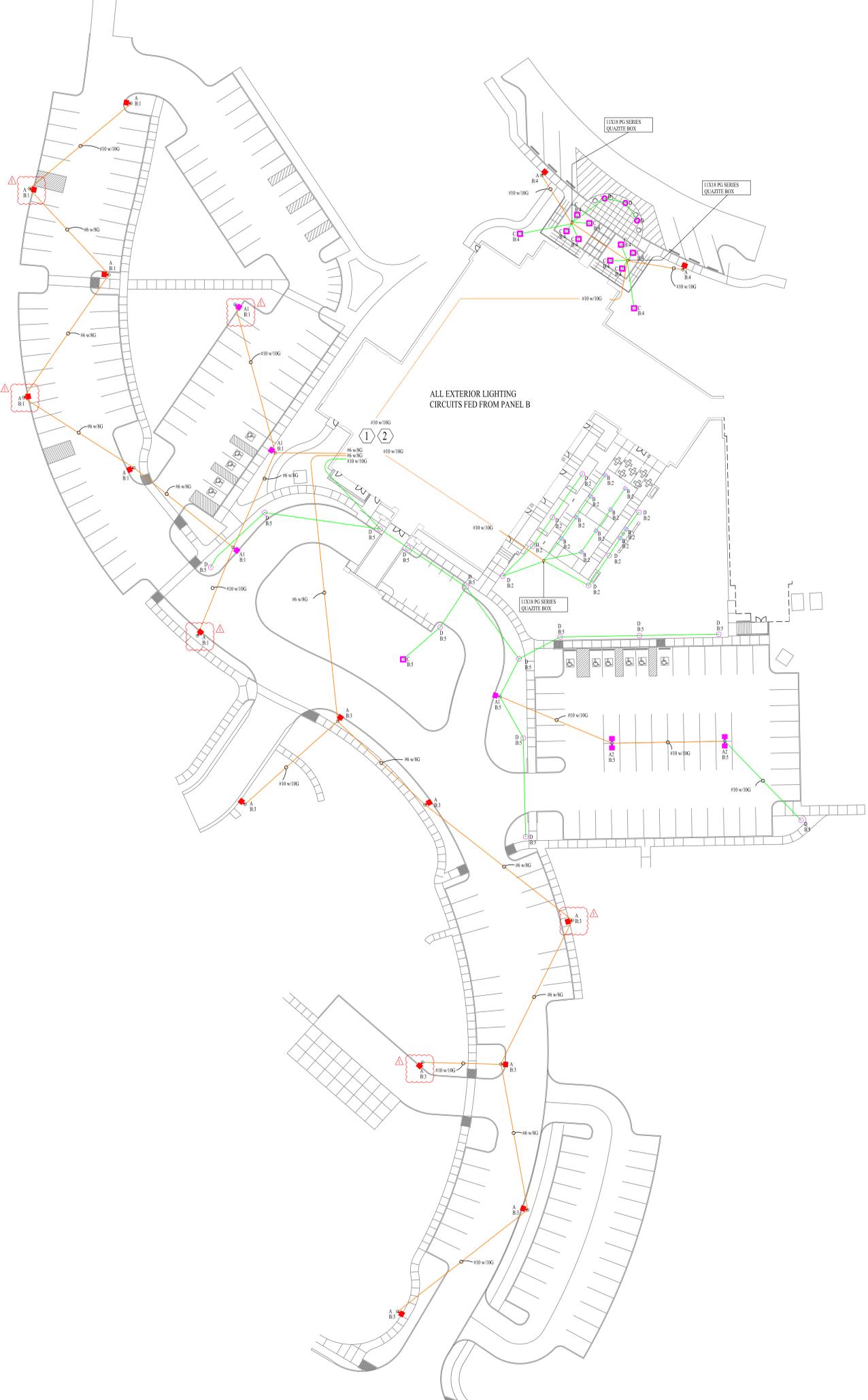


CERTIFICATION  
**FOR CONSTRUCTION  
ISSUE**

INDIANA MASONIC HOME  
COMMUNITY CENTER  
PARKING LOTS  
690 STATE STREET  
FRANKLIN, IN 46131

Project No.: 13LD44  
Drawn By: DB/MS  
Checked By: DB  
Scale: See Drawing  
Issue Date: 17 March 2015





**FIXTURE SCHEDULE**

TYPE	MANUFACTURER	CATALOG	DESCRIPTION	LAMP	TEMP	VOLTS	WATTS	COUNT
A	CREE	Q8Q-A-NM-5ME-A-57K-UL-SV	SINGLE HEAD LED POLE LIGHT WITH SILVER FINISH	LED	5700K	120	112	16
A1	CREE	Q8Q-A-NM-5ME-J-57K-UL-SV	SINGLE HEAD LED POLE LIGHT WITH SILVER FINISH	LED	5700K	120	168	4
A2	CREE	Q8Q-A-NM-5ME-J-57K-UL-SV	DOUBLE HEAD LED POLE LIGHT WITH SILVER FINISH	LED	5700K	120	336	2
B	FC LIGHTING	FCDB01S-120V-LED-4K-1300-WPL-SS	8" SQUARE IN-GROUND LED FLOOD LIGHT WITH STAINLESS FINISH	LED	4000K	120	18	10
C	CREE	E.G.L4F03N2K	LED FLOOD LIGHT WITH BLACK FINISH	LED	4000K	120	36	11
D	CREE	PWY-EDG-SS-P4-02-D-4-UL-SV-525	42" LED BOLLARD WITH SILVER FINISH	LED	5700K	120	34	23

**CONDUIT SCHEDULE:**

- 3/4" PVC OR HDPE CONDUIT
- 1" PVC OR HDPE CONDUIT

30'-0"

**GENERAL NOTES:**

1. ALL SITE LIGHTING CONDUCTORS SHALL BE #10 AWG MINIMUM.
2. ALL SITE LIGHTING CONDUIT SHALL BE 3/4" SCHEDULE 40 PVC MINIMUM.
3. SITE LIGHTING CONDUCTORS #10 AWG UNLESS NOTED.
4. PROVIDE ILSICO PBTS-X-X INSULATED MECHANICAL LUGS OR EQUAL FOR ALL #8 AWG AND LARGER CONNECTIONS.

**PLAN NOTES:**

- ① PROVIDE 6-POLE LIGHTING CONTRACTOR IN THE MAIN ELECTRICAL ROOM TO CONTROL THE SITE LIGHTING
- ② SITE LIGHTING SHALL BE FED FROM PANEL "B" AS INDICATED.

**INDIANA MASONIC HOME  
COMMUNITY CENTER**

690 STATE STREET  
FRANKLIN, IN 46131

CERTIFIED BY:



*Christopher Scott Brown*

ISSUE DATE / REVISIONS:  
03/05/15 INITIAL ISSUE  
03/16/15 NEW SITE PLAN

DRAWN BY: CSS  
CHECKED BY: CSA  
E+ PROJECT #: 140226

SCALE: 1" = 30'-0"  
PLOTTED PAGE SIZE: E1 (30x42)

**SITE LIGHTING PLAN**

# BROWNING DAY MULLINS DIERDORF ARCHITECTS

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 Landscape Architecture  
 Planning  
 626 North Illinois Street  
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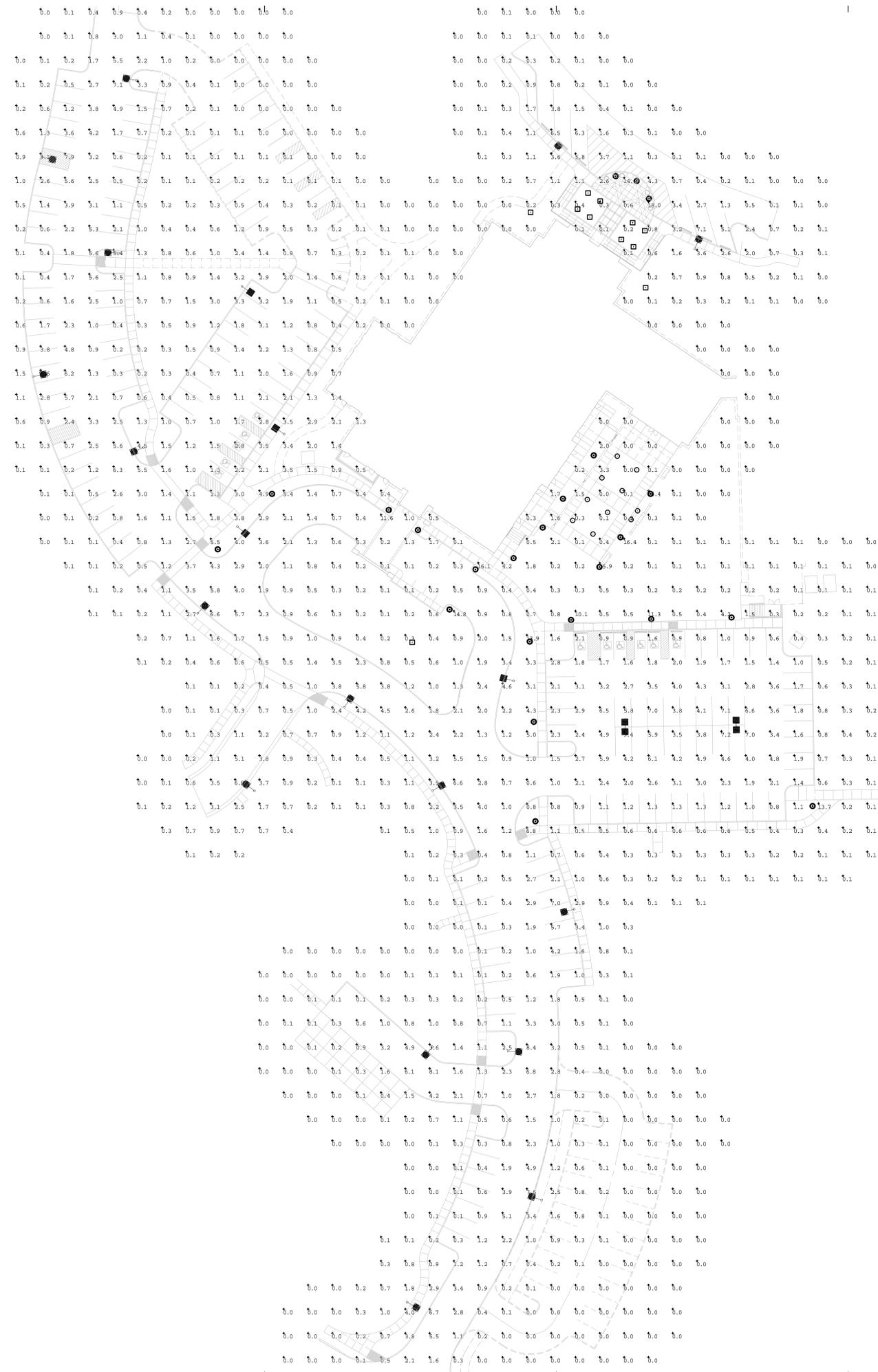
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Luminaire Schedule				
Symbol	Qty	Label	LLF	Description
	16	SF-11	0.980	OSQ A 3ME A 57K
	10	SF-03	1.000	FCD803S-120V-LED-4K-1300-WFL-SS
	11	SF-12	1.000	E.GL4F03N2K
	4	SF-11J	0.980	OSQ A 5ME J 57K
	2	SF-11J DBL	0.980	OSQ A 5ME J 57K
	23	SF-04	1.000	PWY-EDG-5S-02-D-UL-525-57K

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	1.18	18.0	0.0	N.A.	N.A.

CERTIFICATION  
 FOR CONSTRUCTION  
 ISSUE

INDIANA MASONIC HOME  
 COMMUNITY CENTER  
 PARKING LOT  
 690 STATE STREET  
 FRANKLIN, IN 46131

Project No.: 13L044  
 Drawn By: DCM/MS  
 Checked By: DB  
 Scale: See Drawing  
 Issue Date: 17 March 2015

REVISION SCHEDULE		
Rev. #	Revision Description	Issue Date

SITE PHOTOMETRIC PLAN

# E002